



**Request for Clean Water Act
Section 401 Water Quality Certification
Washington State Department of Ecology**
Phone: (360) 407-6076 or E-mail: ecyrefedpermits@ecy.wa.gov

AGENCY USE ONLY

Date Received: 9/22/2023
Aquatics ID No.: 142977
Team: NWRO
Valid Request: 9/28/2023

This Section 401 Water Quality Certification (WQC) Request form identifies information needed in order to review and process a Section 401 WQC Request. Please see Department of Ecology's (Ecology) [webpage](#) for more information about the Section 401 WQC Request process.

Submit this Section 401 WQC Request form along with a [Joint Aquatic Resources Permit Application](#) (JARPA) and supporting information¹ to ecyrefedpermits@ecy.wa.gov and copy the federal permitting agency.

- A. Federal Permit or License Reference Number, if known:** Unknown
Department of Ecology (Ecology) Aquatics ID Number, if known: 142977
Project Name: Plateau at Liberty Bay
County: Kitsap
- B. Project Proponent Name:** Geoff Sherwin, Entitle Fund Two, LLC.
- C. Documentation showing that the Pre-Filing Meeting Request was submitted at least 30 days prior to submitting this Section 401 WQC Request. Attach either of the following:**
- ☒ E-mail acknowledgement of receipt from Ecology
 - ☐ Copy of previously submitted Pre-Filing Meeting Request Form
- D. A completed, signed, and dated JARPA should be submitted with this form.**
Did you attach a JARPA? ☒ Yes ☐ No
- E. The following is a list of documents needed for Ecology's WQC review, along with a brief explanation. Depending on the project, additional information may be requested.**

Please let us know what information you are submitting with this WQC request form.

Required for all projects:

1. State Environmental Policy Act (SEPA) determination and/or checklist:
 - ☐ Final SEPA determination attached
 - ☒ SEPA determination pending
 - ☐ Exempt from SEPA (see [SEPA Guidance](#))

¹ To submit documents over 25MB, e-mail ecyrefedpermits@ecy.wa.gov to request a secure link.

To request an ADA accommodation, contact Ecology by phone at (360) 407-6076 or email at ecyrefedpermits@ecy.wa.gov, or visit <https://ecology.wa.gov/accessibility>.
For Relay Service or TTY call 711 or 877-833-6341.

Si necesita este formulario en español, por favor, llámenos a (360) 407-6076
o envíenos un correo electrónico a: ecyrefedpermits@ecy.wa.gov

☐ SEPA is not required (e.g., federal agency projects)

2. Project drawings attached:

☒ Vicinity map

☒ Plan view

☐ Cross-section(s)

☒ Plan set

☐ Other: _____

3. Best management practices and construction methodology, provided in the attached:

☒ JARPA

☐ Water Quality Monitoring and Protection Plan (WQMPP)

☒ Project drawings, sheets: _____

☒ Mitigation Plan pages: _____

☒ Other document(s): Drainage Plan

Notes:

- This is needed for in-water work (below ordinary high water mark), including wetlands.
- Describe best management practices to be implemented to protect water quality.
- Describe construction sequencing and methodology.

4. Water quality monitoring, provided in the attached:

☐ Water Quality Monitoring Plan (WQMP).

☐ Water Quality Monitoring and Protection Plan (WQMPP is similar to WQMP, but includes best management practices).

☐ Other (please identify location, such as JARPA, Part 8): _____

Notes:

- Include language in the plans that allows Ecology to review and approve all substantive changes to a plan prior to implementation.
- A plan is needed when conducting work in a waterbody (e.g., creek, ditch, river, lake, pond, marine, estuarine).
- Include water quality parameters such as turbidity, oil sheen, pH (e.g., poured in-place concrete, concrete demolition), etc.
- See [State Water Quality Standards for Surface Waters](#) (Chapter 173-201A-200 or -210 WAC)
- If needed, templates are available.

Required depending on the project type:

5. Erosion and sediment control for upland work (above ordinary high water mark) that addresses stormwater during construction and long-term:

This information is included in the attached:

☒ JARPA

☒ Project drawings, sheets: _____

☐ Stormwater Pollution Prevention Plan, pages: _____

☐ Mitigation Plan, pages: _____

☐ Other document(s): _____

6. Wetland report, including the attached:

☒ Wetland delineation report

- ☒ Delineation data sheets
- ☒ Wetland rating forms

Notes:

- Needed when there is a discharge (dewatering, excavation or fill) to wetlands.
- Report needs to include both a wetland delineation and rating.
- Include delineation data sheets and rating forms.
- For more information see [wetland delineation resources](#) and [hiring a qualified wetland professional](#).
- Include language in the plans that allows Ecology to review and approve all substantive changes to a plan prior to implementation.

7. Mitigation, avoidance and minimization

- ☒ Wetland [avoidance and minimization checklist](#)
- ☐ Other aquatic resource avoidance and minimization demonstration
- ☒ Mitigation Plan
- ☐ Other: _____

Notes:

- Wetland [avoidance and minimization webpage](#).

8. Mitigation plan, provided in the attached:

- ☐ Riparian Planting and Monitoring Plan (Needed when riparian vegetation is removed or modified)
- ☒ Wetland or stream/other aquatic resource Mitigation Plan
- ☐ Wetland Mitigation Bank Use Plan (use when proposing mitigation bank use)
- ☐ In-Lieu Fee (ILF) Use Plan (use when proposing ILF mitigation)
- ☐ Project drawings, sheets: _____
- ☐ Other: _____

Notes:

- Needed to offset impacts to wetland, stream, marine, or other aquatic habitat.
- Include language in the plans that allows Ecology to review and approve all substantive changes to a plan prior to implementation.
- For more information, see [wetland compensatory mitigation](#).

9. Dredging

- ☐ Dredging Plan attached
- ☐ Suitability Determination attached

Notes:

- Needed when sediments will be dredged for maintenance, navigation, or other purposes.
- Covers in-water disposal and sediment anti-degradation.
- Dredging Plan should include dredge footprint and depth, dredge type, best management practices, disposal plan, off-loading plan for upland disposal, etc.
- Include language in the plans that allows Ecology to review and approve all substantive changes to a plan prior to implementation.
- For information on suitability determinations, see [Dredged Material Management Office](#).

10. Dewatering

- ☐ Dewatering Plan attached

Notes:

- Needed for complex in-water work or management of excavated/dredged material.
- Include language in the plans that allows Ecology to review and approve all substantive changes to a plan prior to implementation.
- May also be required for some excavation projects.

F. Required Certification Statements:

The project proponent hereby certifies that all information contained herein is true, accurate, and complete, to the best of my knowledge and belief.

Initial MRK

The project proponent hereby requests that the certifying authority review and take action on this CWA 401 certification request within the applicable reasonable period of time.

Initial MRK

Signature: Meryl A. Kamowski Date: 9/18/2023

Print Name: Meryl Kamowski



WASHINGTON STATE

Joint Aquatic Resources Permit Application (JARPA) Form^{1,2} [\[help\]](#)

USE BLACK OR BLUE INK TO ENTER ANSWERS IN THE WHITE SPACES BELOW.



US Army Corps
of Engineers®
Seattle District

AGENCY USE ONLY

Date received: 9/28/2023 MFT Link
Rec'd Section 401 Request
Form on 9/22/2023

Agency reference #: _____

Tax Parcel #(s): _____

Part 1—Project Identification

1. Project Name (A name for your project that you create. Examples: Smith's Dock or Seabrook Lane Development) [\[help\]](#)

Plateau at Liberty Bay

Part 2—Applicant

The person and/or organization responsible for the project. [\[help\]](#)

2a. Name (Last, First, Middle)

Sherwin, Geoff

2b. Organization (If applicable)

Entitle Fund Two, LLC

2c. Mailing Address (Street or PO Box)

PO Box 188

2d. City, State, Zip

Puyallup, WA 98371

2e. Phone (1)

2f. Phone (2)

2g. Fax

2h. E-mail

(253) 840-5660

Geoff@jkmonarch.com

¹Additional forms may be required for the following permits:

- If your project may qualify for Department of the Army authorization through a Regional General Permit (RGP), contact the U.S. Army Corps of Engineers for application information (206) 764-3495.
- Not all cities and counties accept the JARPA for their local Shoreline permits. If you need a Shoreline permit, contact the appropriate city or county government to make sure they accept the JARPA.

²To access an online JARPA form with [\[help\]](#) screens, go to

http://www.epermitting.wa.gov/site/alias_resourcecenter/jarpa_jarpa_form/9984/jarpa_form.aspx.

Part 3—Authorized Agent or Contact

Person authorized to represent the applicant about the project. (Note: Authorized agent(s) must sign 11b of this application.) [\[help\]](#)

3a. Name (Last, First, Middle)			
Kamowski, Meryl			
3b. Organization (If applicable)			
Wetland Resources, Inc.			
3c. Mailing Address (Street or PO Box)			
9505 19 th Ave SE, Suite 106			
3d. City, State, Zip			
Everett, WA 98208			
3e. Phone (1)	3f. Phone (2)	3g. Fax	3h. E-mail
(425) 337-3174			meryl@wetlandresources.com

Part 4—Property Owner(s)

Contact information for people or organizations owning the property(ies) where the project will occur. Consider both **upland and aquatic** ownership because the upland owners may not own the adjacent aquatic land. [\[help\]](#)

- ☐ Same as applicant. (Skip to Part 5.)
- ☐ Repair or maintenance activities on existing rights-of-way or easements. (Skip to Part 5.)
- ☒ There are multiple upland property owners. Complete the section below and fill out [JARPA Attachment A](#) for each additional property owner.
- ☐ Your project is on Department of Natural Resources (DNR)-managed aquatic lands. If you don't know, contact the DNR at (360) 902-1100 to determine aquatic land ownership. If yes, complete [JARPA Attachment E](#) to apply for the Aquatic Use Authorization.

4a. Name (Last, First, Middle)			
4b. Organization (If applicable)			
Johnson Creek Properties LLC			
4c. Mailing Address (Street or PO Box)			
20882 Bond Rd NE			
4d. City, State, Zip			
Poulsbo, WA 98370			
4e. Phone (1)	4f. Phone (2)	4g. Fax	4h. E-mail

Part 5—Project Location(s)

Identifying information about the property or properties where the project will occur. [\[help\]](#)

- ☐ There are multiple project locations (e.g. linear projects). Complete the section below and use [JARPA Attachment B](#) for each additional project location.

5a. Indicate the type of ownership of the property. (Check all that apply.) [help]			
<input checked="" type="checkbox"/> Private			
<input type="checkbox"/> Federal			
<input type="checkbox"/> Publicly owned (state, county, city, special districts like schools, ports, etc.)			
<input type="checkbox"/> Tribal			
<input type="checkbox"/> Department of Natural Resources (DNR) – managed aquatic lands (Complete JARPA Attachment E)			
5b. Street Address (Cannot be a PO Box. If there is no address, provide other location information in 5p.) [help]			
19313 & 19321 Viking Ave NW			
5c. City, State, Zip (If the project is not in a city or town, provide the name of the nearest city or town.) [help]			
Poulsbo, WA 98370			
5d. County [help]			
Kitsap			
5e. Provide the section, township, and range for the project location. [help]			
¼ Section	Section	Township	Range
SW ¼	19	26N	01E
5f. Provide the latitude and longitude of the project location. [help]			
• Example: 47.03922 N lat. / -122.89142 W long. (Use decimal degrees - NAD 83)			
47.737691 N lat / -122.660572 W long			
5g. List the tax parcel number(s) for the project location. [help]			
• The local county assessor's office can provide this information.			
152601-3-025-2003, 152601-3-033-2003, 152601-3-040-2004, 152601-3-002-2000, 152601-3-023-2005 and 152601-3-090-2102.			
5h. Contact information for all adjoining property owners. (If you need more space, use JARPA Attachment C.) [help]			
Name	Mailing Address	Tax Parcel # (if known)	
BERGUM PAUL R & JULIA A	1165 NW LIBERTY LN, POULSBO, WA 98370-8302	152601-3-076-2001	
BENSON QUENTIN TAYLOR TRUSTEE	PO BOX 1893, POULSBO, WA 98370	152601-3-011-2009 152601-3-037-2009	
CROW PAUL C & TRACY L TRUSTEES	19609 LAURENE LN NW POULSBO, WA 98370-8328	152601-3-030-2006 152601-3-053-2008	
HAWKINSON RICHARD H	1224 118TH PL SE EVERETT, WA 98208	152601-3-054-2007	

5i. List all wetlands on or adjacent to the project location. [help]
Seven wetlands (Wetlands A,B,C,D,E,F and G) are on site.
5j. List all waterbodies (other than wetlands) on or adjacent to the project location. [help]
Stream A
5k. Is any part of the project area within a 100-year floodplain? [help]
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't know
5l. Briefly describe the vegetation and habitat conditions on the property. [help]
Maintained lawn and landscaping surround each of the existing residences, and a large, maintained pasture area is located within the southwest portion of the property. The forested areas are primarily vegetated with native plant species including Western red cedar (<i>Thuja plicata</i>), Douglas fir (<i>Pseudotsuga menziesii</i>), big leaf maple (<i>Acer macrophyllum</i>), red alder (<i>Alnus rubra</i>), vine maple (<i>Acer circinatum</i>), salmonberry (<i>Rubus spectabilis</i>), evergreen huckleberry (<i>Vaccinium ovatum</i>), salal (<i>Gaultheria shallon</i>), and sword fern (<i>Polystichum munitum</i>).
5m. Describe how the property is currently used. [help]
The subject property is currently developed with five single-family homes.
5n. Describe how the adjacent properties are currently used. [help]
North and south of the project site consists of single family residence. To the east is Viking Ave NW and the west consists of undeveloped land until WA-3.
5o. Describe the structures (above and below ground) on the property, including their purpose(s) and current condition. [help]
There are five single family homes with associated utilities on the subject property.
5p. Provide driving directions from the closest highway to the project location, and attach a map. [help]
Take the Edmonds to Kingston Ferry. Continue west on NE State highway 104. Continue straight onto Highway 307 (Bond Road NE). Turn Right on NW Lindvig Way, then immediately left onto Viking Avenue NW. The property is located on the right.

Part 6–Project Description

6a. Briefly summarize the overall project. You can provide more detail in 6b. [help]
The applicant proposes to construct a 63-unit residential development on the subject property, with access via the east from Viking Ave NW. The development will include residential buildings, access roads, and associated utilities. The applicant proposes to impact 360 square feet of Wetland F to accommodate the access road into the development. Wetland impacts will be mitigated for through of wetland creation and wetland enhancement. Mitigation for buffer impacts will be provided through wetland/stream buffer enhancement.

Please the Mitigation Plan included in Appendix D of the submitted Biological Evaluation for additional details.

6b. Describe the purpose of the project and why you want or need to perform it. [\[help\]](#)

The overall project will provide additional housing in the City of Poulsbo, within a rapidly growing area of Kitsap County. The proposed residential development is consistent with surrounding land uses.

6c. Indicate the project category. (Check all that apply) [\[help\]](#)

- ☐ Commercial ☒ Residential ☐ Institutional ☐ Transportation ☐ Recreational
☐ Maintenance ☐ Environmental Enhancement

6d. Indicate the major elements of your project. (Check all that apply) [\[help\]](#)

- | | | | |
|-----------------------------------------------|-----------------------------------------------|---------------------------------------------------|---------------------------------------------------------|
| <input type="checkbox"/> Aquaculture | <input type="checkbox"/> Culvert | <input type="checkbox"/> Float | <input type="checkbox"/> Retaining Wall (upland) |
| <input type="checkbox"/> Bank Stabilization | <input type="checkbox"/> Dam / Weir | <input type="checkbox"/> Floating Home | <input checked="" type="checkbox"/> Road |
| <input type="checkbox"/> Boat House | <input type="checkbox"/> Dike / Levee / Jetty | <input type="checkbox"/> Geotechnical Survey | <input type="checkbox"/> Scientific Measurement Device |
| <input type="checkbox"/> Boat Launch | <input type="checkbox"/> Ditch | <input checked="" type="checkbox"/> Land Clearing | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Boat Lift | <input type="checkbox"/> Dock / Pier | <input type="checkbox"/> Marina / Moorage | <input checked="" type="checkbox"/> Stormwater facility |
| <input type="checkbox"/> Bridge | <input type="checkbox"/> Dredging | <input type="checkbox"/> Mining | <input type="checkbox"/> Swimming Pool |
| <input type="checkbox"/> Bulkhead | <input type="checkbox"/> Fence | <input type="checkbox"/> Outfall Structure | <input checked="" type="checkbox"/> Utility Line |
| <input type="checkbox"/> Buoy | <input type="checkbox"/> Ferry Terminal | <input type="checkbox"/> Piling/Dolphin | |
| <input type="checkbox"/> Channel Modification | <input type="checkbox"/> Fishway | <input type="checkbox"/> Raft | |

☒ Other: Residential Development

6e. Describe how you plan to construct each project element checked in 6d. Include specific construction methods and equipment to be used. [\[help\]](#)

- Identify where each element will occur in relation to the nearest waterbody.
- Indicate which activities are within the 100-year floodplain.

No activity will take place within a 100-year floodplain.

The project proposes a 63-lot subdivision and associated infrastructure. Construction will include the access road, retaining walls, sidewalks, curb/gutter, stormwater utility infrastructure, and construction of residences.

Stormwater generated by the impervious surfaces associated with the development will be collected, treated, and released at multiple locations on the site. Discharge from proposed stormwater facility will be released at controlled rates, matching historic, pre-developed site conditions. The proposed stormwater system has been designed to maintain the existing flow levels and route within the sub basin the project area is located in.

Construction sequencing:

1. Delineate project area.
2. Establish perimeter control.
3. Implement, monitor and maintain construction BMP and TESC measures
4. Demo features to be removed.
5. Re-grade project area as needed.
6. Install site improvements.
7. Stabilize project area.
8. Remove construction BMP measures.

Heavy equipment typical for entry drive construction and roadway improvement projects include: backhoe, chainsaw, compactor, compressor, concrete mixer and pump trucks, concrete saw, dozer, dump truck, excavator, flatbed truck, front end loader, gradall, grader, grapple, jackhammer, man lift, paver, pickup truck, pneumatic tools, pumps, roller, and vacuum excavator.

6f. What are the anticipated start and end dates for project construction? (Month/Year) [\[help\]](#)

- If the project will be constructed in phases or stages, use [JARPA Attachment D](#) to list the start and end dates of each phase or stage.

Start Date: Summer 2024

End Date: Spring 2025

☐ See JARPA Attachment D

6g. Fair market value of the project, including materials, labor, machine rentals, etc. [\[help\]](#)

7.5 Million

6h. Will any portion of the project receive federal funding? [\[help\]](#)

- If **yes**, list each agency providing funds.

☐ Yes ☒ No ☐ Don't know

Part 7–Wetlands: Impacts and Mitigation

- ☐ Check here if there are wetlands or wetland buffers on or adjacent to the project area.
(If there are none, skip to Part 8.) [\[help\]](#)

7a. Describe how the project has been designed to avoid and minimize adverse impacts to wetlands. [\[help\]](#)

☐ Not applicable

Three different access points were considered while developing the site plans for the project and took into consideration impacts to wetlands, buffers, and adjacent properties. Impacts have been minimized to the greatest extent possible while allowing for access to the development and subsequently a new entrance for the lots north of the proposed road. The proposed access point represents the location with the minimum impact on adjacent property owners (access and necessary well radius), wetlands, buffers, and other impacts associated with a significant change from existing to final grade. The area of Wetland F that will be impacted is the area providing the least amount of functional value and will allow for the hydrology of the remaining area of Wetland F to be maintained. A detailed alternatives analysis is provided in the *Compensatory Mitigation Plan* provided in Appendix D.

Standard BMP and TESC procedures will be implemented prior to and during construction to isolate the work area.

7b. Will the project impact wetlands? [\[help\]](#)

☒ Yes ☐ No ☐ Don't know

7c. Will the project impact wetland buffers? [\[help\]](#)

☒ Yes ☐ No ☐ Don't know

7d. Has a wetland delineation report been prepared? [\[help\]](#)

- If Yes, submit the report, including data sheets, with the JARPA package.

☒ Yes ☐ No

7e. Have the wetlands been rated using the Western Washington or Eastern Washington Wetland Rating System? [\[help\]](#)

- If Yes, submit the wetland rating forms and figures with the JARPA package.

☒ Yes ☐ No ☐ Don't know

7f. Have you prepared a mitigation plan to compensate for any adverse impacts to wetlands? [\[help\]](#)

- If Yes, submit the plan with the JARPA package and answer 7g.
- If No, or Not applicable, explain below why a mitigation plan should not be required.

☒ Yes ☐ No ☐ Don't know

Please see Appendix D

7g. Summarize what the mitigation plan is meant to accomplish, and describe how a watershed approach was used to design the plan. [\[help\]](#)

Approximately 360 SF of Wetland F will be impacted, to mitigate this impact, 380 SF of wetland creation and 1,640 SF of wetland enhancement is proposed. Wetland creation and enhancement will take place adjacent to and within Wetland C.

Wetland Creation is proposed at a ratio of >1:1 And wetland enhancement is proposed at a ratio of >4:1.

7h. Use the table below to list the type and rating of each wetland impacted, the extent and duration of the impact, and the type and amount of mitigation proposed. Or if you are submitting a mitigation plan with a similar table, you can state (below) where we can find this information in the plan. [\[help\]](#)

Activity (fill, drain, excavate, flood, etc.)	Wetland Name ¹	Wetland type and rating category ²	Impact area (sq. ft. or Acres)	Duration of impact ³	Proposed mitigation type ⁴	Wetland mitigation area (sq. ft. or acres)
-----------------------------------------------	---------------------------	-----------------------------------------------	--------------------------------	---------------------------------	---------------------------------------	--------------------------------------------

Excavate	Wetland F	Slope/ Category III	360 sq. ft.	permanent	C, E	C=380 sq.ft. E=1,640 sq. ft.

¹ If no official name for the wetland exists, create a unique name (such as "Wetland 1"). The name should be consistent with other project documents, such as a wetland delineation report.

² Ecology wetland category based on current Western Washington or Eastern Washington Wetland Rating System. Provide the wetland rating forms with the JARPA package.

³ Indicate the days, months or years the wetland will be measurably impacted by the activity. Enter "permanent" if applicable.

⁴ Creation (C), Re-establishment/Rehabilitation (R), Enhancement (E), Preservation (P), Mitigation Bank/In-lieu fee (B)

Page number(s) for similar information in the mitigation plan, if available: Page 12 (report in Appendix D)

7i. For all filling activities identified in 7h, describe the source and nature of the fill material, the amount in cubic yards that will be used, and how and where it will be placed into the wetland. [\[help\]](#)

No fill activities will occur within the wetland.

7j. For all excavating activities identified in 7h, describe the excavation method, type and amount of material in cubic yards you will remove, and where the material will be disposed. [\[help\]](#)

360 square feet of Wetland F will be graded to accommodate the proposed access road. Approximately 31 cubic yards will be cut from within/near Wetland F.

Part 8—Waterbodies (other than wetlands): Impacts and Mitigation

In Part 8, "waterbodies" refers to non-wetland waterbodies. (See Part 7 for information related to wetlands.) [\[help\]](#)

☐ Check here if there are waterbodies on or adjacent to the project area. (If there are none, skip to Part 9.)

8a. Describe how the project is designed to avoid and minimize adverse impacts to the aquatic environment. [\[help\]](#)

☒ Not applicable

N/A, no impacts to streams or waterbodies are proposed.

8b. Will your project impact a waterbody or the area around a waterbody? [\[help\]](#)

☐ Yes ☒ No

8c. Have you prepared a mitigation plan to compensate for the project's adverse impacts to non-wetland waterbodies? [\[help\]](#)

- If Yes**, submit the plan with the JARPA package and answer 8d.
- If No, or Not applicable**, explain below why a mitigation plan should not be required.

☐ Yes ☒ No ☐ Don't know

N/A. No impacts to non-wetland waterbodies.

8d. Summarize what the mitigation plan is meant to accomplish. Describe how a watershed approach was used to design the plan.

- If you already completed 7g you do not need to restate your answer here. [\[help\]](#)

8e. Summarize impact(s) to each waterbody in the table below. [\[help\]](#)

Activity (clear, dredge, fill, pile drive, etc.)	Waterbody name ¹	Impact location ²	Duration of impact ³	Amount of material (cubic yards) to be placed in or removed from waterbody	Area (sq. ft. or linear ft.) of waterbody directly affected

¹ If no official name for the waterbody exists, create a unique name (such as "Stream 1") The name should be consistent with other documents provided.

² Indicate whether the impact will occur in or adjacent to the waterbody. If adjacent, provide the distance between the impact and the waterbody and indicate whether the impact will occur within the 100-year flood plain.

³ Indicate the days, months or years the waterbody will be measurably impacted by the work. Enter "permanent" if applicable.

8f. For all activities identified in 8e, describe the source and nature of the fill material, amount (in cubic yards) you will use, and how and where it will be placed into the waterbody. [\[help\]](#)

8g. For all excavating or dredging activities identified in 8e, describe the method for excavating or dredging, type and amount of material you will remove, and where the material will be disposed. [\[help\]](#)

8h. Have you prepared a Water Quality Monitoring Plan (WQMP) for all in-water work (below ordinary high water), over water work or discharges to waters of the state?

☐ Yes ☒ No

If NO describe the monitoring that you will be conducting including parameters, equipment and locations, or explain why monitoring will not be necessary. [\[help\]](#)

Work within Wetland F will occur during the dry season when no water is present.

Part 9—Additional Information

Any additional information you can provide helps the reviewer(s) understand your project. Complete as much of this section as you can. It is ok if you cannot answer a question.

9a. If you have already worked with any government agencies on this project, list them below. [help]			
Agency Name	Contact Name	Phone	Most Recent Date of Contact
City of Poulsbo	Edie Berghoff	360-394-7984	
9b. Are any of the wetlands or waterbodies identified in Part 7 or Part 8 of this JARPA on the Washington Department of Ecology's 303(d) List? [help] <ul style="list-style-type: none">• If Yes, list the parameter(s) below.• If you don't know, use Washington Department of Ecology's Water Quality Assessment tools at: https://ecology.wa.gov/Water-Shorelines/Water-quality/Water-improvement/Assessment-of-state-waters-303d.			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
9c. What U.S. Geological Survey Hydrological Unit Code (HUC) is the project in? [help] <ul style="list-style-type: none">• Go to http://cfpub.epa.gov/surf/locate/index.cfm to help identify the HUC.			
HUC 12: 171100190707 (Big Valley-Frontal Puget Sound)			
9d. What Water Resource Inventory Area Number (WRIA #) is the project in? [help] <ul style="list-style-type: none">• Go to https://ecology.wa.gov/Water-Shorelines/Water-supply/Water-availability/Watershed-look-up to find the WRIA #.			
WRIA 15 (Kitsap)			
9e. Will the in-water construction work comply with the State of Washington water quality standards for turbidity? [help] <ul style="list-style-type: none">• Go to https://ecology.wa.gov/Water-Shorelines/Water-quality/Freshwater/Surface-water-quality-standards/Criteria for the standards.			
<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not applicable			
9f. If the project is within the jurisdiction of the Shoreline Management Act, what is the local shoreline environment designation? [help] <ul style="list-style-type: none">• If you don't know, contact the local planning department.• For more information, go to: https://ecology.wa.gov/Water-Shorelines/Shoreline-coastal-management/Shoreline-coastal-planning/Shoreline-laws-rules-and-cases.			
<input type="checkbox"/> Urban <input type="checkbox"/> Natural <input type="checkbox"/> Aquatic <input type="checkbox"/> Conservancy <input type="checkbox"/> Other: _____			
9g. What is the Washington Department of Natural Resources Water Type? [help] <ul style="list-style-type: none">• Go to http://www.dnr.wa.gov/forest-practices-water-typing for the Forest Practices Water Typing System.			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Fish <input type="checkbox"/> Non-Fish Perennial <input type="checkbox"/> Non-Fish Seasonal			
9h. Will this project be designed to meet the Washington Department of Ecology's most current stormwater manual? [help] <ul style="list-style-type: none">• If No, provide the name of the manual your project is designed to meet.			

<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Name of manual: <u>The project will adhere to the currently required Ecology Drainage Manual.</u>
9i. Does the project site have known contaminated sediment? [help] <ul style="list-style-type: none"> If Yes, please describe below.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
9j. If you know what the property was used for in the past, describe below. [help] The property has historically been used for residential purposes.
9k. Has a cultural resource (archaeological) survey been performed on the project area? [help] <ul style="list-style-type: none"> If Yes, attach it to your JARPA package.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

9l. Name each species listed under the federal Endangered Species Act that occurs in the vicinity of the project area or might be affected by the proposed work. [help]
Marbled murrelet (<i>Brachyramphus marmoratus</i>), yellow billed cuckoo (<i>Coccyzus americanus</i>), and bull trout (<i>Salvelinus confluentus</i>) may occur within the vicinity of the project but is unlikely. The project is anticipated to have no effect on these species.
9m. Name each species or habitat on the Washington Department of Fish and Wildlife's Priority Habitats and Species List that might be affected by the proposed work. [help]
Resident cutthroat trout (<i>Oncorhynchus clarkii</i>), Coho salmon (<i>O. kisutch</i>), and Chum (<i>O. keta</i>) occur in the project vicinity, but not on the project site. These species will not be affected by the proposed project.

Part 10–SEPA Compliance and Permits

Use the resources and checklist below to identify the permits you are applying for.

- Online Project Questionnaire at <http://apps.oria.wa.gov/opas/>.
- Governor's Office for Regulatory Innovation and Assistance at (800) 917-0043 or help@oria.wa.gov.
- For a list of addresses to send your JARPA to, click on [agency addresses for completed JARPA](#).

10a. Compliance with the State Environmental Policy Act (SEPA). (Check all that apply.) [help] <ul style="list-style-type: none"> For more information about SEPA, go to https://ecology.wa.gov/regulations-permits/SEPA-environmental-review.
<input type="checkbox"/> A copy of the SEPA determination or letter of exemption is included with this application.
<input checked="" type="checkbox"/> A SEPA determination is pending with <u>City of Poulsbo</u> (lead agency). The expected decision date is <u>Pending; expected decision date is fall of 2023</u> .
<input type="checkbox"/> I am applying for a Fish Habitat Enhancement Exemption. (Check the box below in 10b.) [help]

- ☐ This project is exempt (choose type of exemption below).
- ☐ Categorical Exemption. Under what section of the SEPA administrative code (WAC) is it exempt?

- ☐ Other: _____

- ☐ SEPA is pre-empted by federal law.

10b. Indicate the permits you are applying for. (Check all that apply.) [\[help\]](#)

LOCAL GOVERNMENT

Local Government Shoreline permits:

- ☐ Substantial Development ☐ Conditional Use ☐ Variance
- ☐ Shoreline Exemption Type (explain): _____

Other City/County permits:

- ☐ Floodplain Development Permit ☒ Critical Areas Ordinance

STATE GOVERNMENT

Washington Department of Fish and Wildlife:

- ☐ Hydraulic Project Approval (HPA) ☐ Fish Habitat Enhancement Exemption – [Attach Exemption Form](#)

Washington Department of Natural Resources:

- ☐ Aquatic Use Authorization
- Complete [JARPA Attachment E](#) and submit a check for \$25 payable to the Washington Department of Natural Resources.
Do not send cash.

Washington Department of Ecology:

- ☒ Section 401 Water Quality Certification
- ☐ Authorization to impact waters of the state, including wetlands (Check this box if the proposed impacts are to waters not subject to the federal Clean Water Act)

FEDERAL AND TRIBAL GOVERNMENT

United States Department of the Army (U.S. Army Corps of Engineers):

- ☒ Section 404 (discharges into waters of the U.S.) ☐ Section 10 (work in navigable waters)

United States Coast Guard:

For projects or bridges over waters of the United States, contact the U.S. Coast Guard at:

- ☐ Bridge Permit: D13-SMB-D13-BRIDGES@uscg.mil
- ☐ Private Aids to Navigation (or other non-bridge permits): D13-SMB-D13-PATON@uscg.mil

United States Environmental Protection Agency:

- ☐ Section 401 Water Quality Certification (discharges into waters of the U.S.) on tribal lands where tribes do not have treatment as a state (TAS)

Tribal Permits: (Check with the tribe to see if there are other tribal permits, e.g., Tribal Environmental Protection Act, Shoreline Permits, Hydraulic Project Permits, or other in addition to CWA Section 401 WQC)

- ☐ Section 401 Water Quality Certification (discharges into waters of the U.S.) where the tribe has treatment as a state (TAS).

Part 11—Authorizing Signatures

Signatures are required before submitting the JARPA package. The JARPA package includes the JARPA form, project plans, photos, etc. [\[help\]](#)

11a. Applicant Signature (required) [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work only after I have received all necessary permits.

I hereby authorize the agent named in Part 3 of this application to act on my behalf in matters related to this application. _____ (initial)

By initialing here, I state that I have the authority to grant access to the property. I also give my consent to the permitting agencies entering the property where the project is located to inspect the project site or any work related to the project. _____ (initial)

Applicant Printed Name

Applicant Signature

Date

11b. Authorized Agent Signature [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities and I agree to start work only after all necessary permits have been issued.

Authorized Agent Printed Name

Authorized Agent Signature

Date

11c. Property Owner Signature (if not applicant) [\[help\]](#)

Not required if project is on existing rights-of-way or easements (provide copy of easement with JARPA).

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Property Owner Printed Name

Property Owner Signature

Date

18 U.S.C §1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-011 rev. 09/2018

Part 11—Authorizing Signatures

Signatures are required before submitting the JARPA package. The JARPA package includes the JARPA form, project plans, photos, etc. [\[help\]](#)

11a. Applicant Signature (required) [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work only after I have received all necessary permits.

I hereby authorize the agent named in Part 3 of this application to act on my behalf in matters related to this application. GPS (initial)

By initialing here, I state that I have the authority to grant access to the property. I also give my consent to the permitting agencies entering the property where the project is located to inspect the project site or any work related to the project. GPS (initial)

GEOFFREY PAUL STERN
Applicant Printed Name

[Signature]
Applicant Signature

09/14/2023
Date

11b. Authorized Agent Signature [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities and I agree to start work only after all necessary permits have been issued.

Meryl Kamowski

Authorized Agent Printed Name

[Signature]

Authorized Agent Signature

9/14/2023

Date

11c. Property Owner Signature (if not applicant) [\[help\]](#)

Not required if project is on existing rights-of-way or easements (provide copy of easement with JARPA).

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Brad Watts

Property Owner Printed Name

[Signature]
Property Owner Signature

9-5-23
Date

18 U.S.C §1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-011 rev. 09/2018



WASHINGTON STATE
Joint Aquatic Resources Permit
Application (JARPA) [\[help\]](#)



US Army Corps
of Engineers®
Seattle District

AGENCY USE ONLY

Date received: _____

Agency reference #: _____

Tax Parcel #(s): _____

TO BE COMPLETED BY APPLICANT [\[help\]](#)

Project Name: Plateau at Liberty Bay

Location Name (if applicable): _____

19321 Viking Ave. NW, Poulsbo, WA 98370

Attachment A:
For additional property owner(s) [\[help\]](#)

Use this attachment only if you have more than one property owner.
Complete one attachment for each additional property owner
impacted by the project.

Signatures of property owners are not needed for repair or maintenance activities on existing rights-of-way or easements.

Use black or blue ink to enter answers in white spaces below.

1. Name (Last, First, Middle) and Organization (if applicable)

2. Mailing Address (Street or PO Box)

JNJ Holdings, LLC

3. City, State, Zip

20882 Bond Rd NE

4. Phone (1)

5. Phone (2)

6. Fax

7. E-mail

Address or tax parcel number of property you own:

152601-3-025-2003, 152601-3-033-2003, and 152601-3-040-2004

Signature of Property Owner

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Printed Name

Signature

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-012 rev. 10/2016



WASHINGTON STATE
Joint Aquatic Resources Permit
Application (JARPA) [\[help\]](#)



US Army Corps
of Engineers®
Seattle District

AGENCY USE ONLY

Date received: _____

Agency reference #: _____

Tax Parcel #(s): _____

TO BE COMPLETED BY APPLICANT [\[help\]](#)

Project Name: Plateau at Liberty Bay

Location Name (if applicable): _____

Attachment A:
For additional property owner(s) [\[help\]](#)

Use this attachment only if you have more than one property owner.
Complete one attachment for each additional property owner
impacted by the project.

Signatures of property owners are not needed for repair or maintenance activities on existing rights-of-way or easements.

Use black or blue ink to enter answers in white spaces below.

1. Name (Last, First, Middle) and Organization (if applicable)

2. Mailing Address (Street or PO Box)

West Poulsbo, LLC c/o Hartman

3. City, State, Zip

20882 Bond Rd NE

4. Phone (1)

5. Phone (2)

6. Fax

7. E-mail

Address or tax parcel number of property you own:

152601-3-090-2102

Signature of Property Owner

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Printed Name

Signature

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-012 rev. 10/2016



WASHINGTON STATE
Joint Aquatic Resources Permit
Application (JARPA) [\[help\]](#)



US Army Corps
of Engineers®
Seattle District

Attachment C:
Contact information for adjoining
property owners. [\[help\]](#)

Use this attachment only if you have more than four adjoining property owners.

AGENCY USE ONLY	
Date received:	_____
Agency reference #:	_____
Tax Parcel #(s):	_____ _____ _____
TO BE COMPLETED BY APPLICANT [help]	
Project Name:	Plateau at Liberty Bay
Location Name (if applicable):	Poulsbo, WA

Use black or blue ink to enter answers in white spaces below.

1. Contact information for all adjoining property owners. [help]		
Name	Mailing Address	Tax Parcel # (if known)
HUMPHRIES JAY F	19445 VIKING AVE NW, POULSBO, WA 98370	152601-3-028-2000
JAIN FAMILY INVESTING	9545 NE IDELWEIS LN, BAINBRIDGE ISLAND, WA 98110	152601-4-027-2009
SALT CRAIG WELLINGTON	19616 JOHANNA VEIW NW, POULSBO, WA 98370-8324	152601-3-029-2009
DEERHAVEN VI LLC	PO BOX 427, HANSVILLE, WA 98340	152601-4-028-2008
HAGWELL MARY RITA	PO BOX 1141, POULSBO, WA 98370-0076	222601-2-001-2004
WOLD JANET L TSTEE & STEENBERG PAUL E TSTEE	821 SHINE RD, PORT LUDLOW, WA 98365-9285	222601-2-061-2001
HAWTHORNE CROFT LLC	PO BOX 673, KEYPORT, WA 98345 KEYPORT, WA 98345	152601-3-089-2006

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-014 rev. 10/2016

APPENDIX F:
CIVIL PLAN SET

THE PLATEAU AT LIBERTY BAY

PLANNED RESIDENTIAL DEVELOPMENT

POULSBO, WASHINGTON

PROJECT TEAM

OWNER / APPLICANT:

ENTITLE FUND TWO, LLC
PO BOX 188
PUYALLUP, WA 98371
CONTACT: GEOFF SHERWIN
PHONE: (253) 840-5660
EMAIL: geoff.0@kmonarch.com

LANDSCAPE ARCHITECT

NATURE BY DESIGN
1320 ALAMEDA AVE, SUITE B
FIRCREST, WA 98466
CONTACT: KATHY OWENS
PHONE: (253) 460-6067
EMAIL: nb@nc.com

WETLAND BIOLOGIST

WETLAND RESOURCES
9505 19TH AVE SE, SUITE 106
EVERETT, WA 98208
CONTACT: MERYL KAMOWSKI
PHONE: (425) 337-3174
EMAIL: meryl@wetlandresources.com

CIVIL ENGINEER AND SURVEYOR

KPFF CONSULTING ENGINEERS
1601 FIFTH AVENUE, #1600
SEATTLE, WA 98101
CONTACT: JEREMY FEBUS, PE, LEED AP
PHONE: (206) 926-0675
EMAIL: Jeremy.Febus@kpff.com

TRAFFIC ENGINEER

HEATH AND ASSOCIATES
2214 TACOMA RD
PUYALLUP, WA 98371
CONTACT: AARON VAN AKEN, PE
PHONE: (253) 770-1401

ARBORIST

WASHINGTON FORESTRY CONSULTANTS, INC
9163 YELM HWY SE
OLYMPIA, WA 98513
CONTACT: GALEN WRIGHT
PHONE: (360) 943-1723
EMAIL: galenwfc@aol.com

GEOTECHNICAL ENGINEER

EARTH SOLUTIONS NW
136TH PLACE NE, SUITE 201
BELLEVUE, WA 98005
CONTACT: RAY COGLAS, PE
PHONE: (425) 449-4704

LEGAL DESCRIPTION:

PREPARED BY KPFF CONSULTING ENGINEERS SURVEY USING FIRST
AMERICAN TITLE INSURANCE COMPANY TITLE REPORT FILE NO.
4266-3751231, DATED MAY 19, 2021.

PARCEL A. PARCEL NO. 152601-3-090

THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST
QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN
KITSAP COUNTY, WASHINGTON;

EXCEPT THE SOUTH 16.5 FEET THEREOF.

PARCEL A-1. PARCEL NO. 152601-3-090

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES 16.5
FEET IN WIDTH OVER THE SOUTH 16.5 FEET OF THE SOUTHEAST
QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 26
NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNT, WASHINGTON, LYING
WEST OF VIKING WAY AS DESCRIBED IN AUDITOR'S FILE NO.
200405050385.

PARCEL B. PARCEL NO. 152601-3-025

LOT 4 OF SHORT PLAT NO. 1611 RECORDED UNDER AUDITOR'S FILE NO.
7810020145, BEING A PORTION OF THE SOUTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1
EAST, W.M., IN KITSAP COUNTY, WASHINGTON.

PARCEL C. PARCEL NO. 152601-3-090

THE SOUTH 16.5 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST
QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN
KITSAP COUNTY, WASHINGTON, LYING WEST OF STATE HIGHWAY NO. 3.

(ALSO KNOWN AS A PORTION OF RESULTANT PARCEL A OF BOUNDARY
LINE ADJUSTMENT RECORDED ON FEBRUARY 11, 2009 AS RECORDING
NUMBER 200902110043, IN THE OFFICIAL RECORDS OF KITSAP COUNTY,
WASHINGTON.)

PARCEL D. PARCEL NO. 152601-3-033

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST
QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN
KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SECTION 15;
THENCE NORTH 89°59'49" WEST 655.51 FEET;
THENCE NORTH 0°27'41" WEST 532.95 FEET TO THE TRUE POINT OF
BEGINNING;
THENCE CONTINUING NORTH 0°27'41" WEST 120.00 FEET;
THENCE SOUTH 89°42'24" EAST 497.98 FEET;
THENCE SOUTH 23°48'20" WEST 150.86 FEET;
THENCE NORTH 87°17'58" WEST 436.60 FEET TO THE TRUE POINT OF
BEGINNING.

PARCEL D-1.

THE EASEMENTS DESCRIBED IN REAL ESTATE CONTRACT RECORDED
APRIL 22, 1971 AS RECORDING NO. 995240, BEING MORE PARTICULARLY
DESCRIBED AS TRACTS A AND B AS FOLLOWS:

TRACT A:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND
ACROSS THE NORTH 16.5 FEET OF THE FOLLOWING DESCRIBED
PROPERTY:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST
QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN
KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 15;
THENCE NORTH 89°50'49" WEST 655.51 FEET;
THENCE NORTH 0°27'41" WEST 16.5 FEET;

THENCE SOUTH 89°50'49" EAST PARALLEL WITH THE SOUTH MARGIN OF
SAID SECTION 15, 275.02 FEET;
THENCE NORTH 27°56'46" WEST 72.40 FEET;
THENCE NORTH 23°48'20" EAST 623.72 FEET;
THENCE SOUTH 89°42'24" EAST 168.10 FEET;
THENCE SOUTH TO THE SOUTH QUARTER CORNER OF SECTION 15.

TRACT B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND
ACROSS THE FOLLOWING 20 FOOT ROAD, THE CENTER OF WHICH IS
DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 15;
THENCE NORTH 89°50'49" WEST 655.51 FEET;
THENCE NORTH 0°27'41" WEST 16.50 FEET;
THENCE SOUTH 89°50'49" EAST 275.02 FEET; TO THE TRUE POINT OF
BEGINNING;
THENCE NORTH 27°56'46" WEST 94.59 FEET;
THENCE NORTH 41°07'16" WEST 176.67 FEET;
THENCE NORTH 2°01'14" EAST 65.28 FEET;
THENCE NORTH 0°26'14" EAST 127.97 FEET;
THENCE NORTH 35°56'29" EAST 121.28 FEET TO THE TERMINUS OF THIS
DESCRIPTION.

PARCEL E. PARCEL NO. 152601-3-040

THE SOUTH 100 FEET OF THE WEST 1/3 OF THE NORTHEAST QUARTER
OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION
15, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY,
WASHINGTON.

PARCEL E-1

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND
ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE EASTERLY 20 FEET OF THE NORTH 180 FEET OF THE WEST 1/3 OF
THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 26 NORTH, RANGE 1
EAST, W.M., IN KITSAP COUNTY, WASHINGTON.

PARCEL NO. 152601-3-055

LOT 2 OF SHORT PLAT NO. 1611, RECORDED UNDER AUDITOR'S FILE NO.
7810020145, AND REVISED UNDER AUDITOR'S FILE NO. 8410260102
(SHORT PLAT NO. 3674).

SURVEY INFORMATION:

PER SURVEY BY KPFF CONSULTING ENGINEERS

VERTICAL DATUM
NAVD 88

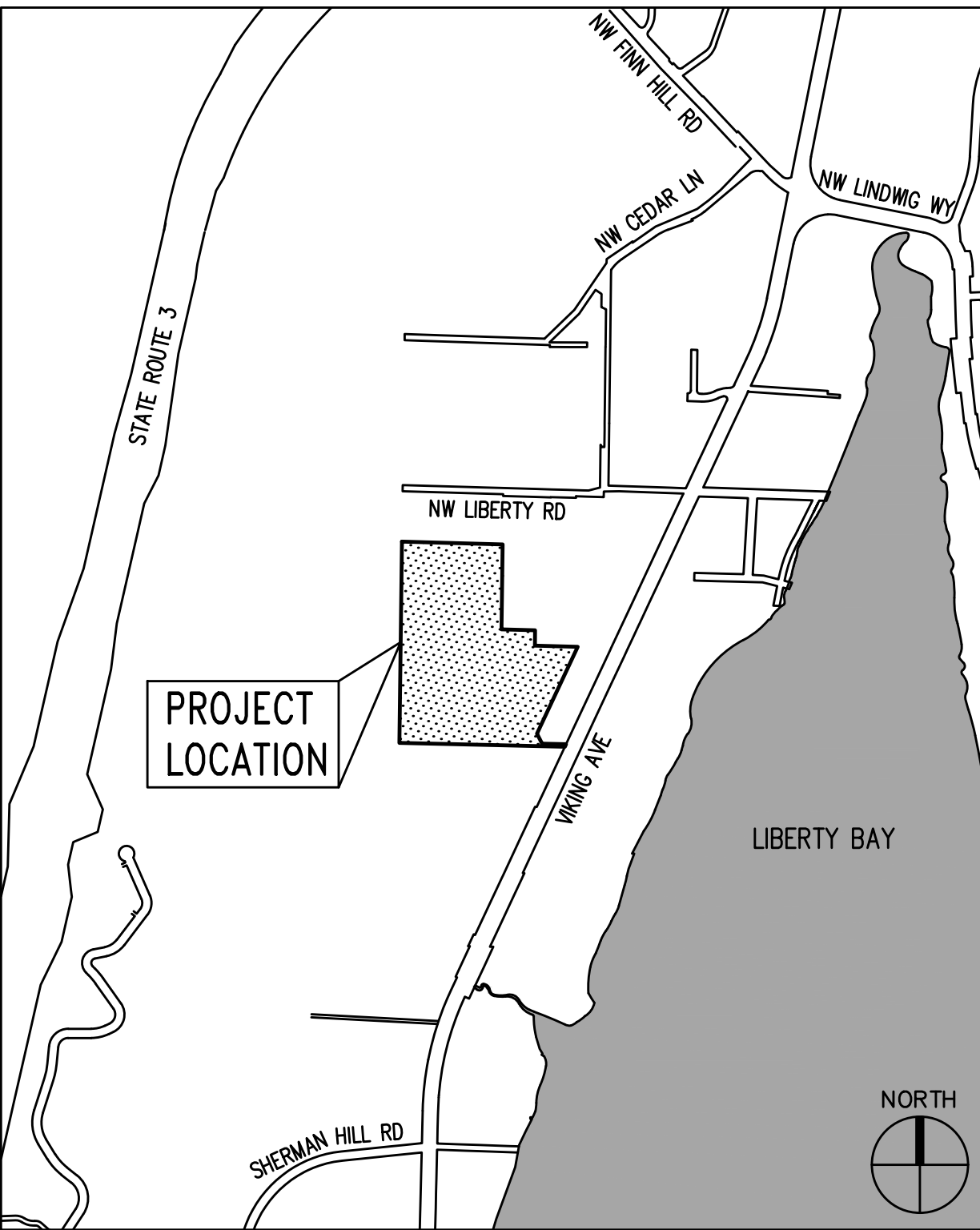
BASIS OF MERIDIAN
WASHINGTON STATE PLANE COORDINATE SYSTEM NAD 83/91

PARCEL NUMBER:
152601-3-023-2005
152601-3-025-2003
152601-3-033-2003
152601-3-040-2004
152601-3-090-2012

SITE AREA:
25.55 ACRES

PROJECT AREA:
26.04 ACRES

SHEET INDEX	
SHEET NO	SHEET TITLE
C0.00	COVER SHEET
C1.00	PRELIMINARY PLAT PLAN
C1.10	PHASING PLAN
C1.20	OPEN SPACE PLAN
C1.30	SIGNAGE AND STRIPING PLAN
C2.00	TESC PLAN
C2.10	TESC DETAILS
C3.00	OVERALL GRADING PLAN
C3.10	OVERALL UTILITY PLAN
C4.00	ROAD A STORM DRAINAGE PLAN AND PROFILE
C4.01	ROAD A STORM DRAINAGE PLAN AND PROFILE
C4.02	ROAD A STORM DRAINAGE PLAN AND PROFILE
C4.03	ROAD A STORM DRAINAGE PLAN AND PROFILE
C4.04	ROAD A STORM DRAINAGE PLAN AND PROFILE
C4.10	ROAD B STORM DRAINAGE PLAN AND PROFILE
C4.11	ROAD B STORM DRAINAGE PLAN AND PROFILE
C4.12	ROAD B STORM DRAINAGE PLAN AND PROFILE
C4.20	ROAD C STORM DRAINAGE PLAN AND PROFILE
C4.30	ROAD D STORM DRAINAGE PLAN AND PROFILE
C4.31	ROAD D STORM DRAINAGE PLAN AND PROFILE
C4.40	ROAD E & F STORM DRAINAGE PLAN AND PROFILE
C4.41	ROAD G STORM DRAINAGE PLAN AND PROFILE
C4.42	ROAD H STORM DRAINAGE PLAN AND PROFILE
C4.50	ROAD DETAILS
C4.51	ROAD DETAILS
C4.70	VAULT PLAN AND SECTIONS
C4.80	VIKING INTERSECTION PLAN
C5.00	ROAD A WATER AND SEWER PLAN AND PROFILE
C5.01	ROAD A WATER AND SEWER PLAN AND PROFILE
C5.02	ROAD A WATER AND SEWER PLAN AND PROFILE
C5.03	ROAD A WATER AND SEWER PLAN AND PROFILE
C5.10	ROAD B WATER AND SEWER PLAN AND PROFILE
C5.11	ROAD B WATER AND SEWER PLAN AND PROFILE
C5.12	ROAD B WATER AND SEWER PLAN AND PROFILE
C5.20	ROAD C WATER AND SEWER PLAN AND PROFILE
C5.30	ROAD D WATER AND SEWER PLAN AND PROFILE
C5.31	ROAD D WATER AND SEWER PLAN AND PROFILE
C5.40	ROAD E & F WATER AND SEWER PLAN AND PROFILE
C5.41	ROAD G WATER AND SEWER PLAN AND PROFILE



VICINITY MAP

1"=1000'

C:\Users\jefrey\AppData\Local\Temp\4c-Publish_11572\CD.00_WA_C06.dwg

Jun 23, 2023 - 9:43am

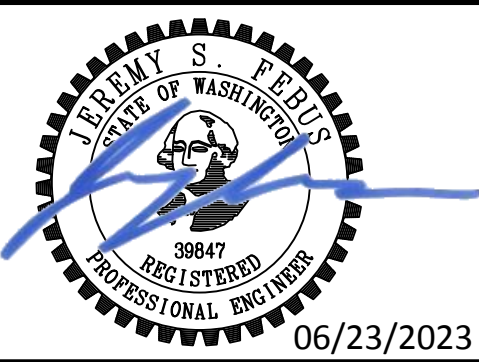
elboc

1	01/2023	EKC	EKC	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY EKC
2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL	CHECKED BY EKC	APPROVED BY JSF
						DATE JUNE 23, 2023	
NO.	DATE	BY	CHD.	APPR.	REVISION	J O B No. :2000505	

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555
S C A L E: AS NOTED

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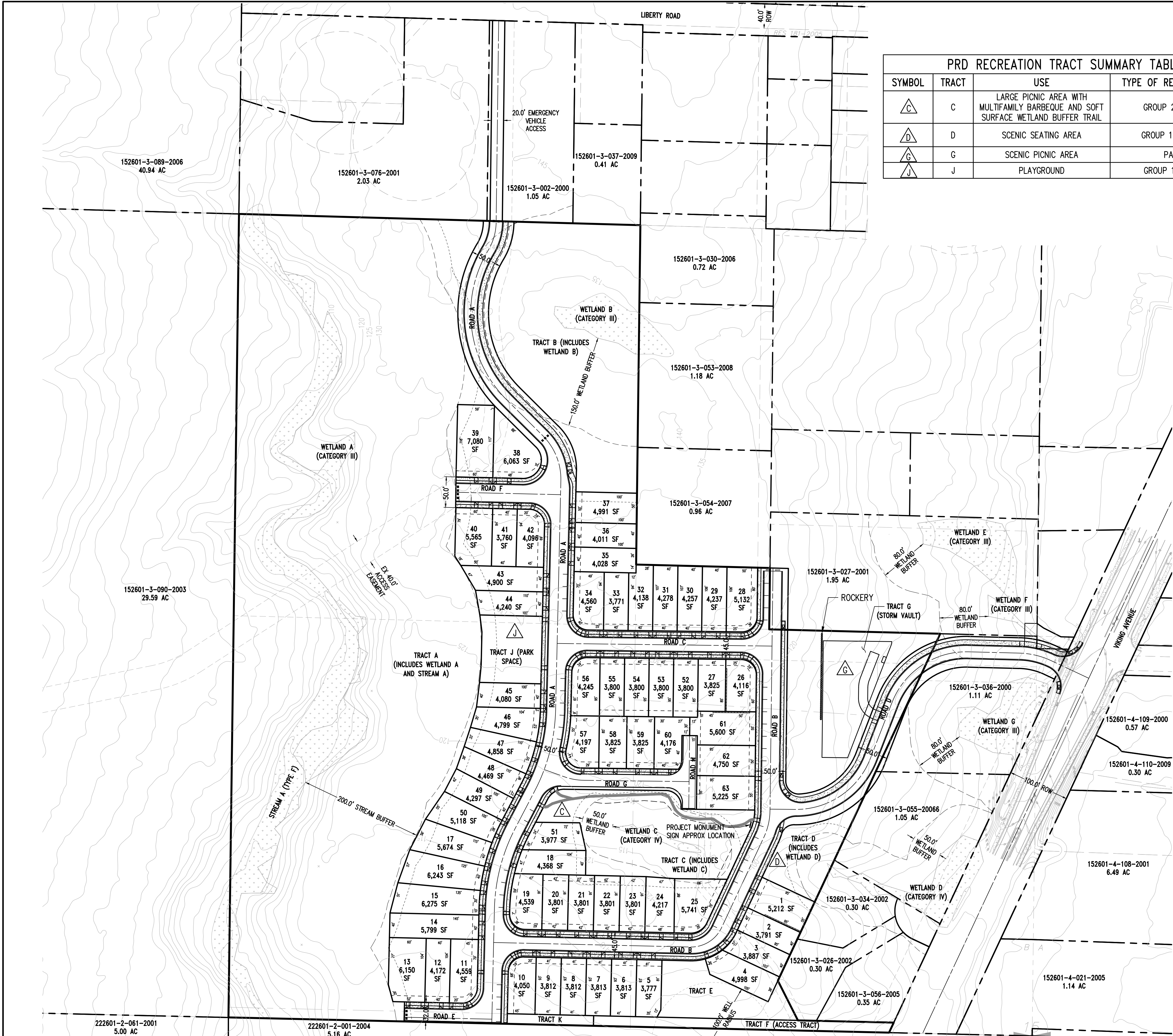
THE PLATEAU AT LIBERTY BAY PRD / ENTITLE FUND TWO, LLC
POULSBO, WASHINGTON

COVER SHEET

SHEET

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PRD RECREATION TRACT SUMMARY TABLE			
SYMBOL	TRACT	USE	TYPE OF RECREATION USE
	C	LARGE PICNIC AREA WITH MULTIFAMILY BARBEQUE AND SOFT SURFACE WETLAND BUFFER TRAIL	GROUP 2 - ACTIVE
	D	SCENIC SEATING AREA	GROUP 1 - PASSIVE
	G	SCENIC PICNIC AREA	PASSIVE
	J	PLAYGROUND	GROUP 1 - ACTIVE

TRACT SUMMARY TABLE		
TRACT	AREA (SF)	USE
A	457,688	WETLAND & STREAM A, CRITICAL AREA BUFFER, OPEN SPACE
B	82,609	WETLAND B, CRITICAL AREA BUFFER
C	37,029	WETLAND C, CRITICAL AREA BUFFER, OPEN SPACE, PASSIVE RECREATION
D	12,150	WETLAND D, CRITICAL AREA BUFFER, OPEN SPACE
E	14,489	WELL TRACT, OPEN SPACE
F	8,298	NEIGHBOR ACCESS TRACT
G	37,988	STORM VAULT, PASSIVE RECREATION
J	10,853	OPEN SPACE, ACTIVE RECREATION
K	2,527	OPEN SPACE

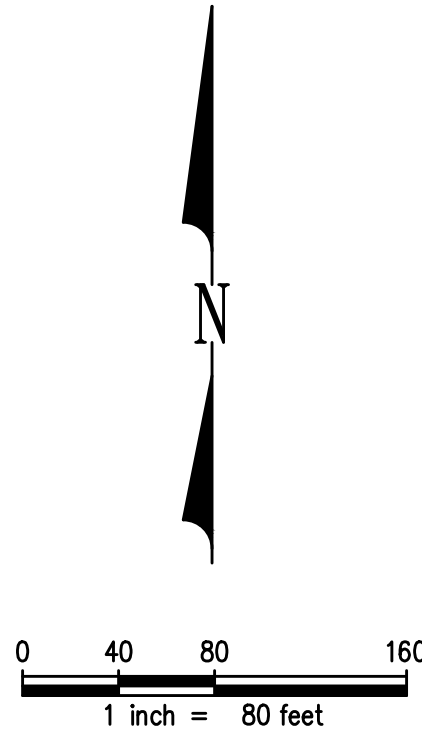
PRD LOT CALCULATIONS TABLE		
PMC SECTION 18.260		
CODE REFERENCE	ALLOWED	PROVIDED
MINIMUM LOT AREA	3,750 SF	3,777 SF
MINIMUM AVERAGE LOT AREA	4,500 SF	4,502 SF
MAX GROSS DENSITY (5 UNITS PER GROSS ACRE)	130 LOTS	63 LOTS
MINIMUM NET DENSITY (4 UNITS PER NET ACRE)	33 LOTS	63 LOTS

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- PLAT BOUNDARY
- CENTERLINE
- PROPOSED UTILITY EASEMENT (TYP) ⑥
- WETLAND BUFFER (EXISTING & PROPOSED BY AVERAGING)
- CRITICAL AREA BSBL ⑦
- PROPOSED TRAIL

NOTES:

- SEE SHEET C1.10 FOR PROPOSED PROJECT PHASING (2 PHASES).
- GIS DATA IS USED FOR ALL GRADING INFORMATION AND CITY RECORDS ARE USED FOR ALL SHOWN EXISTING UTILITIES. THE PROJECT SURVEYOR SHALL PROVIDE A FULL SITE SURVEY DURING CONSTRUCTION DOCUMENT PREPARATION.
- EXISTING LOT LINES AND EASEMENTS SHOWN ARE PROVIDED BY THE PROJECT SURVEYOR.
- WETLAND AND STREAM LIMITS ARE FLAGGED IN THE FIELD BY THE WETLAND BIOLOGIST AND SURVEYED LOCATION IS SHOWN ON THESE PLANS.
- SEE SHEET C1.20 FOR PRELIMINARY STRIPING, SIGNAGE, AND PROPOSED ON-STREET PARKING STALLS.
- PROPOSED UTILITY EASEMENTS FOR WATER, SEWER, STORM WATER AND FRANCHISE UTILITIES SHALL ALL BE 10' (TYP) UNLESS OTHERWISE NOTED.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.



1	01/2023	EKC	EKC	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY RAG	DESIGNED BY EKC
CHECKED BY EKC	APPROVED BY JSF
DATE JUNE 23, 2023	
J O B No. :200505	

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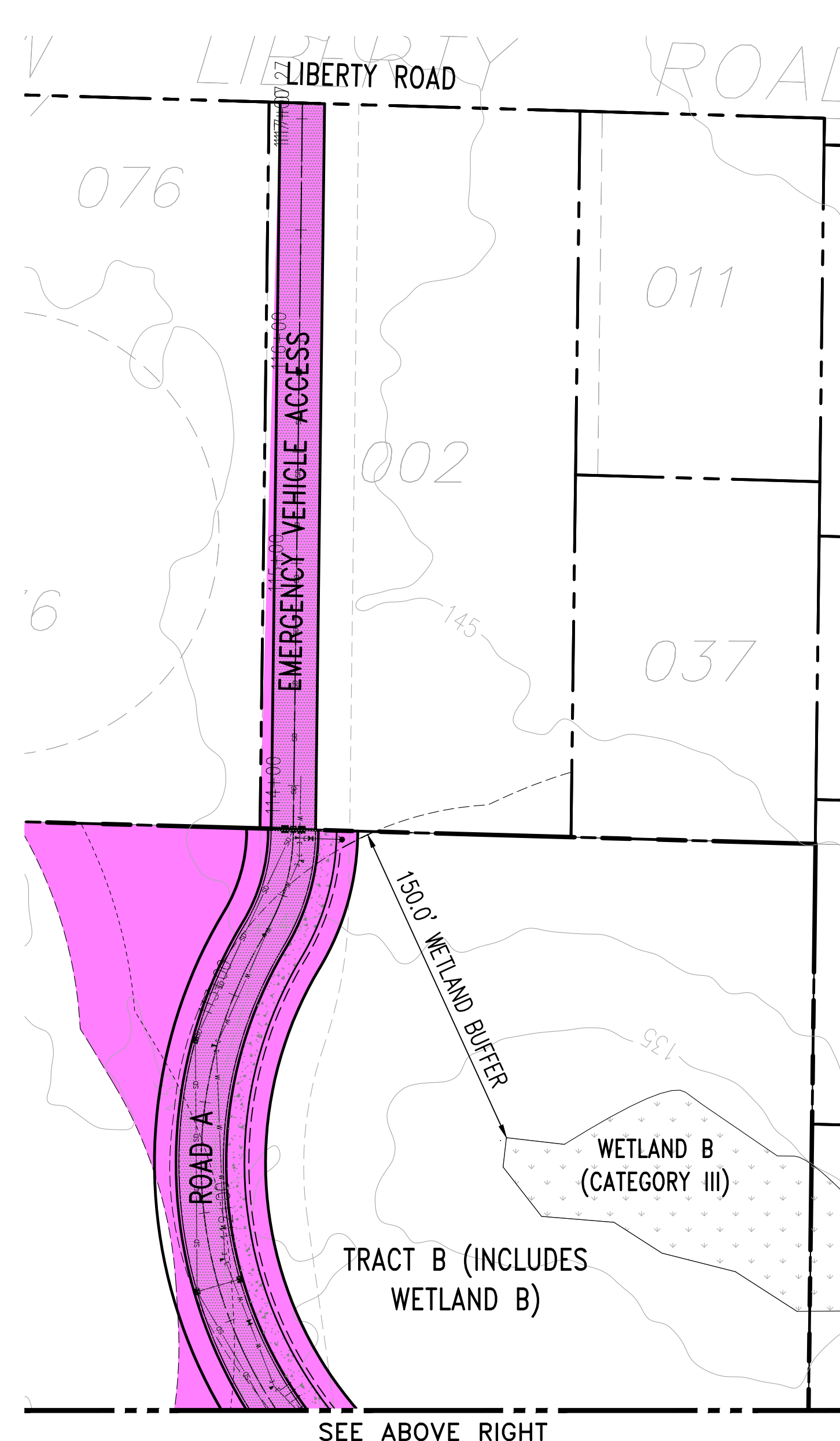
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PRELIMINARY PLAT PLAN

SHEET

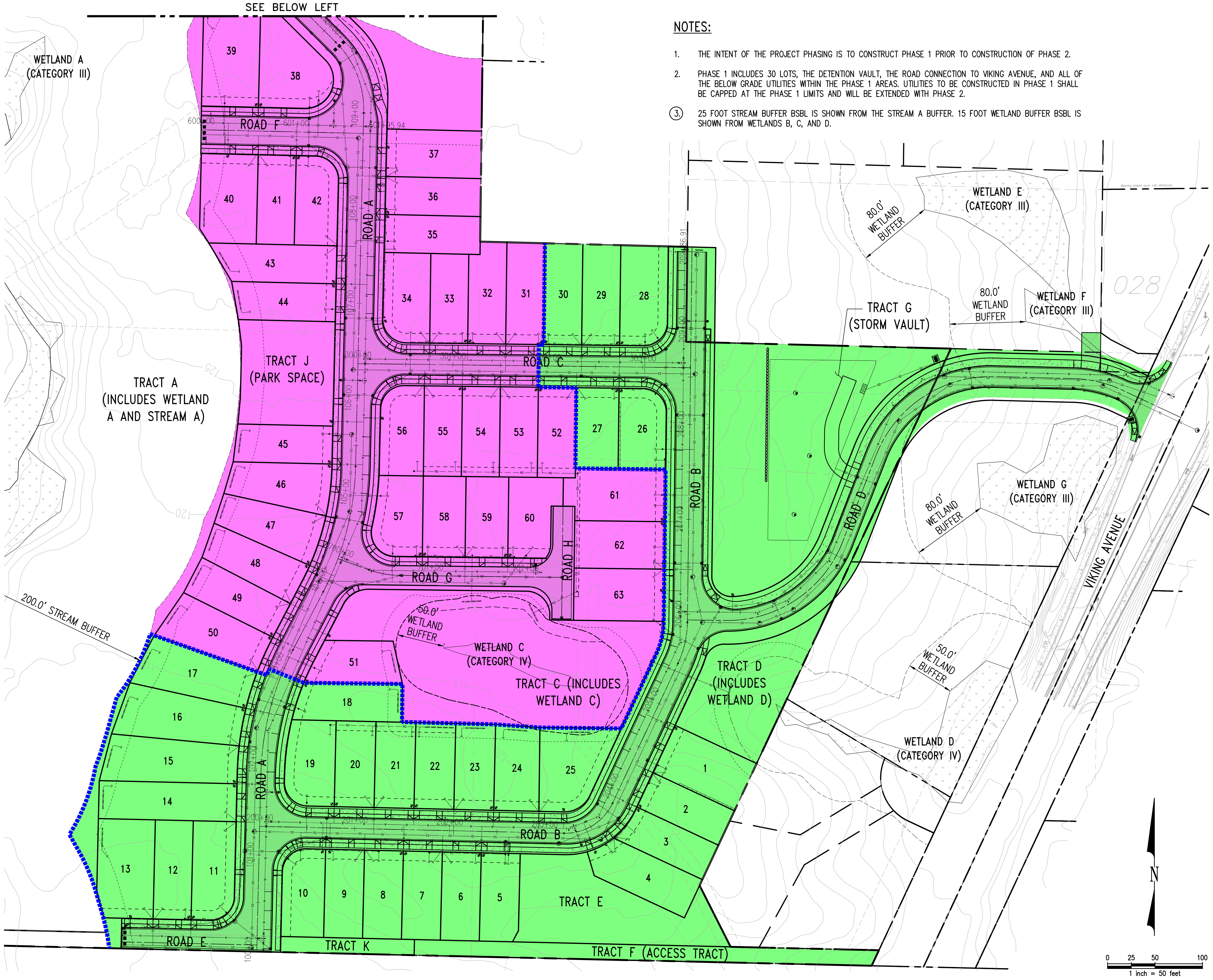
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Jun 23, 2023 9:43am
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LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- WETLAND BUFFER (EXISTING & PROPOSED WITH AVERAGING)
- PHASING DELINEATION
- CRITICAL AREA BSBL ③
- PHASE 1 AREA
- PHASE 2 AREA
- MAPPED WETLAND



- NOTES:
- THE INTENT OF THE PROJECT PHASING IS TO CONSTRUCT PHASE 1 PRIOR TO CONSTRUCTION OF PHASE 2.
 - PHASE 1 INCLUDES 30 LOTS, THE DETENTION VAULT, THE ROAD CONNECTION TO VIKING AVENUE, AND ALL OF THE BELOW GRADE UTILITIES WITHIN THE PHASE 1 AREAS. UTILITIES TO BE CONSTRUCTED IN PHASE 1 SHALL BE CAPPED AT THE PHASE 1 LIMITS AND WILL BE EXTENDED WITH PHASE 2.
 - 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.

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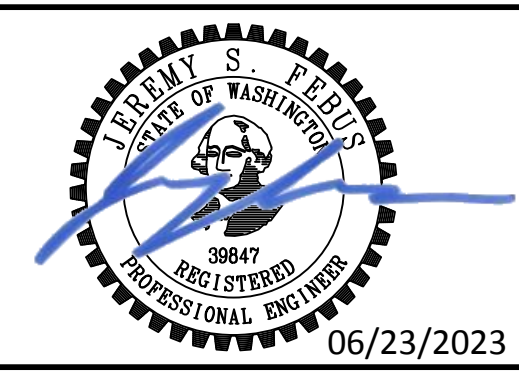
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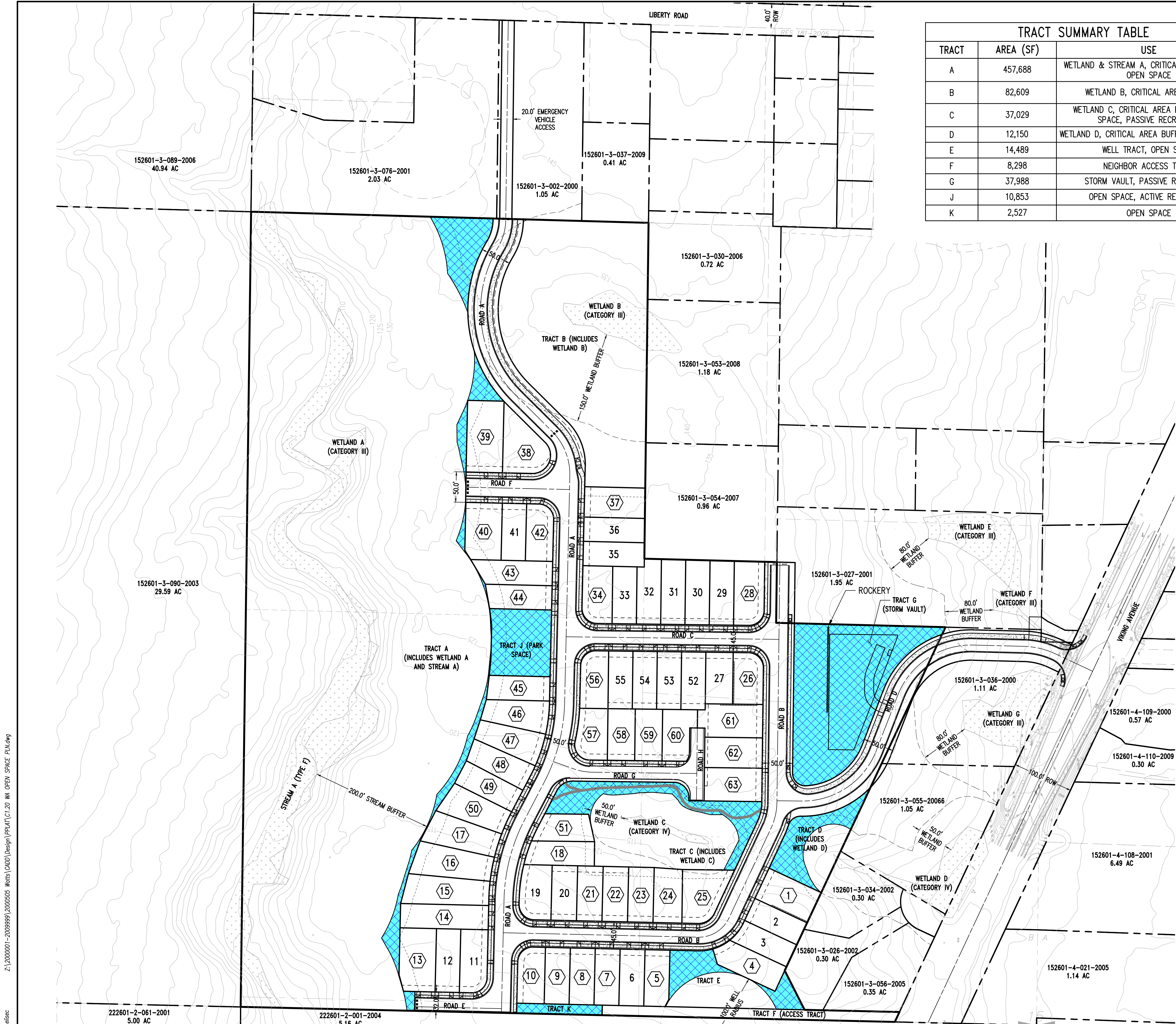
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PLAT PHASING PLAN

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TRACT SUMMARY TABLE		
TRACT	AREA (SF)	USE
A	457,688	WETLAND & STREAM A, CRITICAL AREA BUFFER, OPEN SPACE
B	82,609	WETLAND B, CRITICAL AREA BUFFER
C	37,029	WETLAND C, CRITICAL AREA BUFFER, OPEN SPACE, PASSIVE RECREATION
D	12,150	WETLAND D, CRITICAL AREA BUFFER, OPEN SPACE
E	14,489	WELL TRACT, OPEN SPACE
F	8,298	NEIGHBOR ACCESS TRACT
G	37,988	STORM VAULT, PASSIVE RECREATION
J	10,853	OPEN SPACE, ACTIVE RECREATION
K	2,527	OPEN SPACE

TRACT UNENCUMBERED OPEN SPACE SUMMARY		
TRACT	AREA (SF)	USE
A	16,401	OPEN SPACE OUTSIDE OF CRITICAL AREAS AND BUFFERS
C	11,789	OPEN SPACE OUTSIDE OF CRITICAL AREAS AND BUFFERS, PASSIVE RECREATION
D	7,082	OPEN SPACE OUTSIDE OF CRITICAL AREAS AND BUFFERS
E	6,735	OPEN SPACE OUTSIDE OF WELL TRACT
G	37,988	OPEN SPACE AND PASSIVE RECREATION OVER STORM VAULT
J	10,853	OPEN SPACE AND ACTIVE RECREATION
K	2,527	OPEN SPACE

PRD OPEN SPACE CALCULATIONS TABLE		
PMC SECTION 18.260		
CODE REFERENCE	ALLOWED / REQUIRED	PROVIDED
TOTAL SITE AREA	---	1,134,110 SF
ROW AREA	---	187,212 SF
OPEN SPACE ^{1,4}	170,117 SF	647,578 SF
CRITICAL AREAS ²	---	557,586 SF (49%)
UNENCUMBERED OPEN SPACE ^{3,4}	68,047 SF	93,375 SF

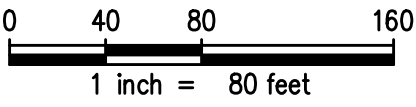
¹ 15% OPEN SPACE IS REQUIRED FOR AVERAGE LOT SIZE OF 4,500-5,499 SF
² 60% OF REQUIRED OPEN SPACE IS PROPOSED TO BE CRITICAL AREA, AS OVER 41% OF THE TOTAL SITE AREA IS CRITICAL AREA
³ 40% OF THE REQUIRED OPEN SPACE MUST BE UNENCUMBERED
⁴ VAULT TRACT AREA IS INCLUDED IN THE OPEN SPACE/UNENCUMBERED OPEN SPACE AREA DUE TO DUAL USE AS PASSIVE RECREATION.

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- PLAT BOUNDARY
- CENTERLINE
- PROPOSED UTILITY EASEMENT (TYP) ⑥
- WETLAND BUFFER (EXISTING AND PROPOSED WITH BUFFER AVERAGING)
- LOT WITH DIRECT VISIBILITY TO OPEN SPACE
- CRITICAL AREA BSBL ⑤
- UNENCUMBERED OPEN SPACE ①
- PROPOSED TRAIL

NOTES:

- UNENCUMBERED OPEN SPACE IDENTIFIED IN THE TRACT UNENCUMBERED OPEN SPACE SUMMARY TABLE IS HIGHLIGHTED IN BLUE/CYAN IN THE PLAN.
- GIS DATA IS USED FOR ALL GRADING INFORMATION AND CITY RECORDS ARE USED FOR ALL SHOWN EXISTING UTILITIES. THE PROJECT SURVEYOR SHALL PROVIDE A FULL SITE SURVEY DURING CONSTRUCTION DOCUMENT PREPARATION.
- EXISTING LOT LINES AND EASEMENTS SHOWN ARE PROVIDED BY THE PROJECT SURVEYOR.
- WETLAND AND STREAM LIMITS ARE FLAGGED IN THE FIELD BY THE WETLAND BIOLOGIST AND SURVEYED LOCATION IS SHOWN ON THESE PLANS.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.



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NO.	DATE	BY	CHD.	APPR.	REVISION

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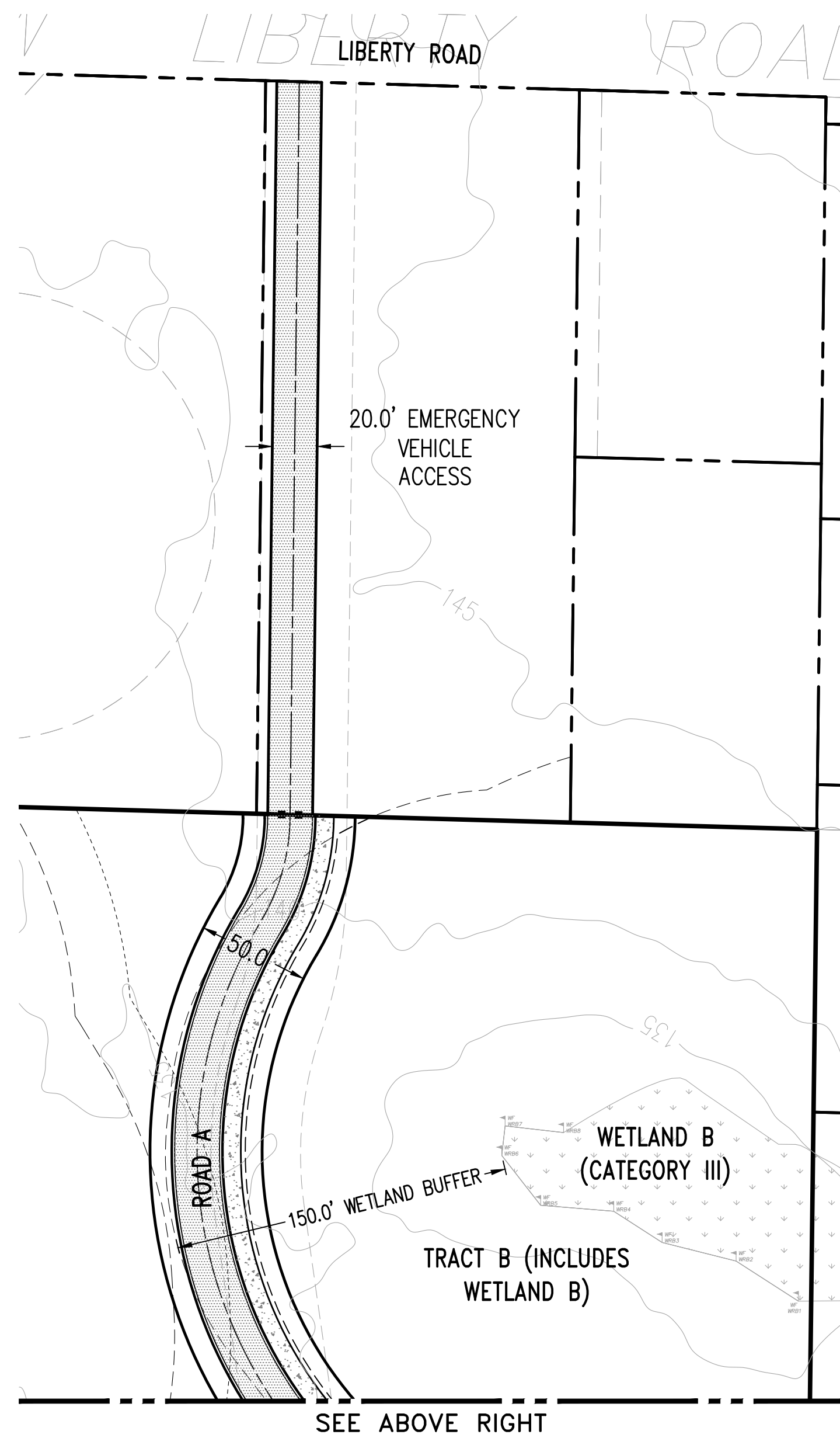
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OPEN SPACE PLAN

SHEET

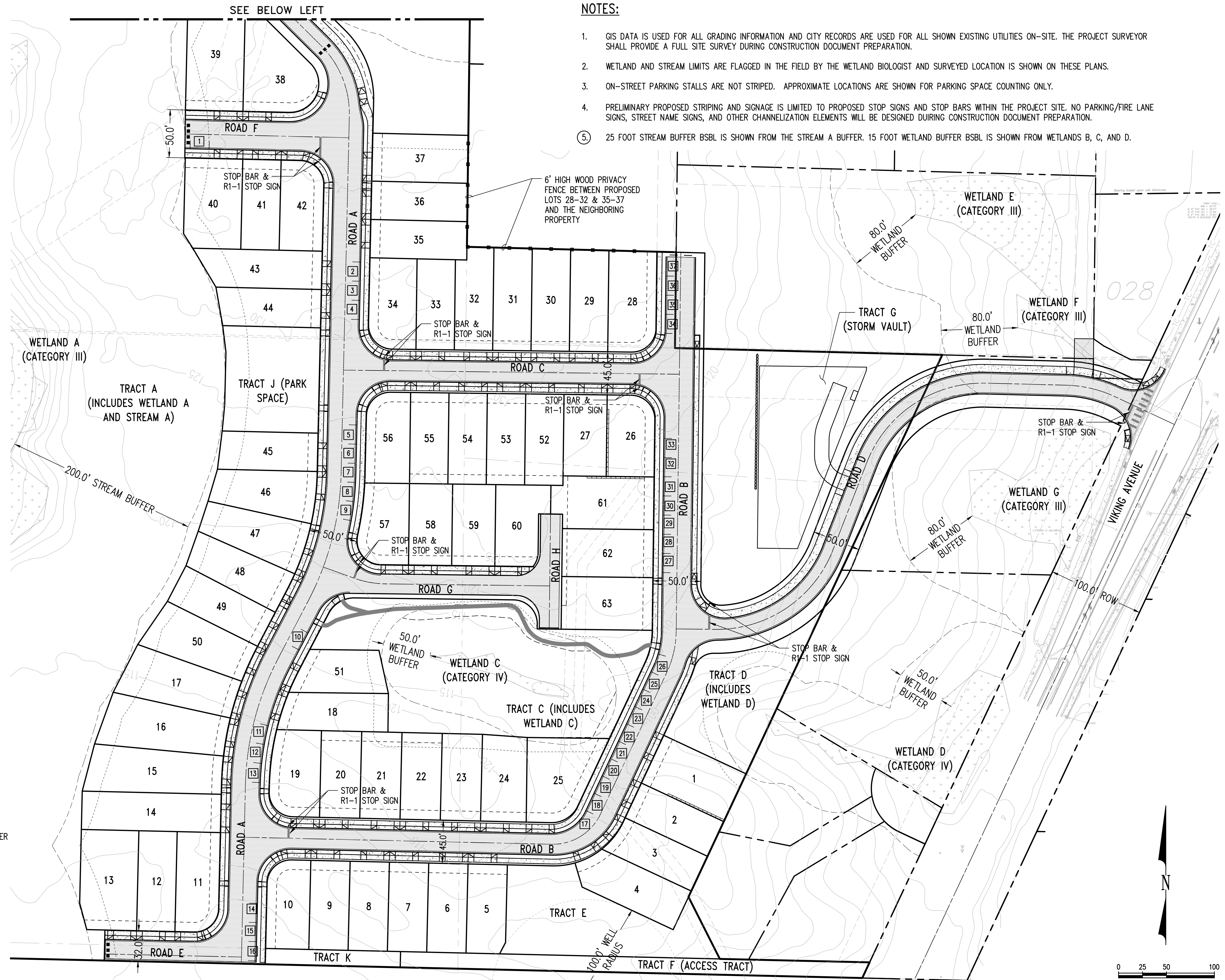
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LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- PLAT BOUNDARY
- CENTERLINE
- PROPOSED UTILITY EASEMENT (TYP)
- WETLAND BUFFER (EXISTING AND PROPOSED WITH BUFFER AVERAGING)
- PARKING STALL COUNT (37 TOTAL STALLS)
- PROPOSED STREET SIGN
- 6' HIGH WOODEN PRIVACY FENCE
- CRITICAL AREA BSBL
- PROPOSED TRAIL



NOTES:

- GIS DATA IS USED FOR ALL GRADING INFORMATION AND CITY RECORDS ARE USED FOR ALL SHOWN EXISTING UTILITIES ON-SITE. THE PROJECT SURVEYOR SHALL PROVIDE A FULL SITE SURVEY DURING CONSTRUCTION DOCUMENT PREPARATION.
- WETLAND AND STREAM LIMITS ARE FLAGGED IN THE FIELD BY THE WETLAND BIOLOGIST AND SURVEYED LOCATION IS SHOWN ON THESE PLANS.
- ON-STREET PARKING STALLS ARE NOT STRIPED. APPROXIMATE LOCATIONS ARE SHOWN FOR PARKING SPACE COUNTING ONLY.
- PRELIMINARY PROPOSED STRIPING AND SIGNAGE IS LIMITED TO PROPOSED STOP SIGNS AND STOP BARS WITHIN THE PROJECT SITE. NO PARKING/FIRE LANE SIGNS, STREET NAME SIGNS, AND OTHER CHANNELIZATION ELEMENTS WILL BE DESIGNED DURING CONSTRUCTION DOCUMENT PREPARATION.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.

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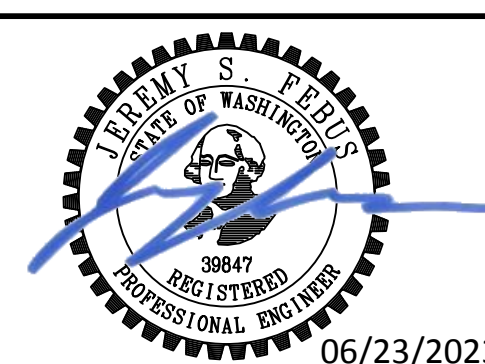
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PRELIMINARY SIGNAGE PLAN

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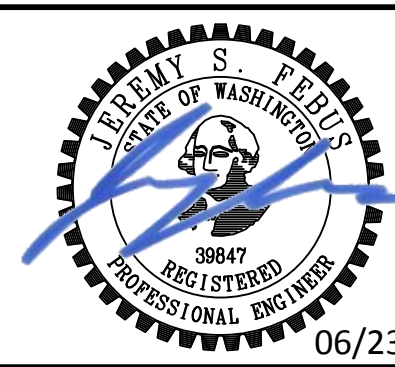
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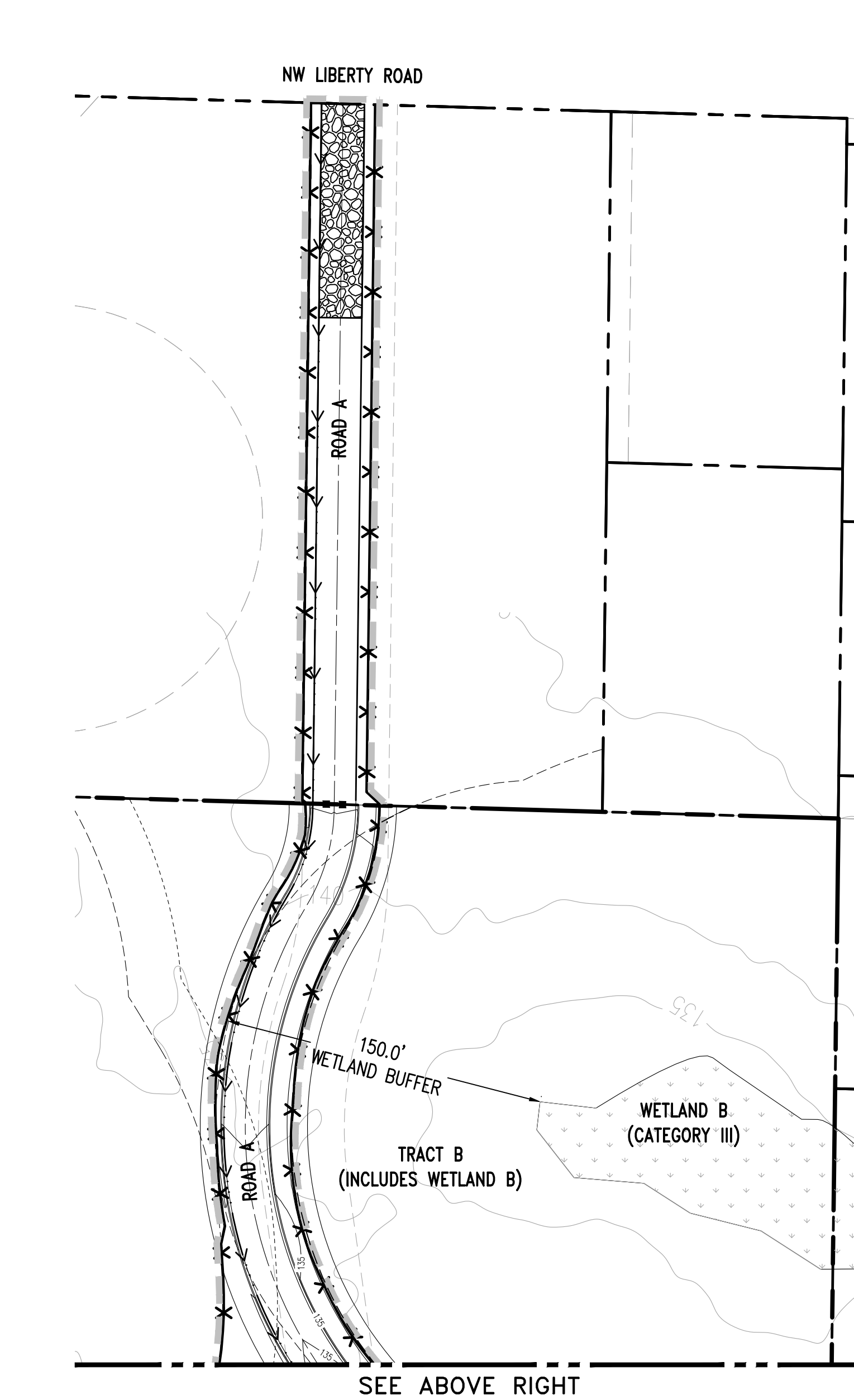
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POULSBORO, WASHINGTON

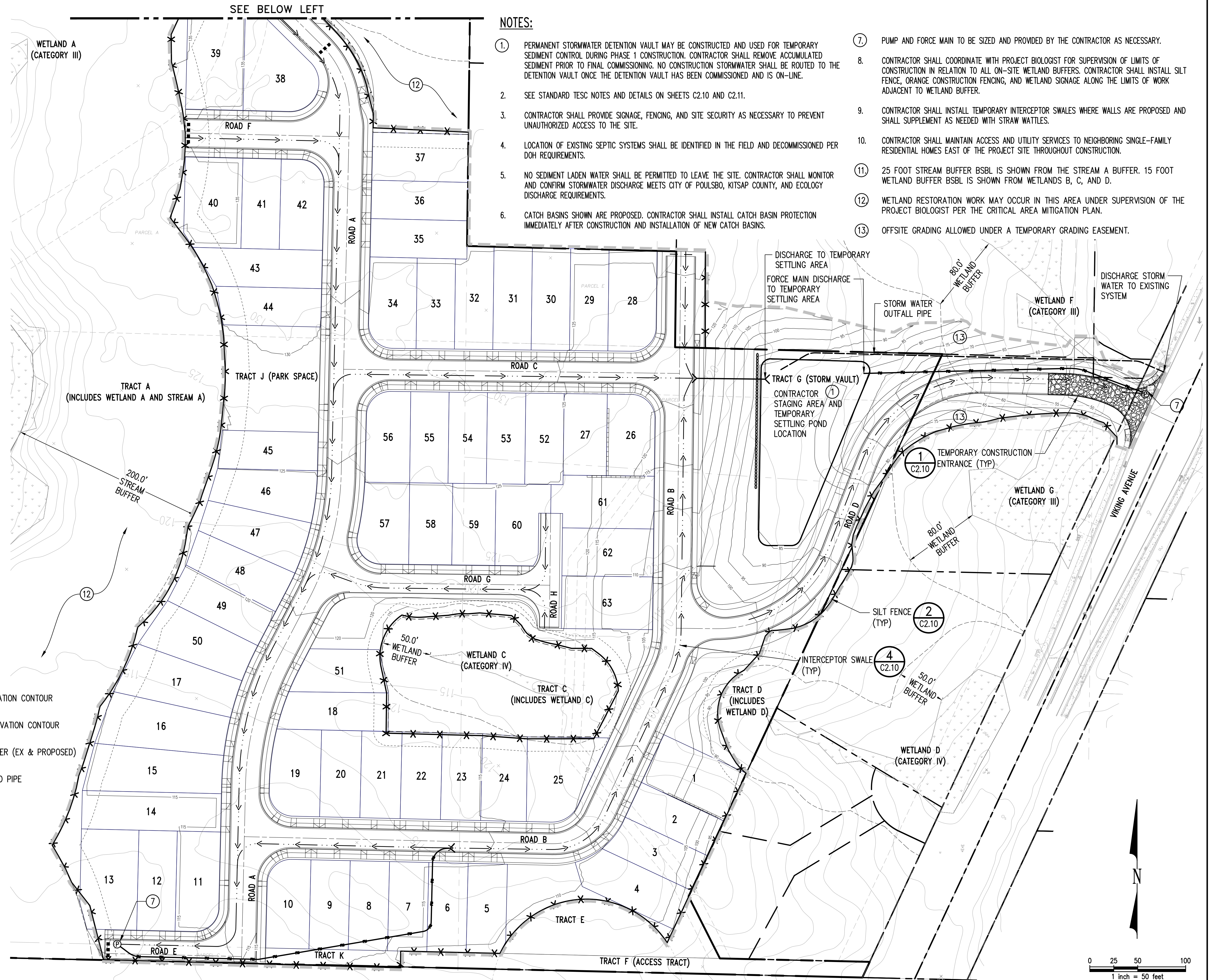
TESC PLAN

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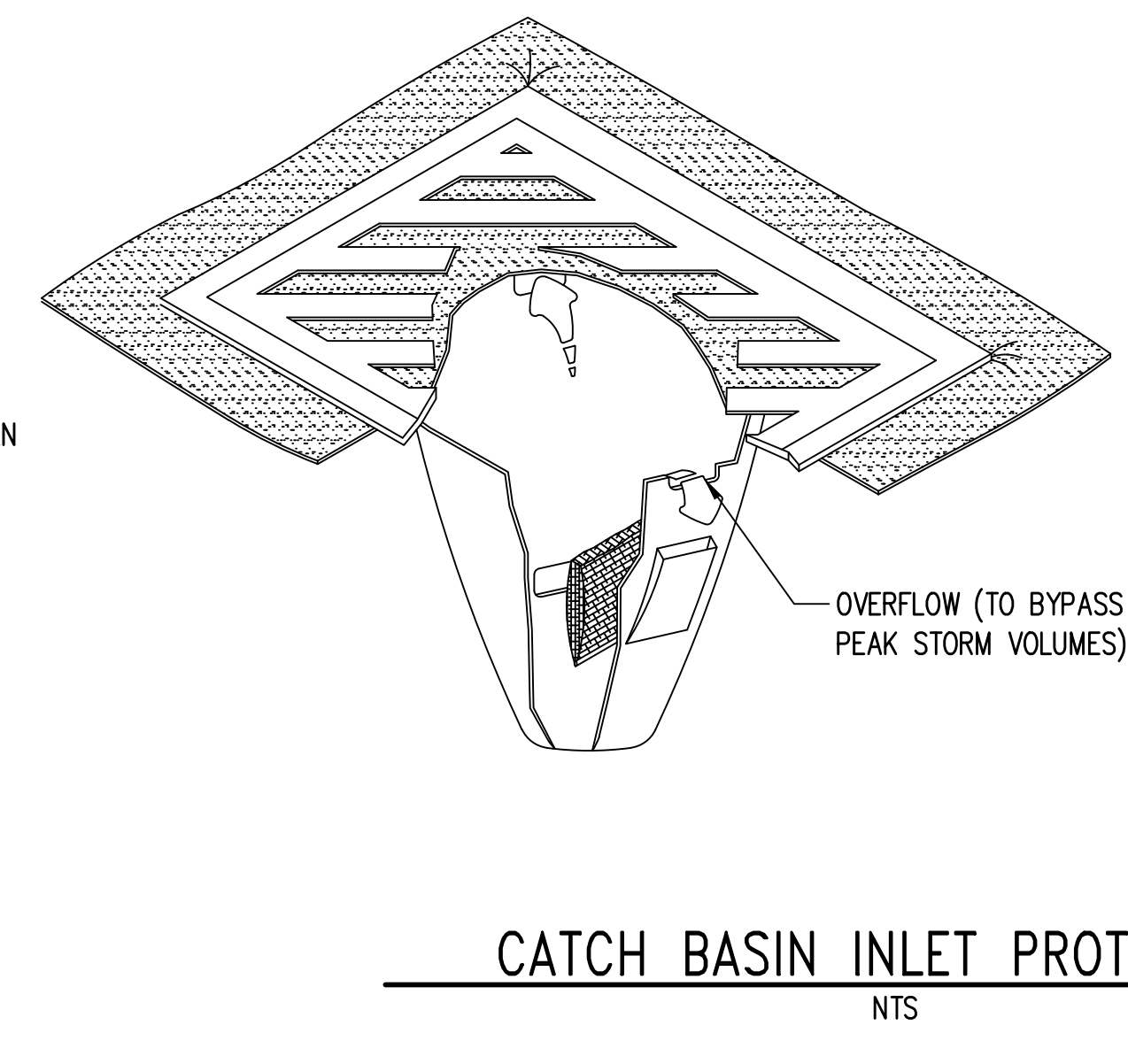
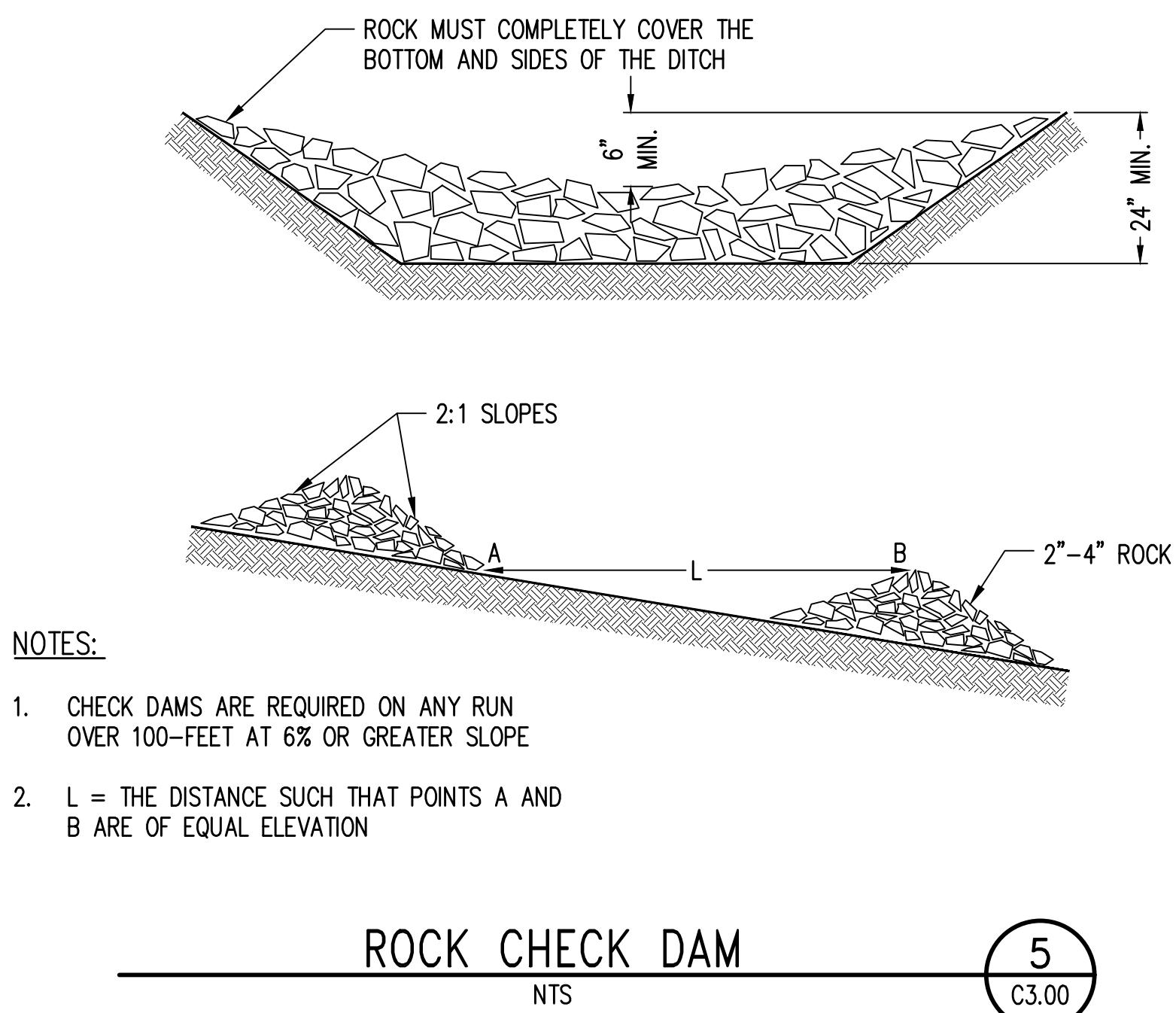
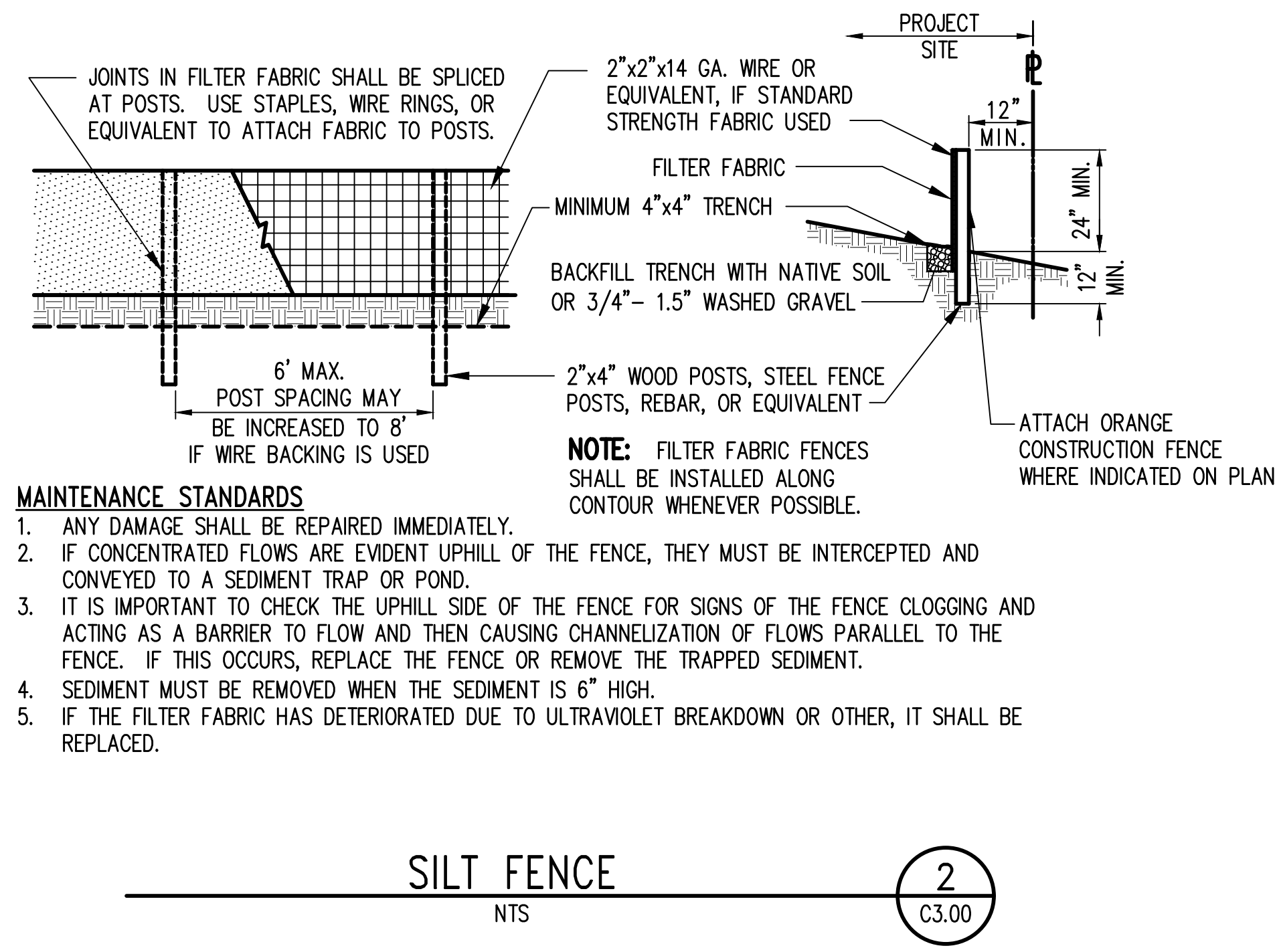
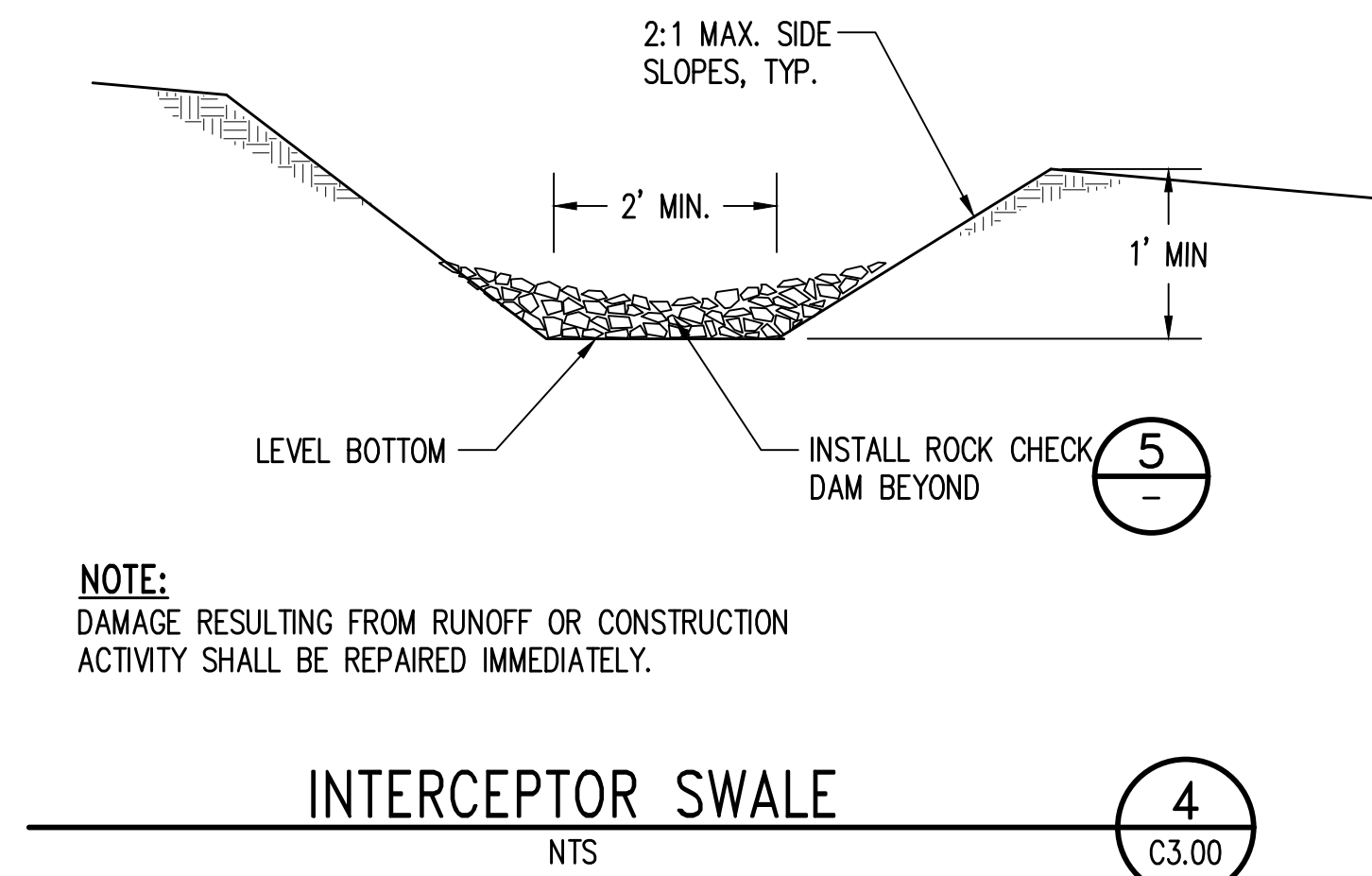
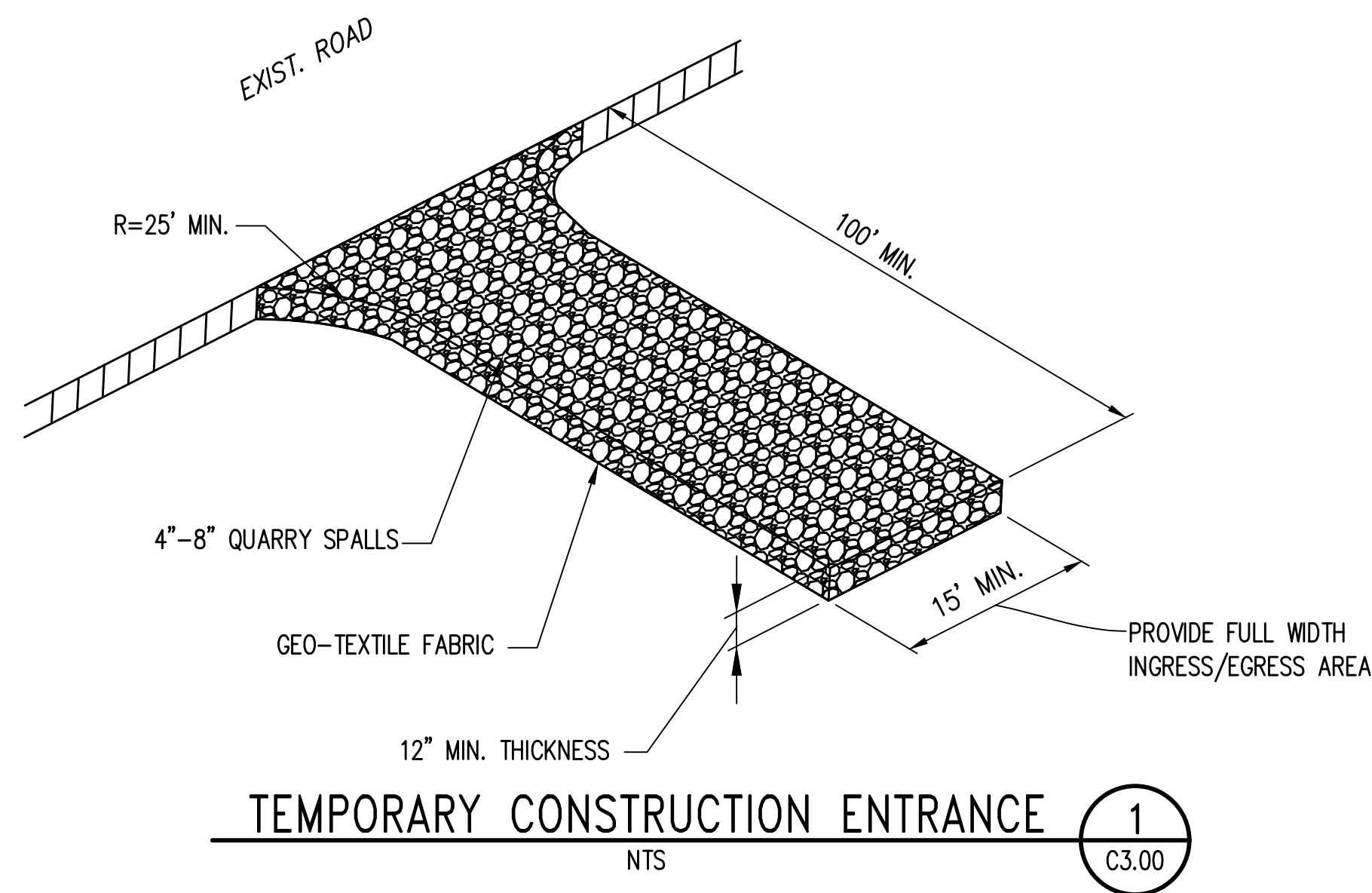
LEGEND	
	PROPERTY LINE/PROPOSED ROW
	LIMITS OF DISTURBANCE
	CONSTRUCTION ENTRANCE
	SILT FENCE
	TEMPORARY INTERCEPTOR SWALE
	CHECK DAM (5 C2.10)
	CATCH BASIN INLET PROTECTION (3 C2.10)
	TEMPORARY CULVERT
	ROCK ARMORING OUTFALL PROTECTION
	EXISTING ELEVATION CONTOUR
	PROPOSED ELEVATION CONTOUR
	WETLAND BUFFER (EX & PROPOSED)
	4" PERFORATED PIPE
	PUMP
	FORCE MAIN
	PROPOSED EASEMENT
	CRITICAL AREA BSBL (11)



NOTES:

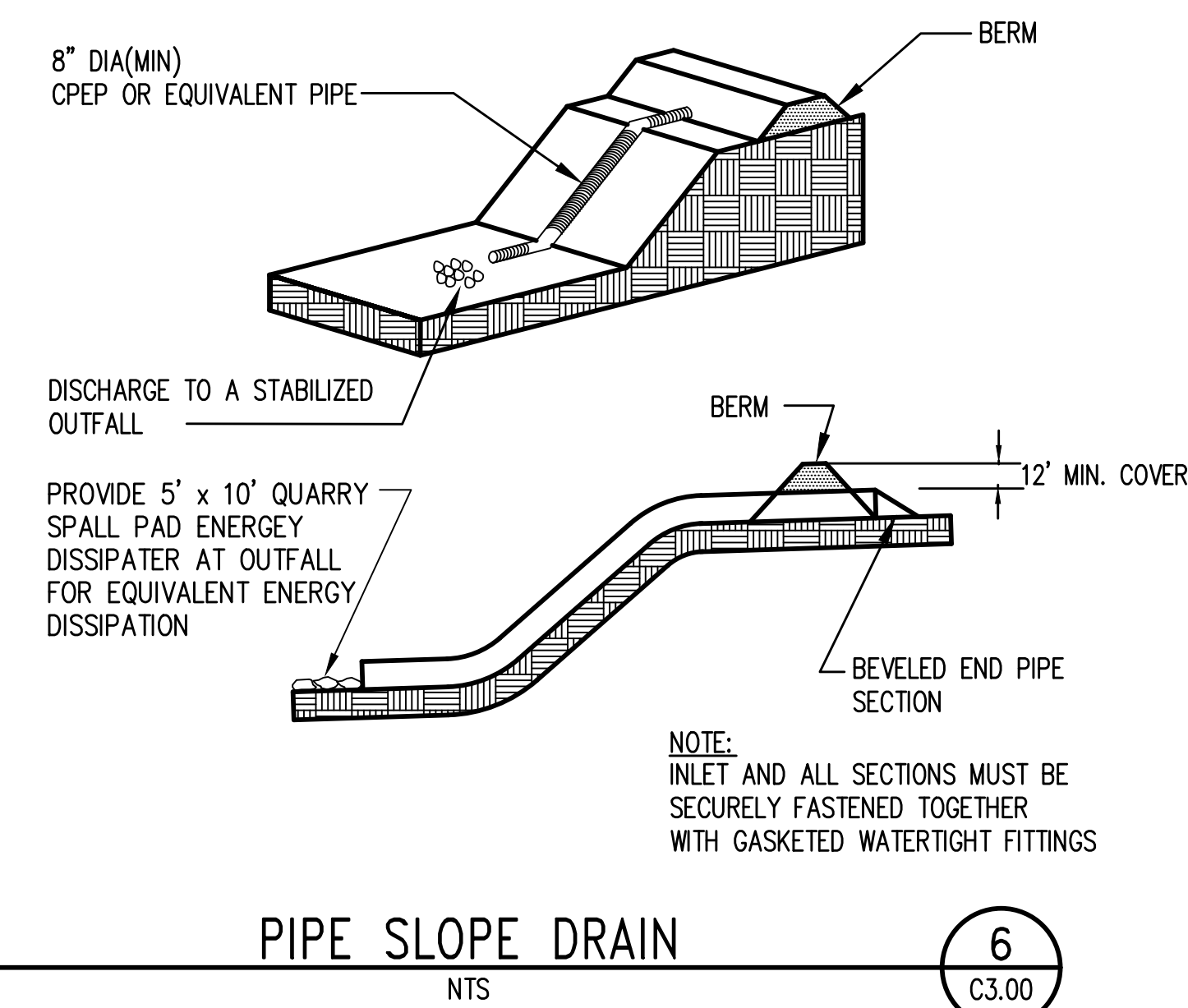
- PERMANENT STORMWATER DETENTION VAULT MAY BE CONSTRUCTED AND USED FOR TEMPORARY SEDIMENT CONTROL DURING PHASE 1 CONSTRUCTION. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT PRIOR TO FINAL COMMISSIONING. NO CONSTRUCTION STORMWATER SHALL BE ROUTED TO THE DETENTION VAULT ONCE THE DETENTION VAULT HAS BEEN COMMISSIONED AND IS ON-LINE.
- SEE STANDARD TESC NOTES AND DETAILS ON SHEETS C2.10 AND C2.11.
- CONTRACTOR SHALL PROVIDE SIGNAGE, FENCING, AND SITE SECURITY AS NECESSARY TO PREVENT UNAUTHORIZED ACCESS TO THE SITE.
- LOCATION OF EXISTING SEPTIC SYSTEMS SHALL BE IDENTIFIED IN THE FIELD AND DECOMMISSIONED PER DOH REQUIREMENTS.
- NO SEDIMENT LADEN WATER SHALL BE PERMITTED TO LEAVE THE SITE. CONTRACTOR SHALL MONITOR AND CONFIRM STORMWATER DISCHARGE MEETS CITY OF POULSBORO, KITSAP COUNTY, AND ECOLOGY DISCHARGE REQUIREMENTS.
- CATCH BASINS SHOWN ARE PROPOSED. CONTRACTOR SHALL INSTALL CATCH BASIN PROTECTION IMMEDIATELY AFTER CONSTRUCTION AND INSTALLATION OF NEW CATCH BASINS.
- PUMP AND FORCE MAIN TO BE SIZED AND PROVIDED BY THE CONTRACTOR AS NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH PROJECT BIOLOGIST FOR SUPERVISION OF LIMITS OF CONSTRUCTION IN RELATION TO ALL ON-SITE WETLAND BUFFERS. CONTRACTOR SHALL INSTALL SILT FENCE, ORANGE CONSTRUCTION FENCING, AND WETLAND SIGNAGE ALONG THE LIMITS OF WORK ADJACENT TO WETLAND BUFFER.
- CONTRACTOR SHALL INSTALL TEMPORARY INTERCEPTOR SWALES WHERE WALLS ARE PROPOSED AND SHALL SUPPLEMENT AS NEEDED WITH STRAW MATS.
- CONTRACTOR SHALL MAINTAIN ACCESS AND UTILITY SERVICES TO NEIGHBORING SINGLE-FAMILY RESIDENTIAL HOMES EAST OF THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.
- WETLAND RESTORATION WORK MAY OCCUR IN THIS AREA UNDER SUPERVISION OF THE PROJECT BIOLOGIST PER THE CRITICAL AREA MITIGATION PLAN.
- OFFSITE GRADING ALLOWED UNDER A TEMPORARY GRADING EASEMENT.

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NOTES:

1. STORM DRAIN INLETS NEED TO BE REMOVED AT THE END OF THE JOB.
2. STORM DRAIN INLETS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/3 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.



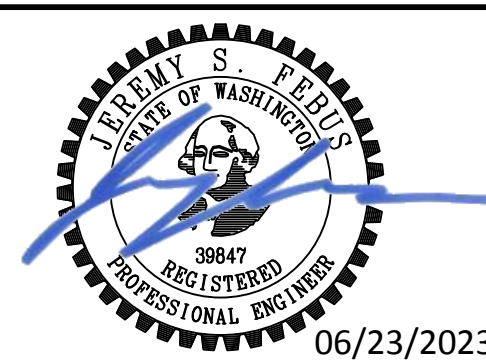
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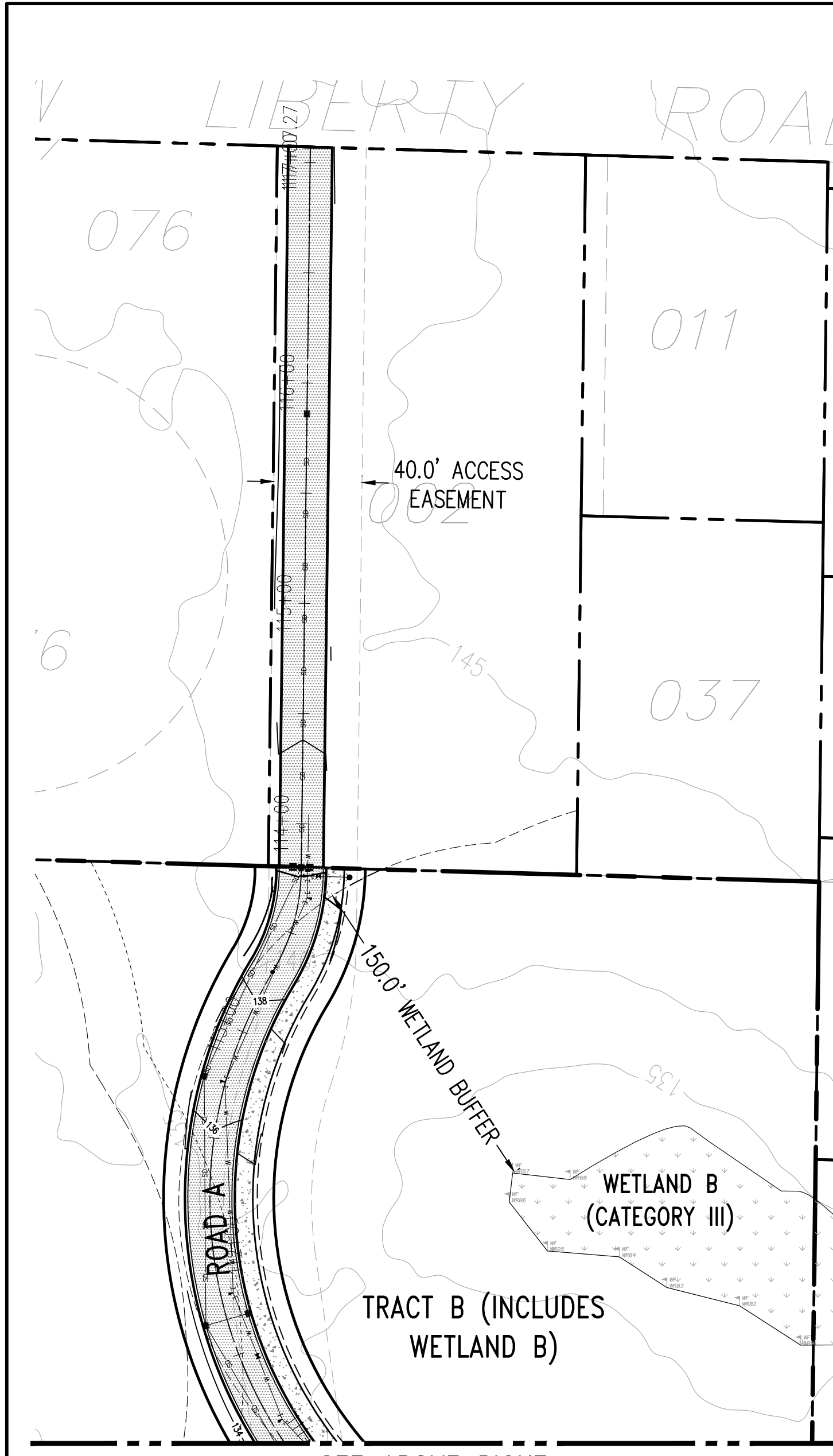


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TESC DETAILS

SHEET

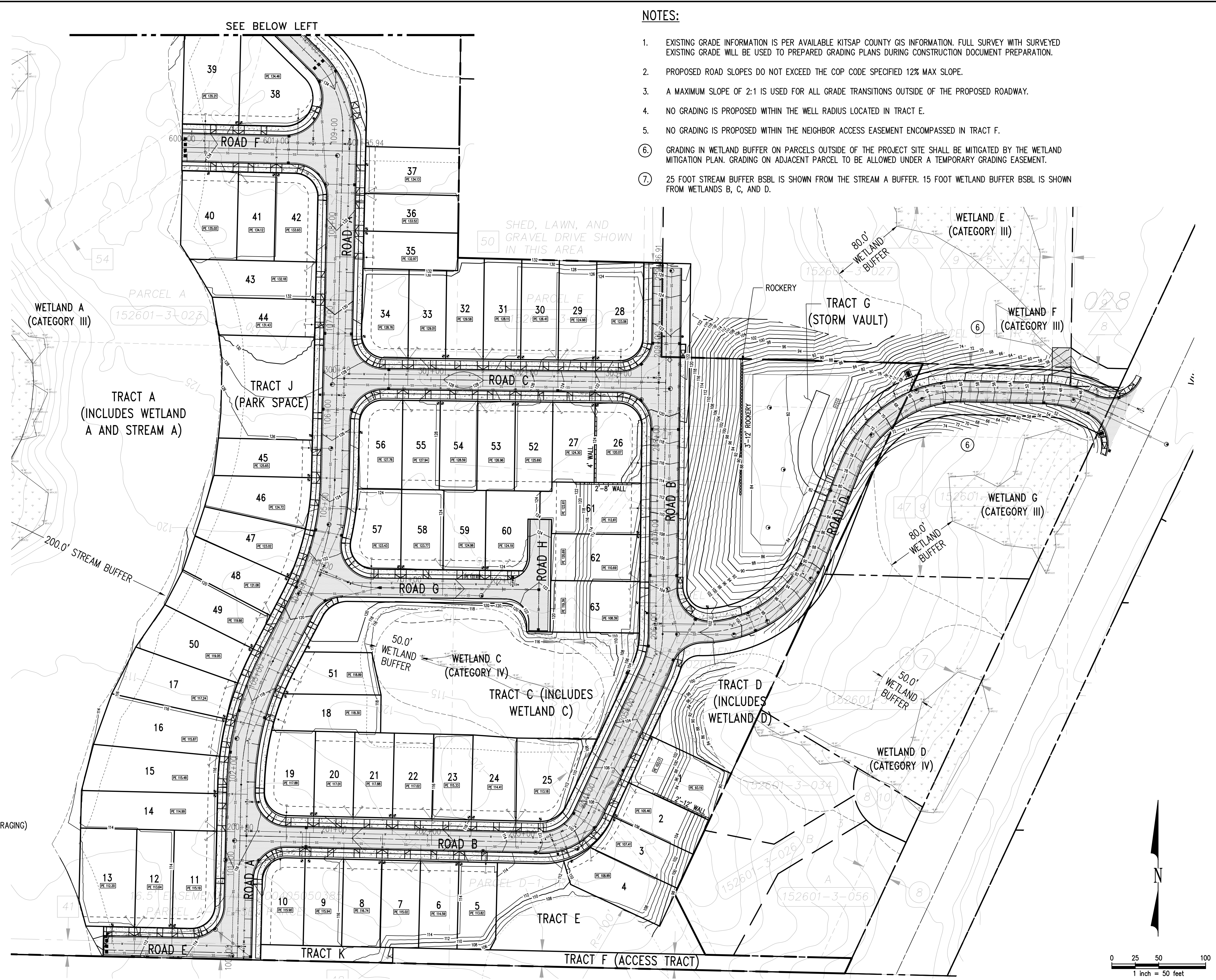
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SEE ABOVE RIGHT

LEGEND


- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- WETLAND BUFFER (EXISTING AND PROPOSED BY AVERAGING)
- XX FINISHED GRADE CONTOUR
- XX EXISTING GRADE CONTOUR
- PE XXX STRUCTURAL PAD ELEVATION
- CRITICAL AREA BSBL ⑦



NOTES:

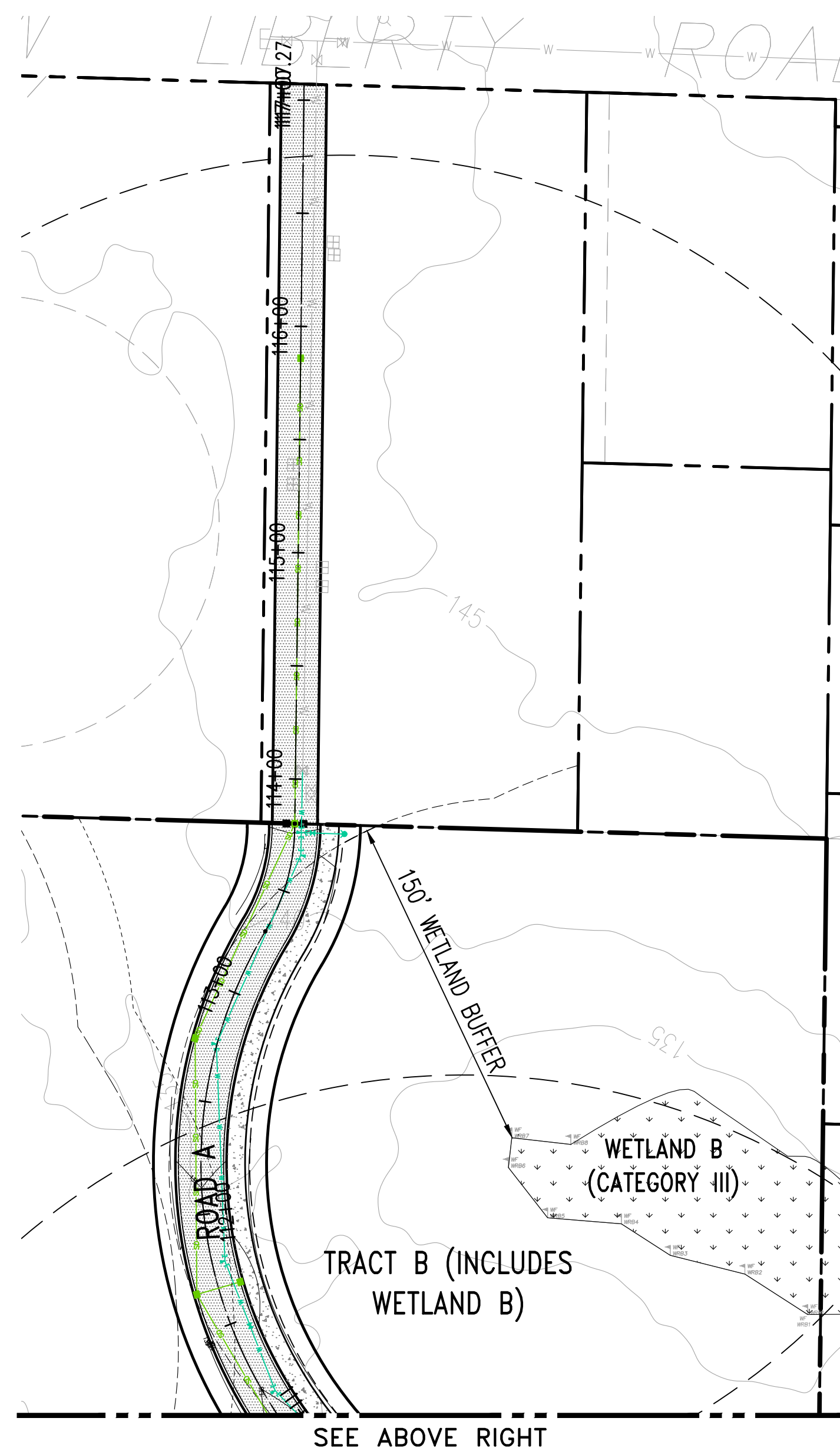
- EXISTING GRADE INFORMATION IS PER AVAILABLE KITSAP COUNTY GIS INFORMATION. FULL SURVEY WITH SURVEYED EXISTING GRADE WILL BE USED TO PREPARED GRADING PLANS DURING CONSTRUCTION DOCUMENT PREPARATION.
- PROPOSED ROAD SLOPES DO NOT EXCEED THE COP CODE SPECIFIED 12% MAX SLOPE.
- A MAXIMUM SLOPE OF 2:1 IS USED FOR ALL GRADE TRANSITIONS OUTSIDE OF THE PROPOSED ROADWAY.
- NO GRADING IS PROPOSED WITHIN THE WELL RADIUS LOCATED IN TRACT E.
- NO GRADING IS PROPOSED WITHIN THE NEIGHBOR ACCESS EASEMENT ENCOMPASSED IN TRACT F.
- GRADING IN WETLAND BUFFER ON PARCELS OUTSIDE OF THE PROJECT SITE SHALL BE MITIGATED BY THE WETLAND MITIGATION PLAN. GRADING ON ADJACENT PARCEL TO BE ALLOWED UNDER A TEMPORARY GRADING EASEMENT.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.

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1	01/2023	EKC	EKC	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY EKC	<div>CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555</div> <div>kpff</div> <div>1601 5th Avenue, Suite 1600 Seattle, WA 98101 206.622.5822 www.kpff.com</div> <div>DATE JUNE 23, 2023</div> <div>J O B No. :2000505</div> <div>S C A L E: AS NOTED</div>	<div></div> <div>06/23/2023</div>	THE PLATEAU AT LIBERTY BAY PRD / ENTITLE FUND TWO, LLC POULSBORO, WASHINGTON		SHEET
2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL	CHECKED BY EKC	APPROVED BY JSF			OVERALL GRADING PLAN	C3.00	
NO.	DATE	BY	CHD.	APPR.	REVISION							

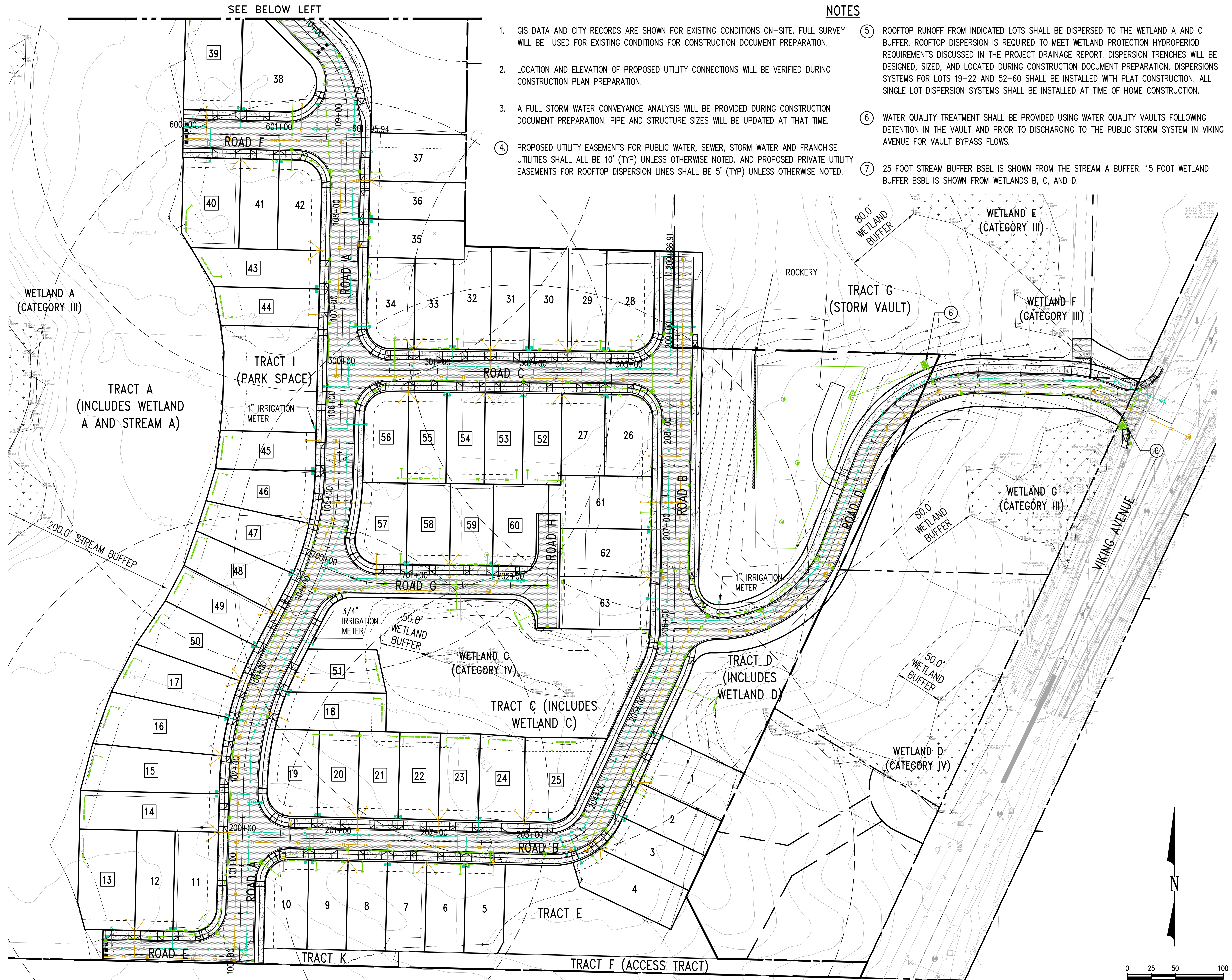
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Jun 23, 2023 - 9:44am
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LEGEND

—	PROPOSED PROPERTY LINE	○	SANITARY SEWER MANHOLE
- - -	PROPERTY LINE	■	WATER METER
—	CENTERLINE	■	FIRE HYDRANT
- - -	PROPOSED UTILITY EASEMENT (4)	■	BLOW OFF VALVE
- - -	WETLAND BUFFER (EX & PROP)	■	AIR RELEASE VALVE
XX	FINISHED GRADE CONTOUR	■	TYPE 1 CATCH BASIN
XX	EXISTING GRADE CONTOUR	○	TYPE 2 CATCH BASIN
—	STORM DRAIN LINE	#	ROOFTOP DISPERSED TO WETLAND BUFFER (5)
—	ROOF DRAIN	---	DISPERSION TRENCH (5)
—	SEWER MAIN	---	CRITICAL AREA BSBL (7)
—	WATER MAIN		



NOTES

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2. LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
3. A FULL STORM WATER CONVEYANCE ANALYSIS WILL BE PROVIDED DURING CONSTRUCTION DOCUMENT PREPARATION. PIPE AND STRUCTURE SIZES WILL BE UPDATED AT THAT TIME.
4. PROPOSED UTILITY EASEMENTS FOR PUBLIC WATER, SEWER, STORM WATER AND FRANCHISE UTILITIES SHALL ALL BE 10' (TYP) UNLESS OTHERWISE NOTED. AND PROPOSED PRIVATE UTILITY EASEMENTS FOR ROOFTOP DISPERSION LINES SHALL BE 5' (TYP) UNLESS OTHERWISE NOTED.
5. ROOFTOP RUNOFF FROM INDICATED LOTS SHALL BE DISPERSED TO THE WETLAND A AND C BUFFER. ROOFTOP DISPERSION IS REQUIRED TO MEET WETLAND PROTECTION HYDROPERIOD REQUIREMENTS DISCUSSED IN THE PROJECT DRAINAGE REPORT. DISPERSION TRENCHES WILL BE DESIGNED, SIZED, AND LOCATED DURING CONSTRUCTION DOCUMENT PREPARATION. DISPERSIONS SYSTEMS FOR LOTS 19-22 AND 52-60 SHALL BE INSTALLED WITH PLAT CONSTRUCTION. ALL SINGLE LOT DISPERSION SYSTEMS SHALL BE INSTALLED AT TIME OF HOME CONSTRUCTION.
6. WATER QUALITY TREATMENT SHALL BE PROVIDED USING WATER QUALITY VAULTS FOLLOWING DETENTION IN THE VAULT AND PRIOR TO DISCHARGING TO THE PUBLIC STORM SYSTEM IN VIKING AVENUE FOR VAULT BYPASS FLOWS.
7. 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.

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DRAWN BY RAG	DESIGNED BY EKC
CHECKED BY EKC	APPROVED BY JSF
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OVERALL UTILITY PLAN

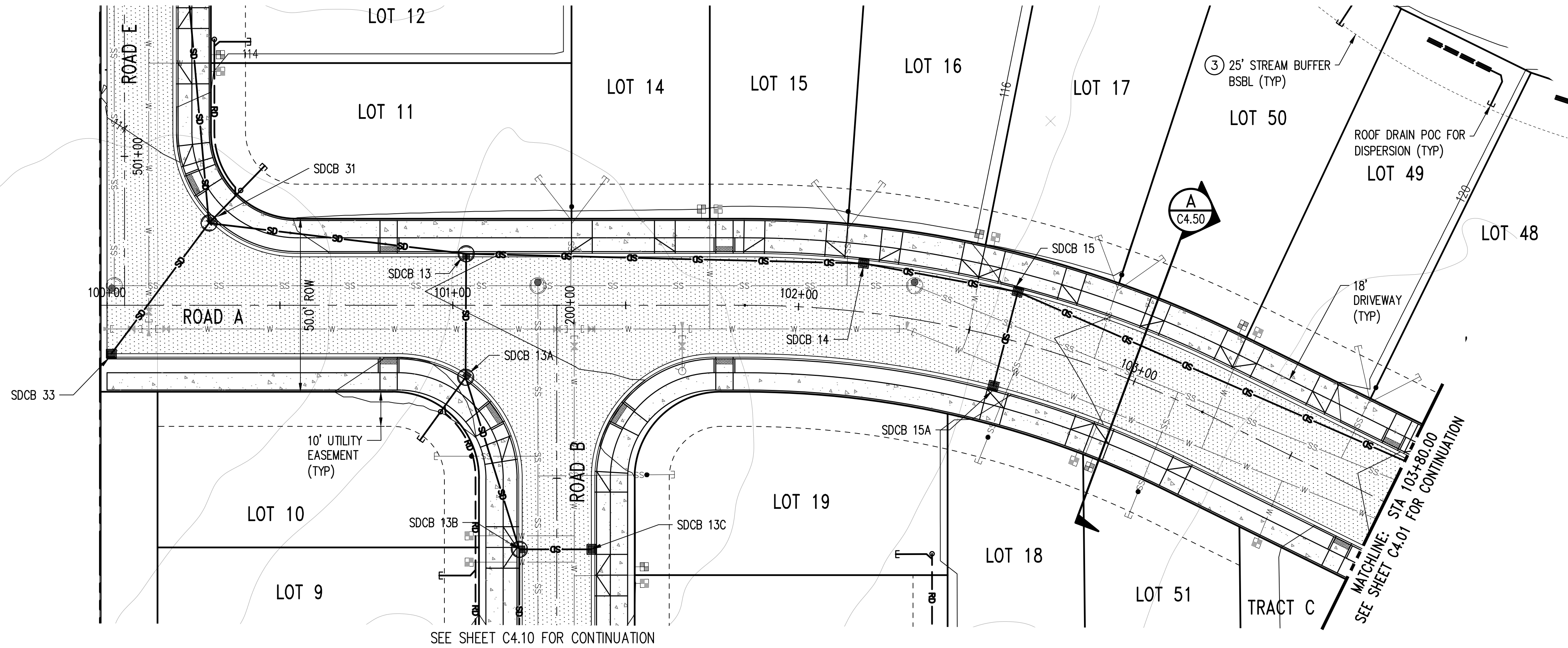
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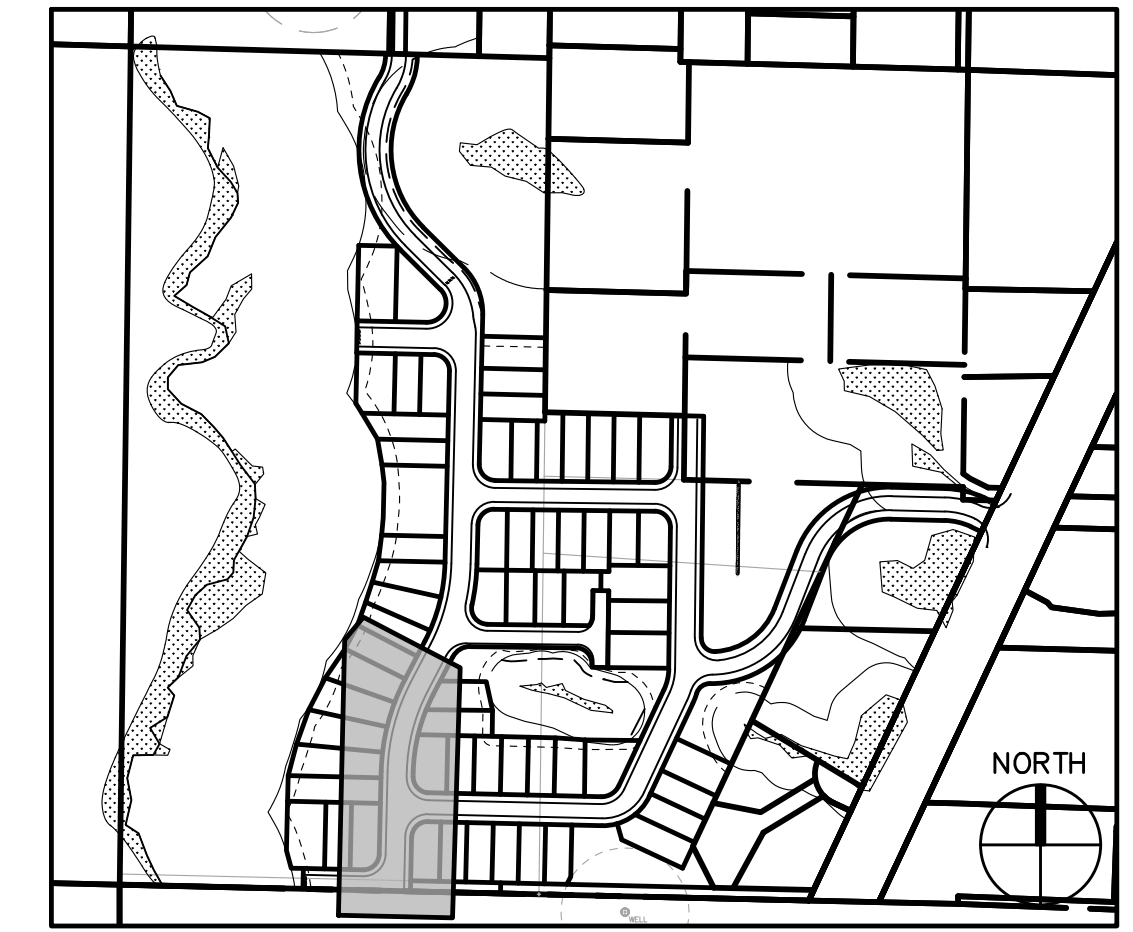
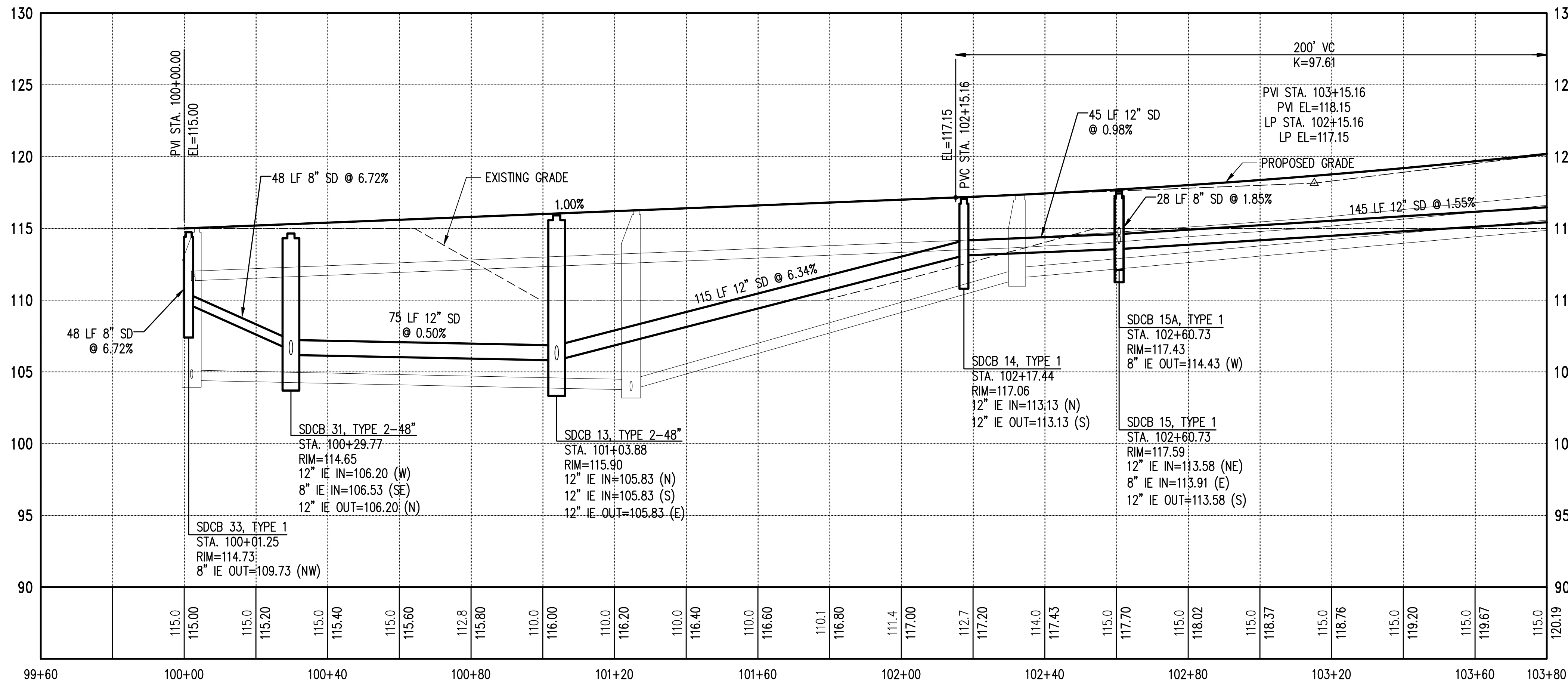
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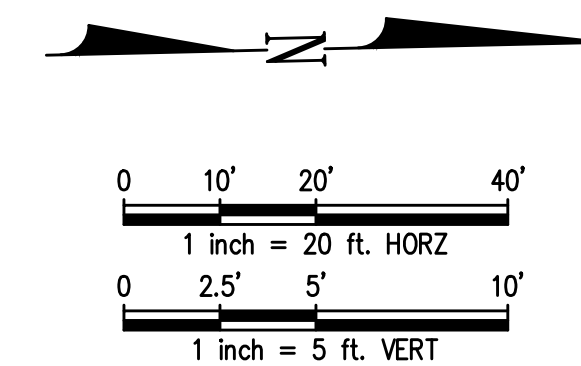
KEY MAP

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- ROOF DRAIN
- WATER MAIN
- SEWER MAIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WETLAND BUFFER (EX & PROP)
- CRITICAL AREA BSBL (3)
- CONCRETE PAVING
- ASPHALT PAVING

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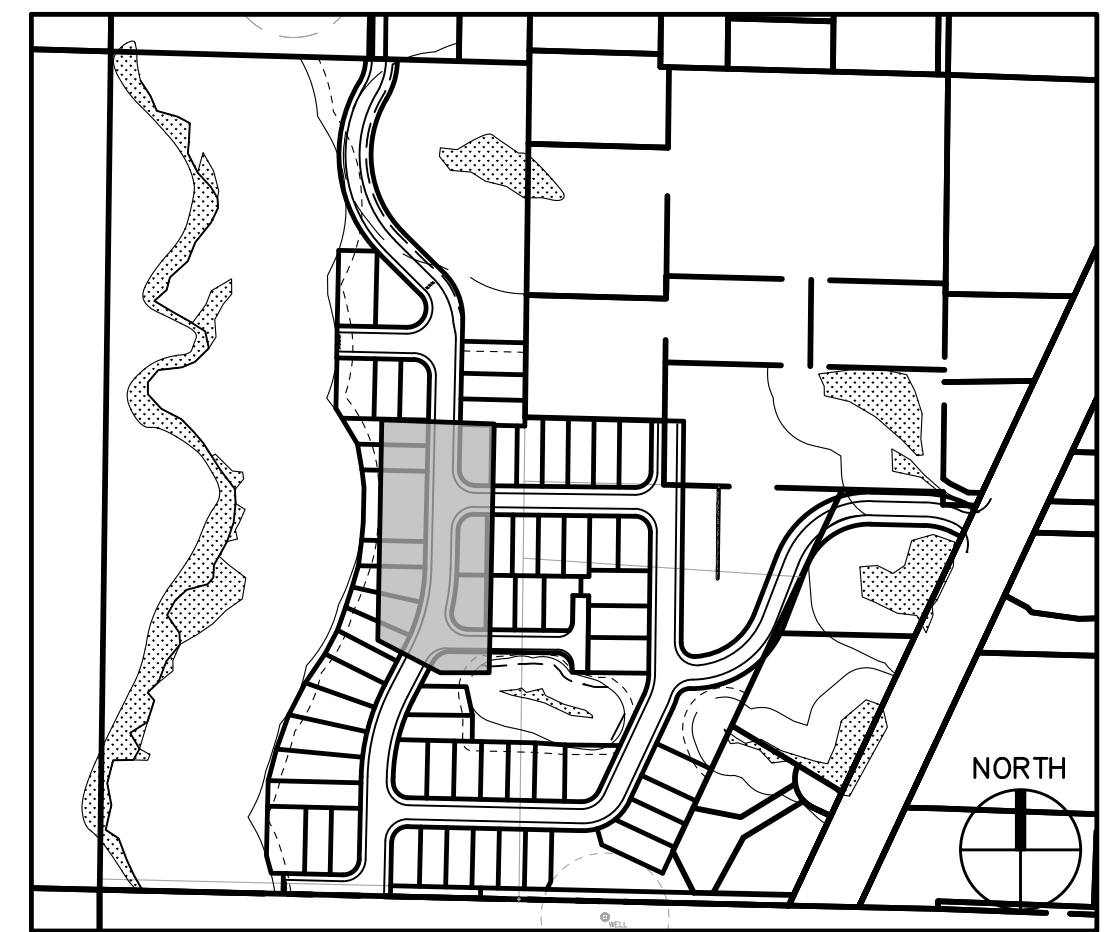
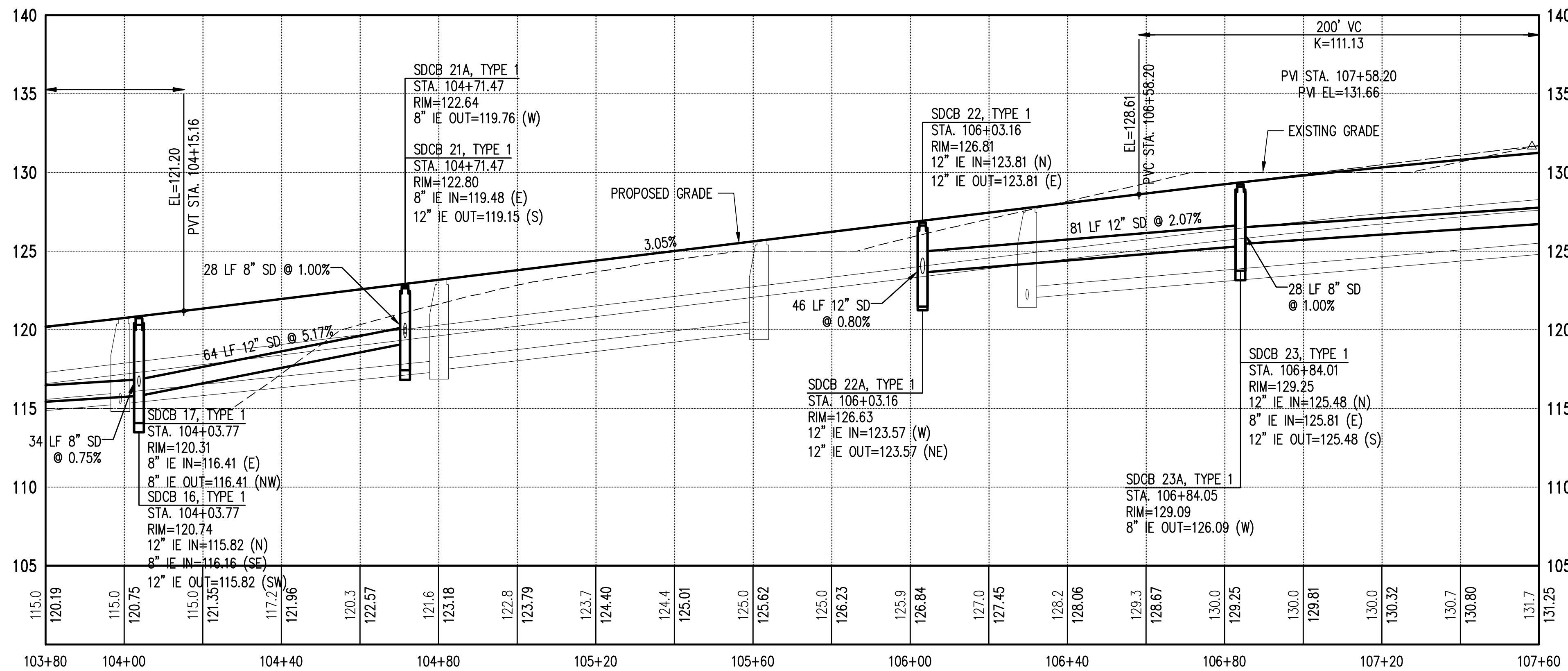
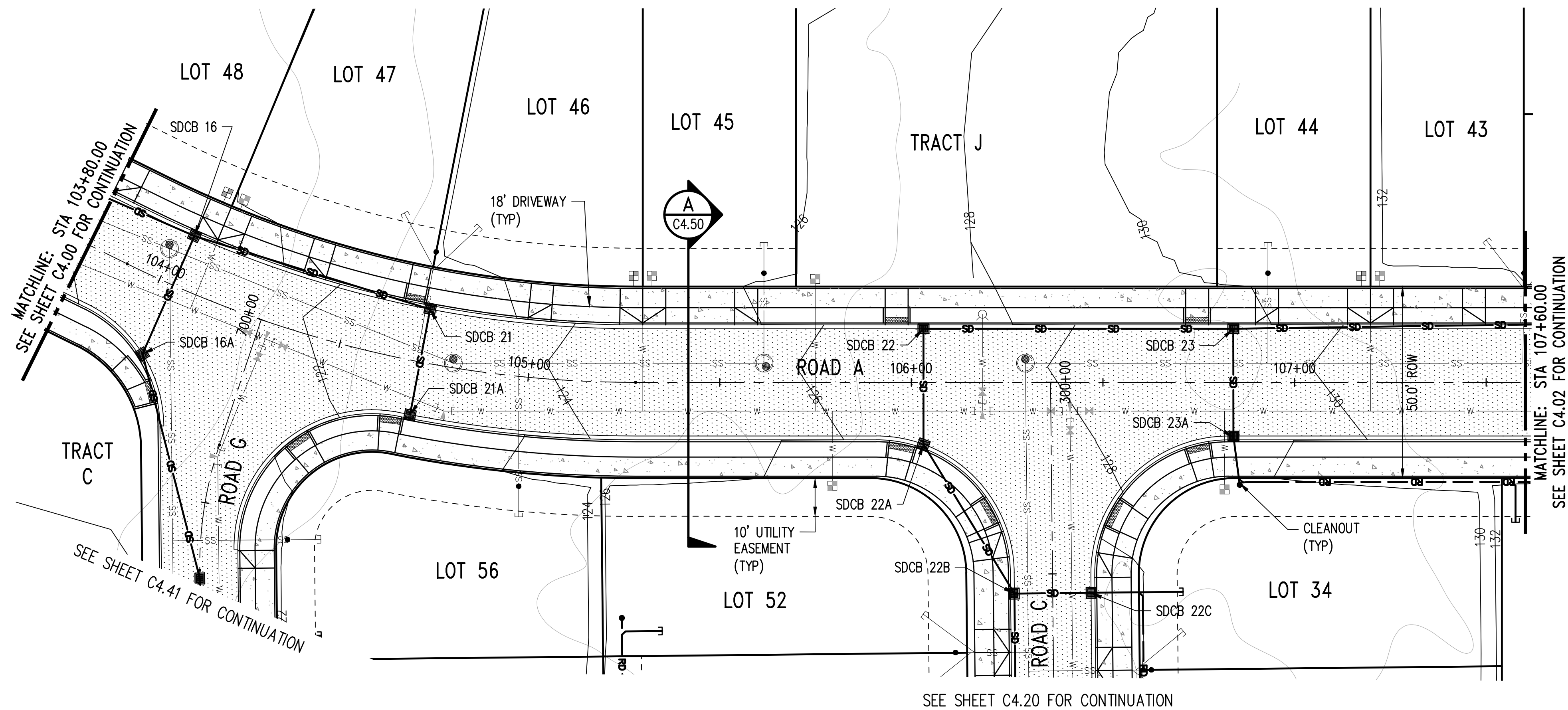
ROAD A STORM DRAINAGE PLAN AND PROFILE

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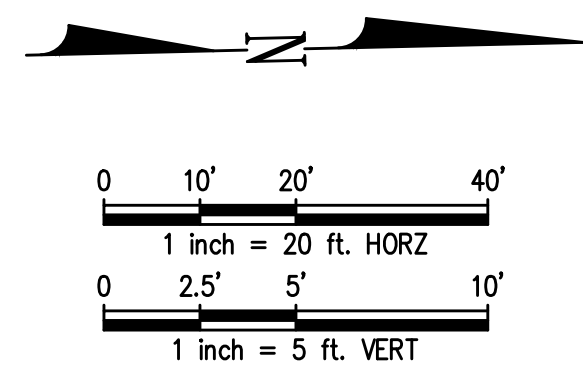
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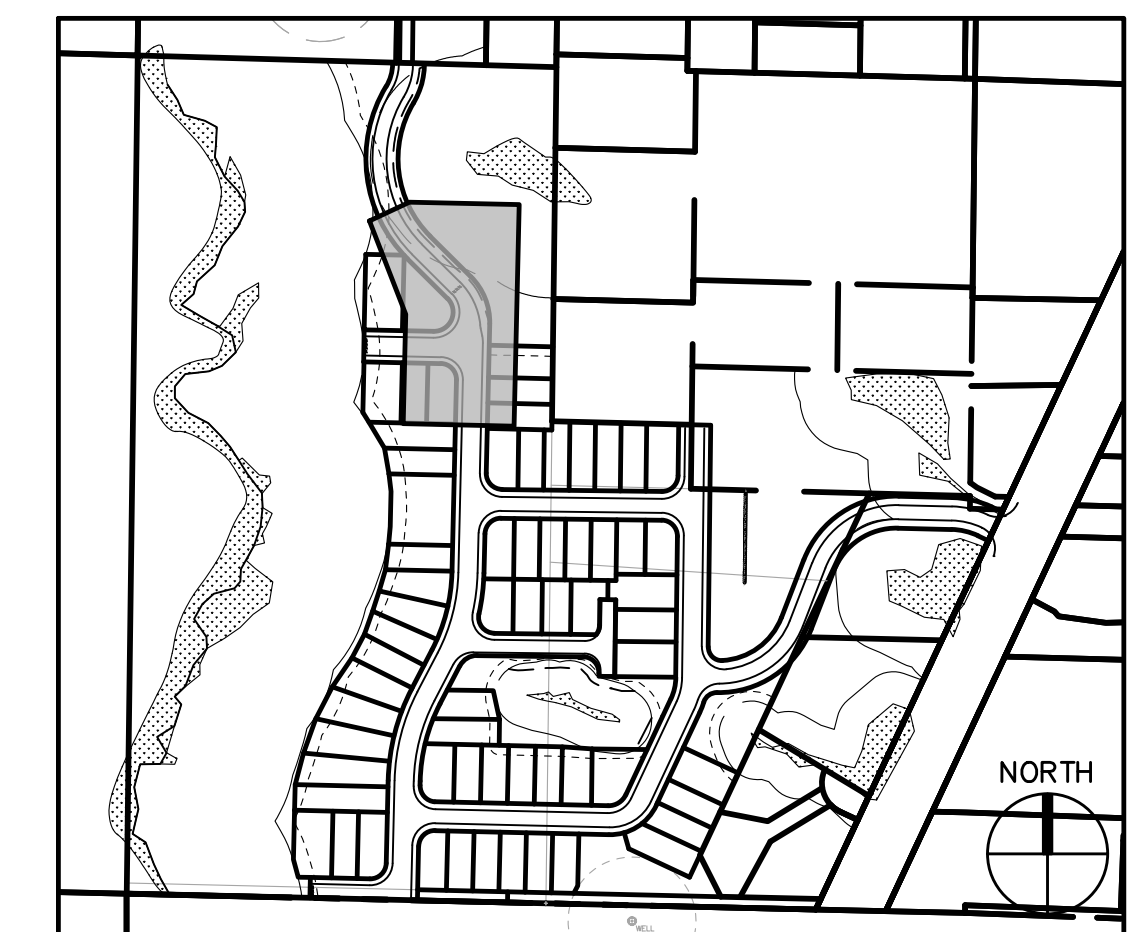
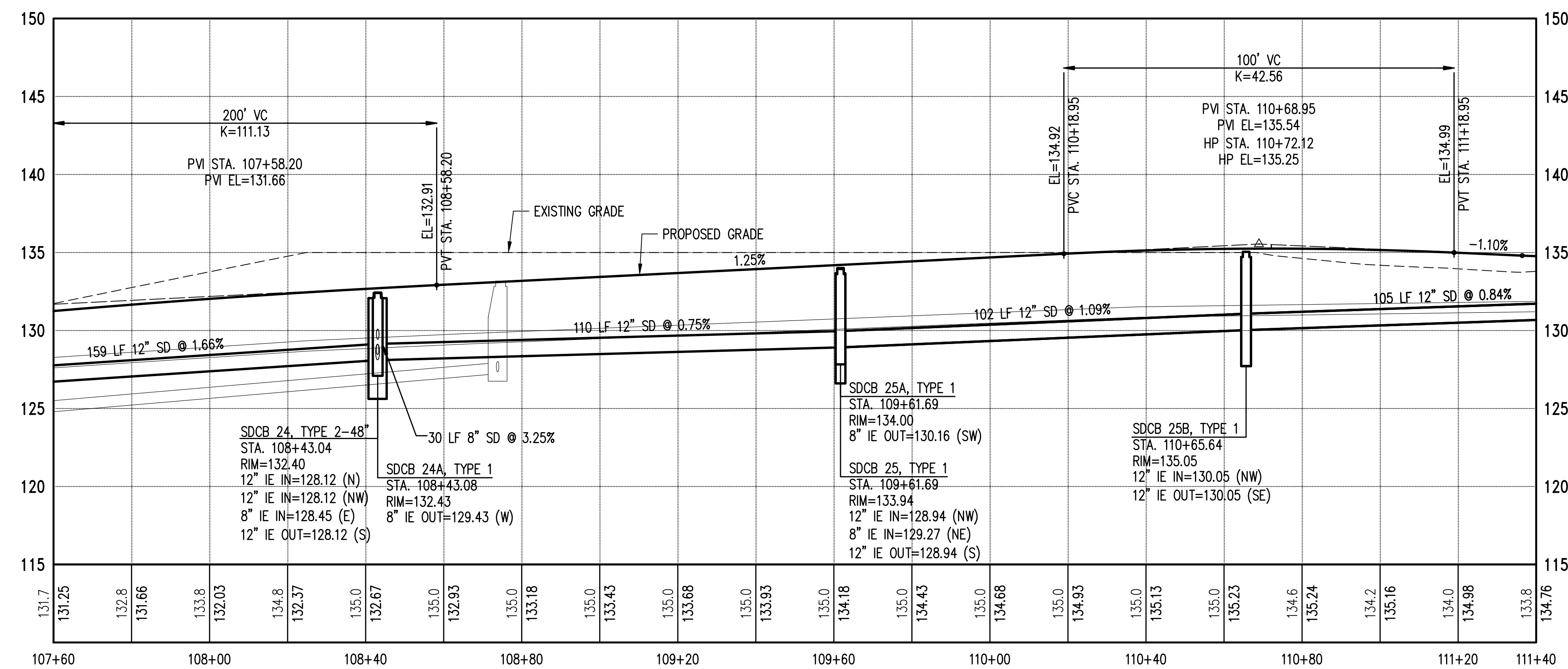
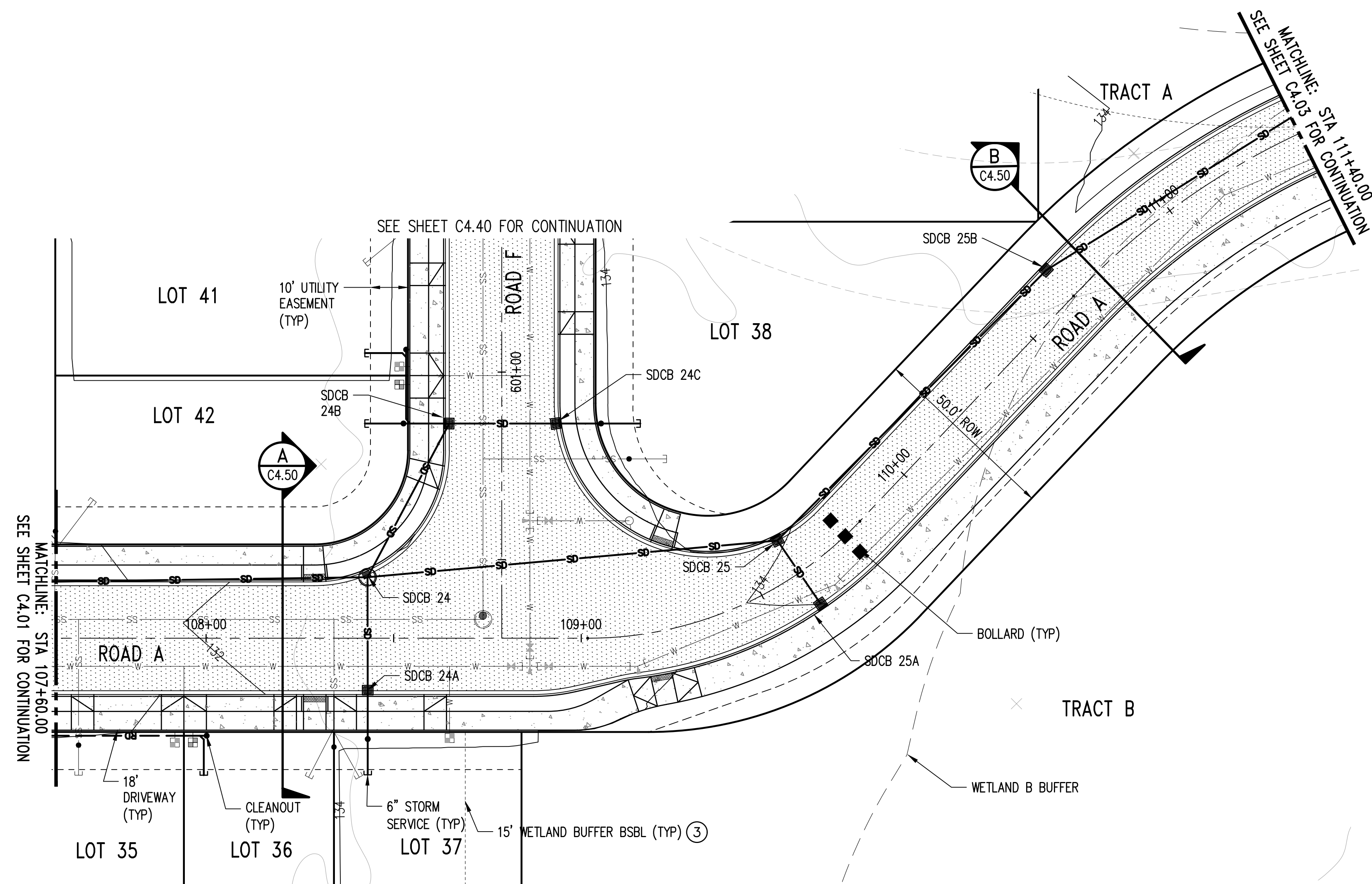


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ROAD A STORM DRAINAGE PLAN AND PROFILE







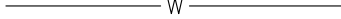
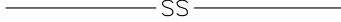








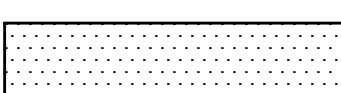

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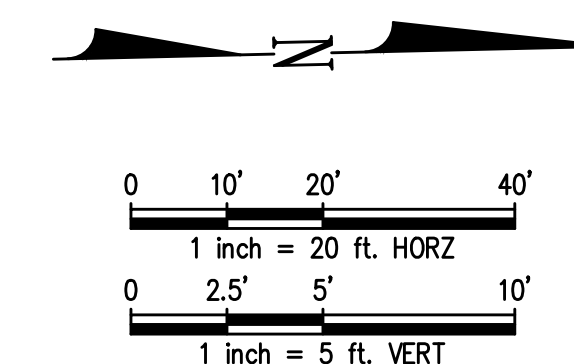
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						JUNE 23, 2023	
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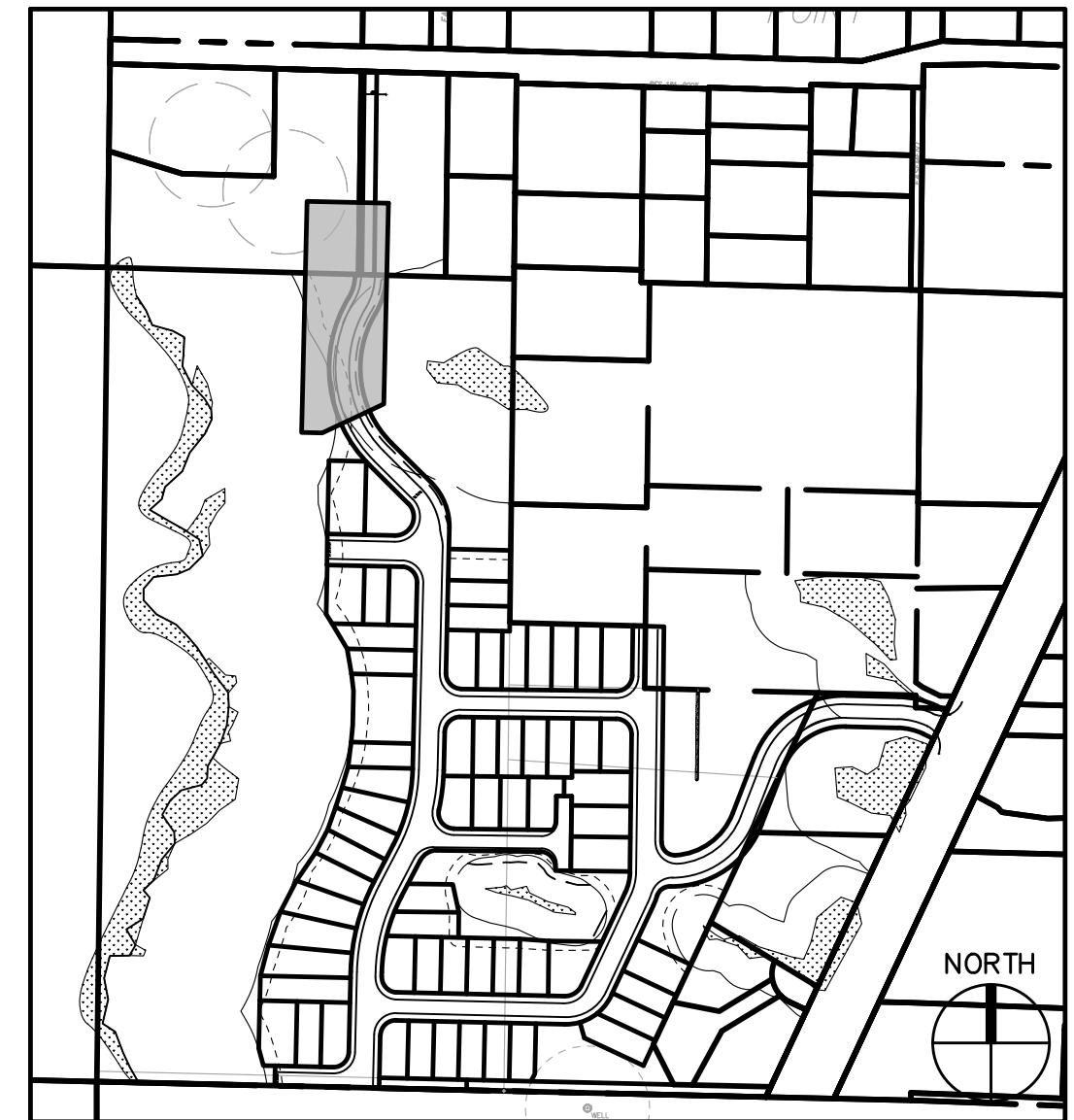
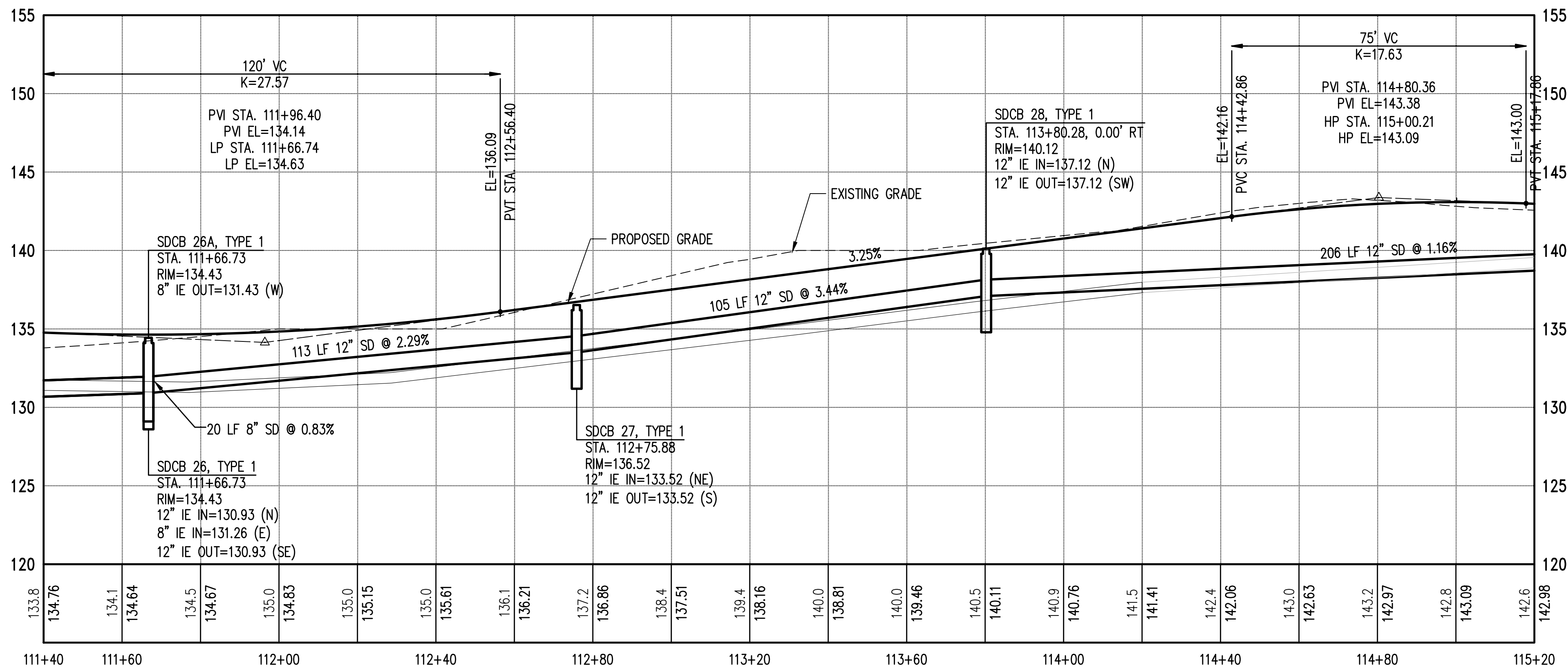
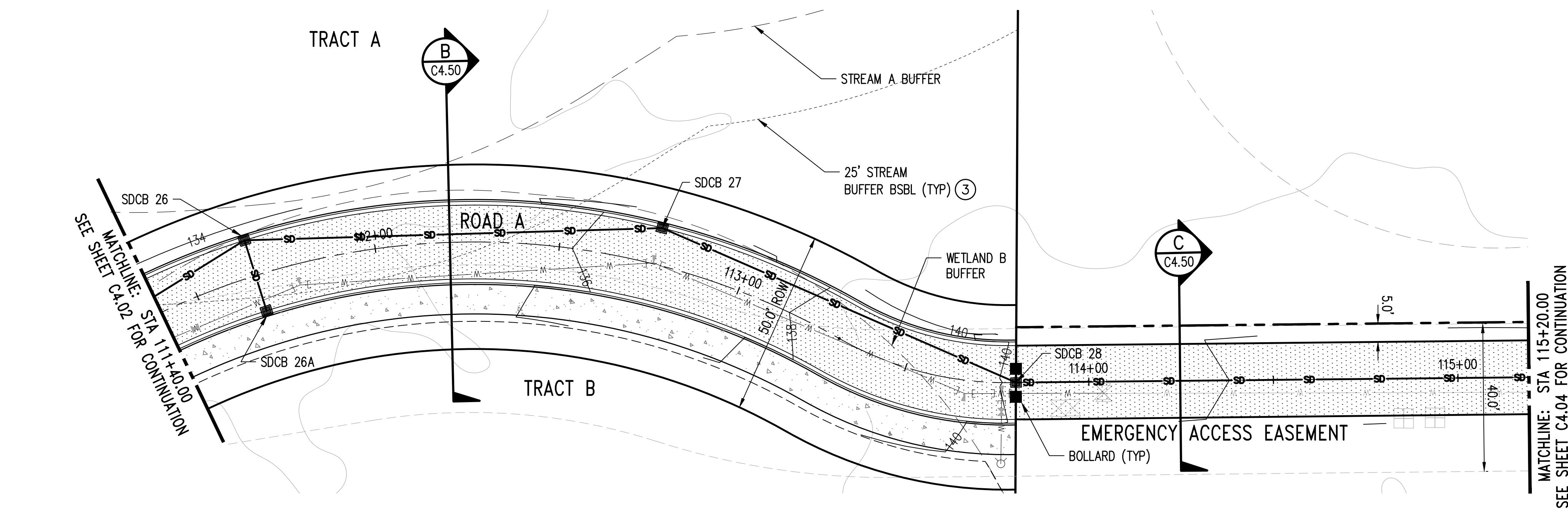
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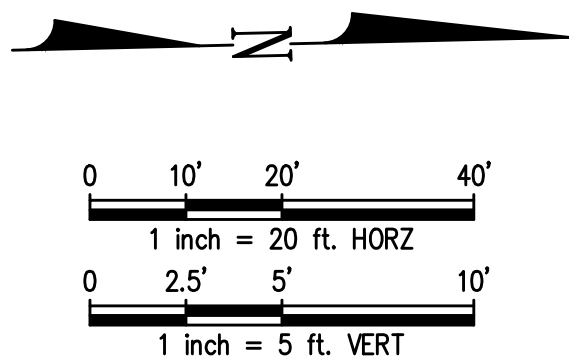
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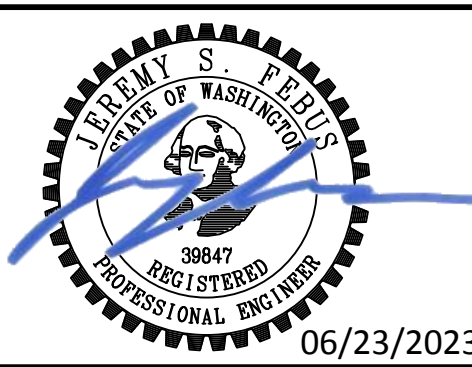
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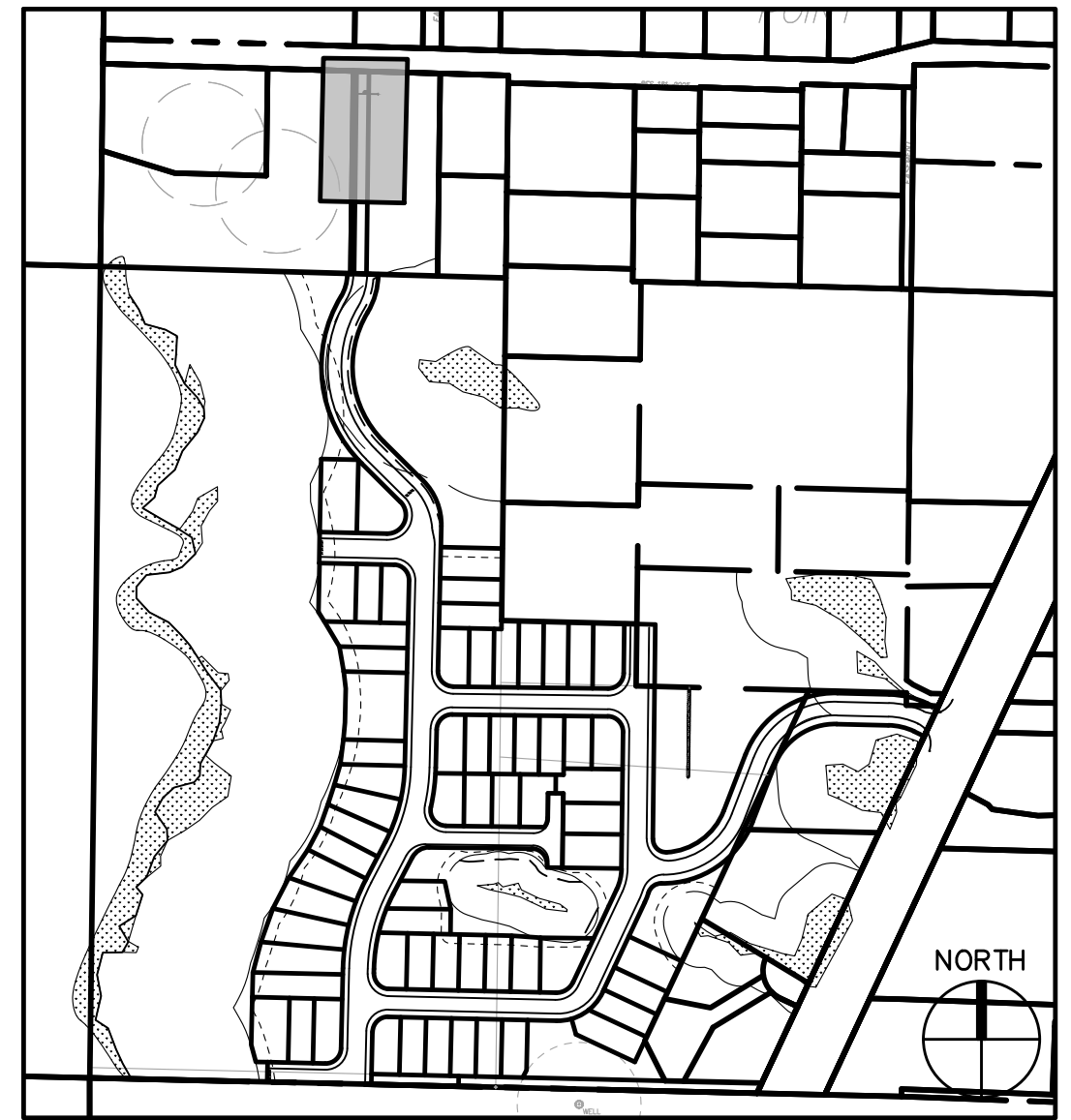
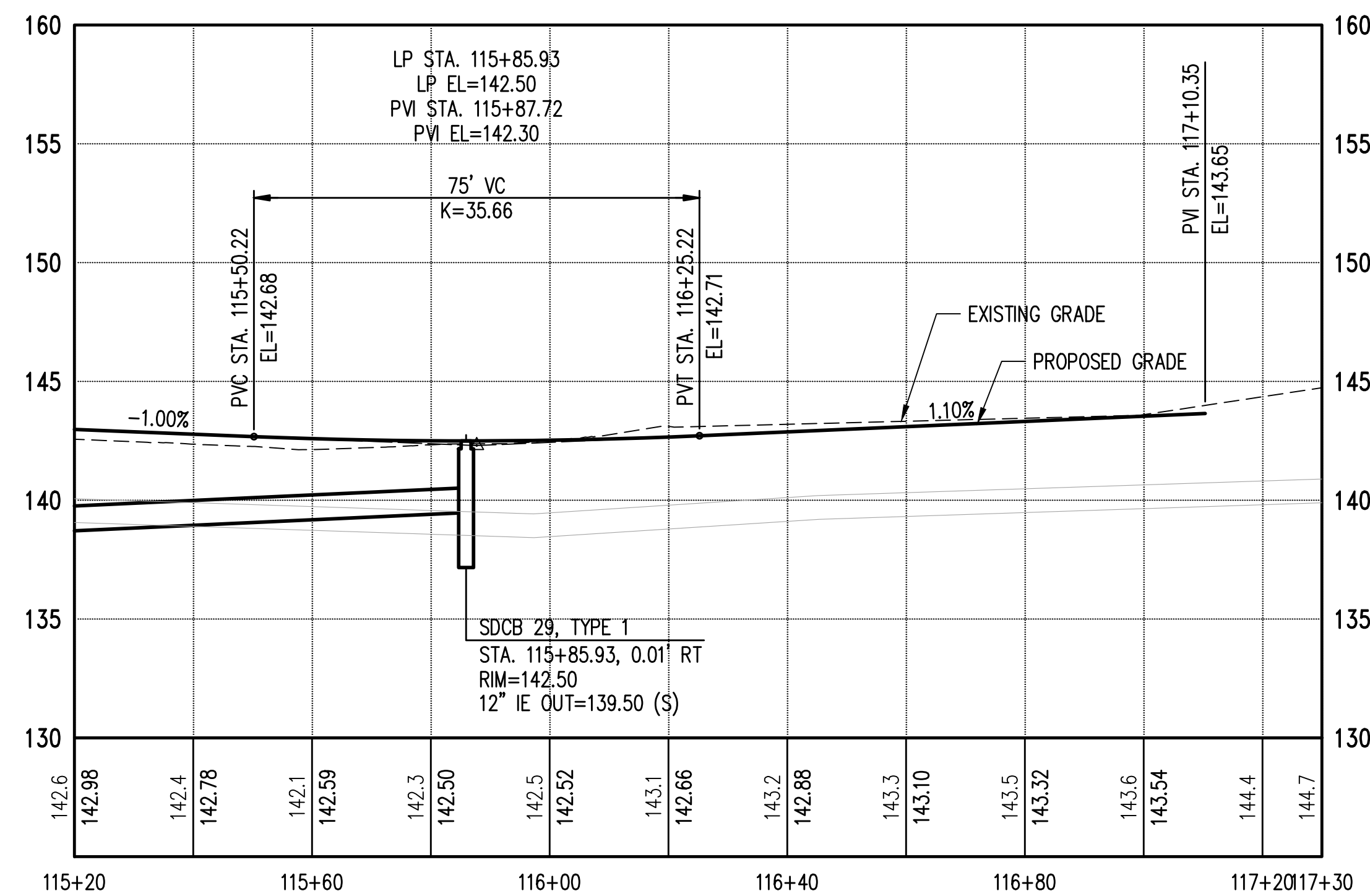
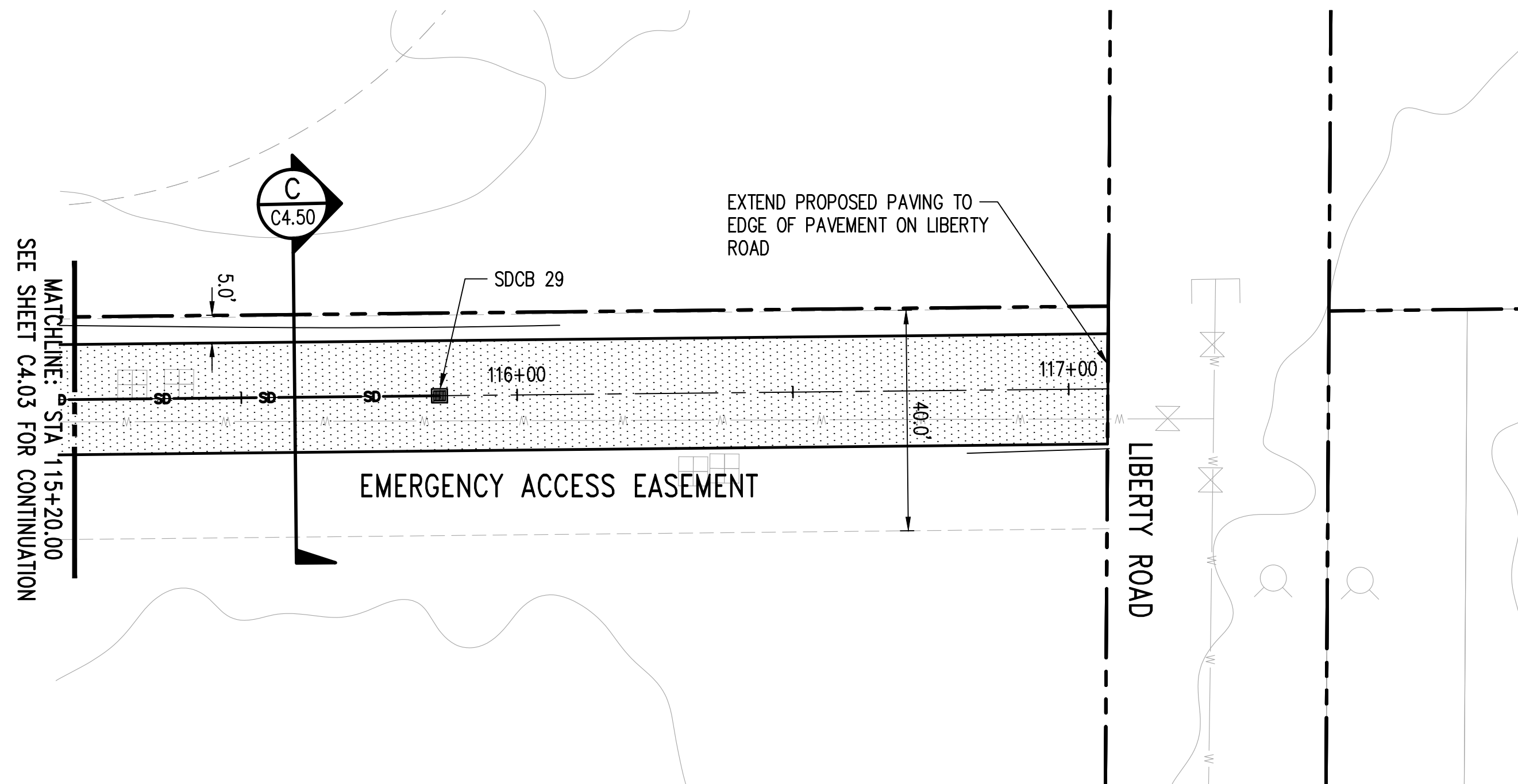


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ROAD A STORM DRAINAGE PLAN AND PROFILE

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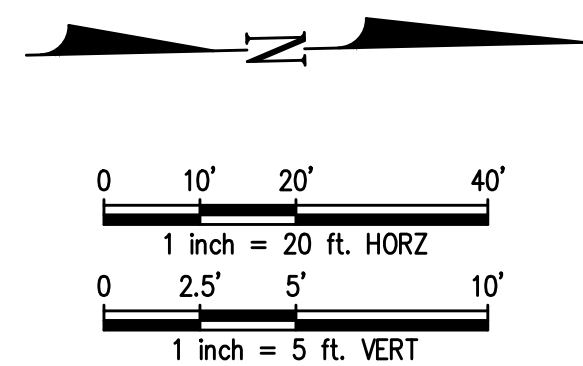
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KEY MAP

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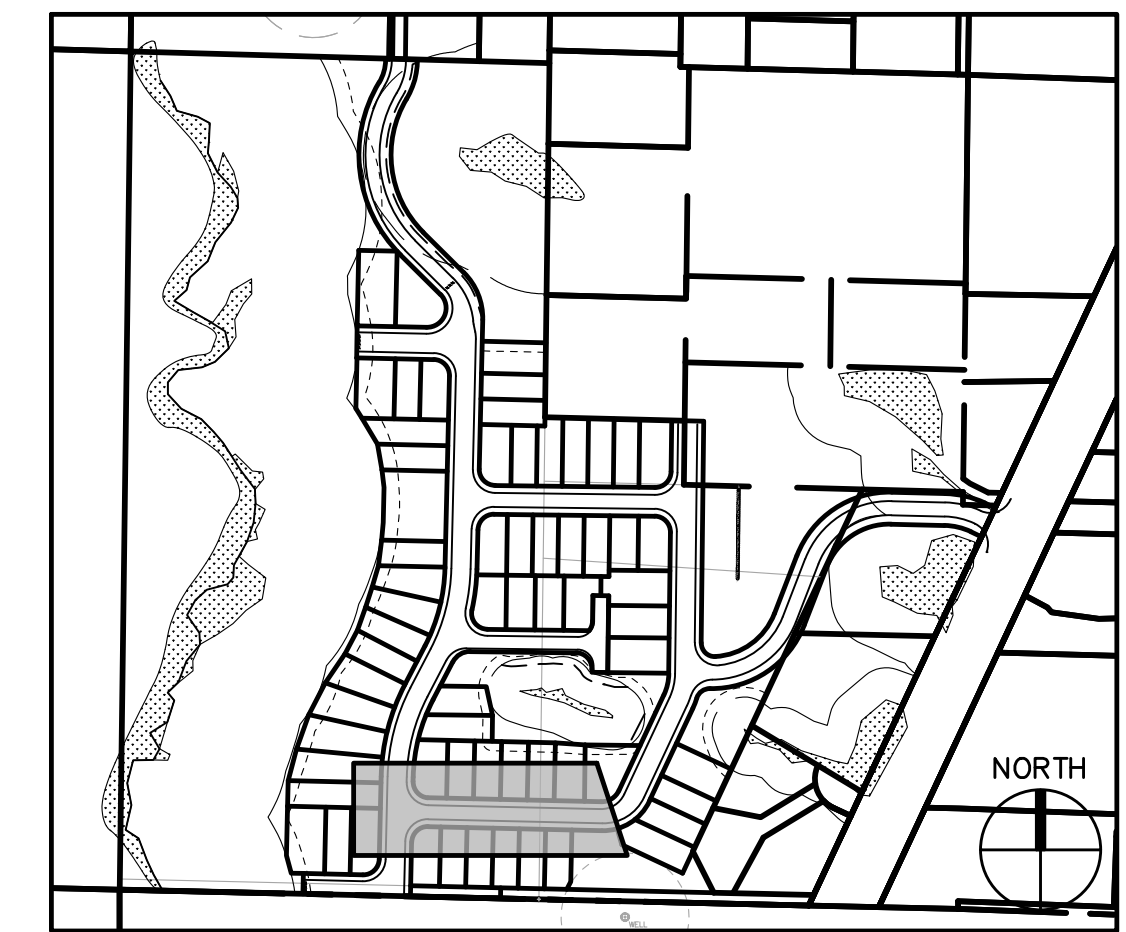
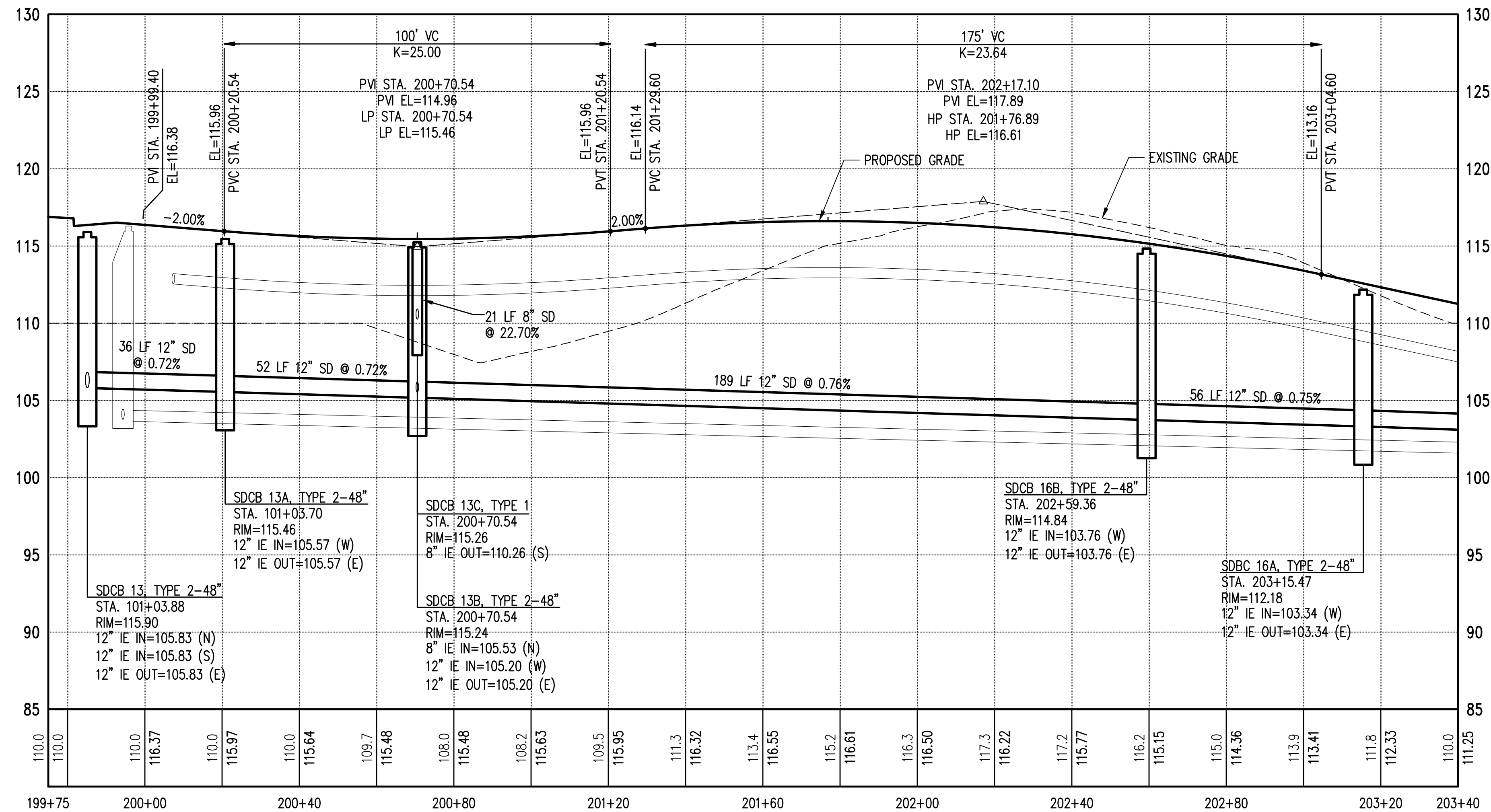
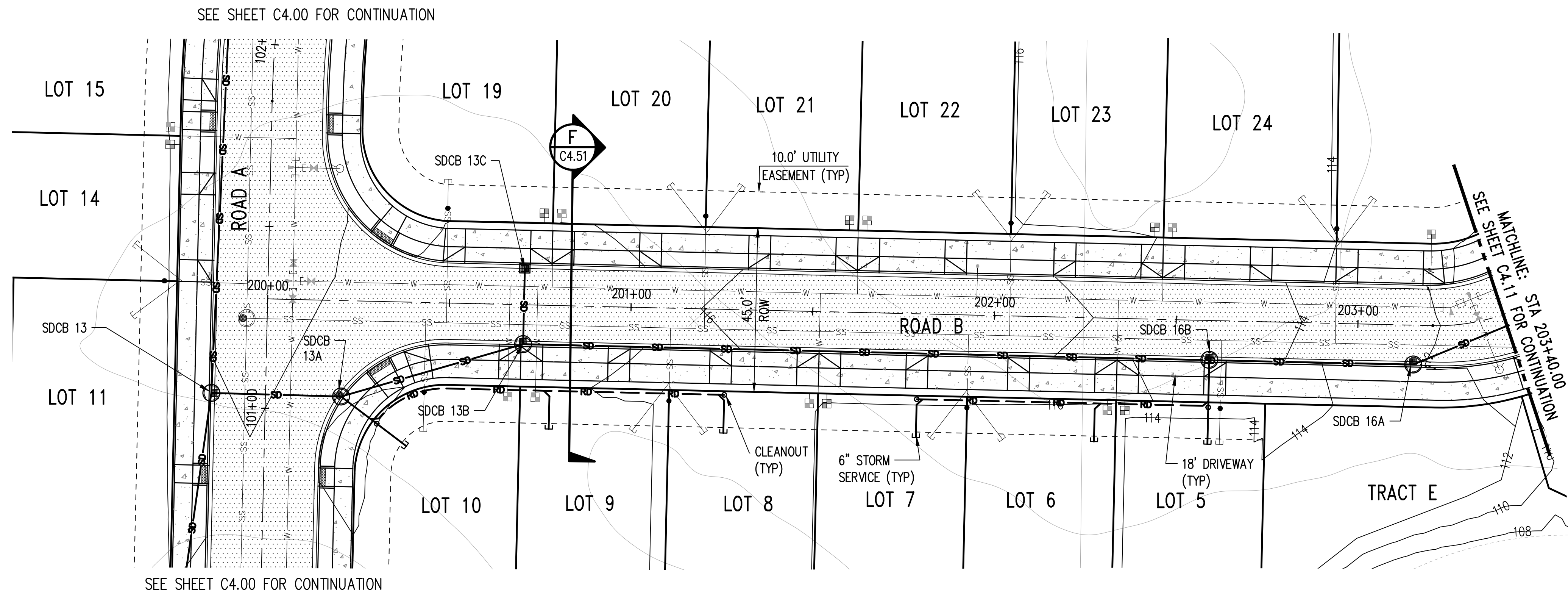
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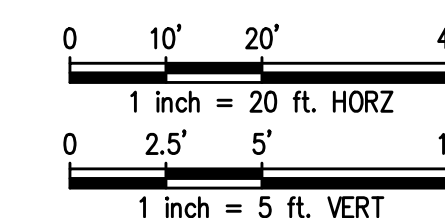
KEY MAP

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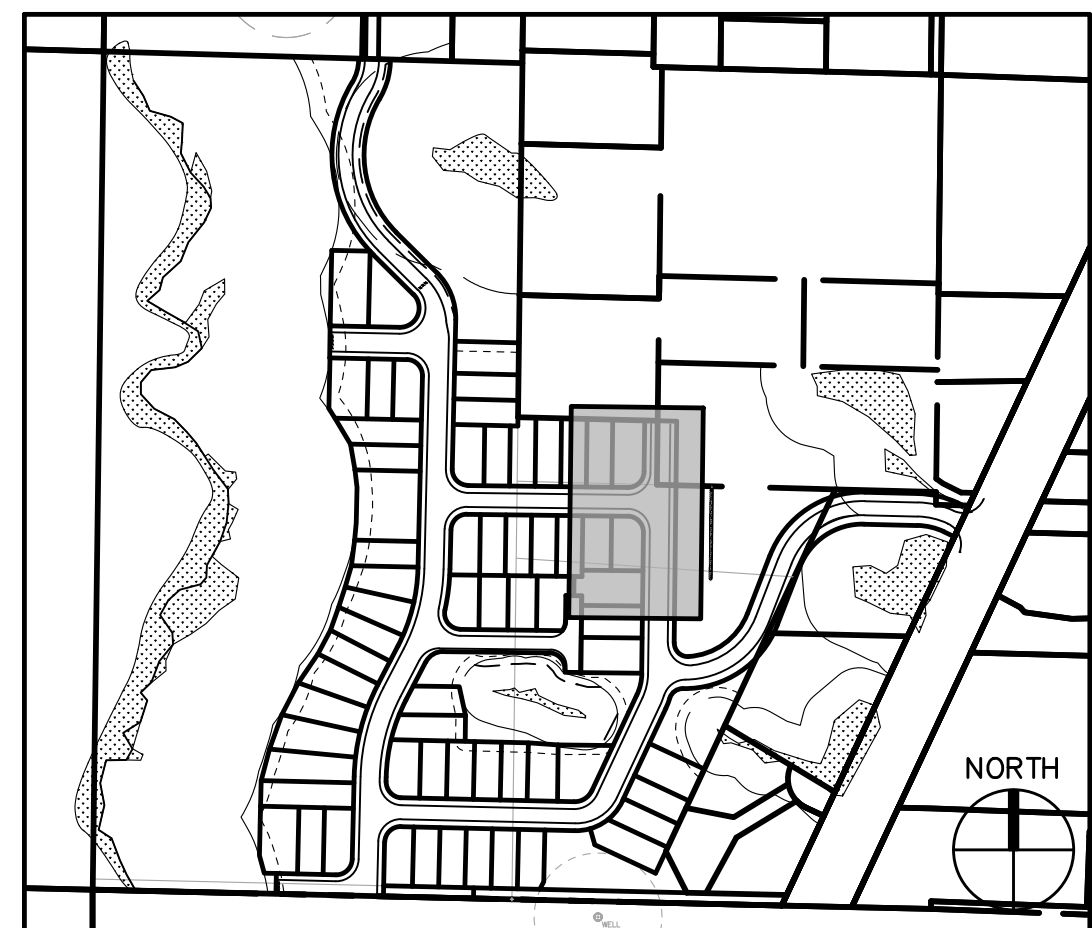
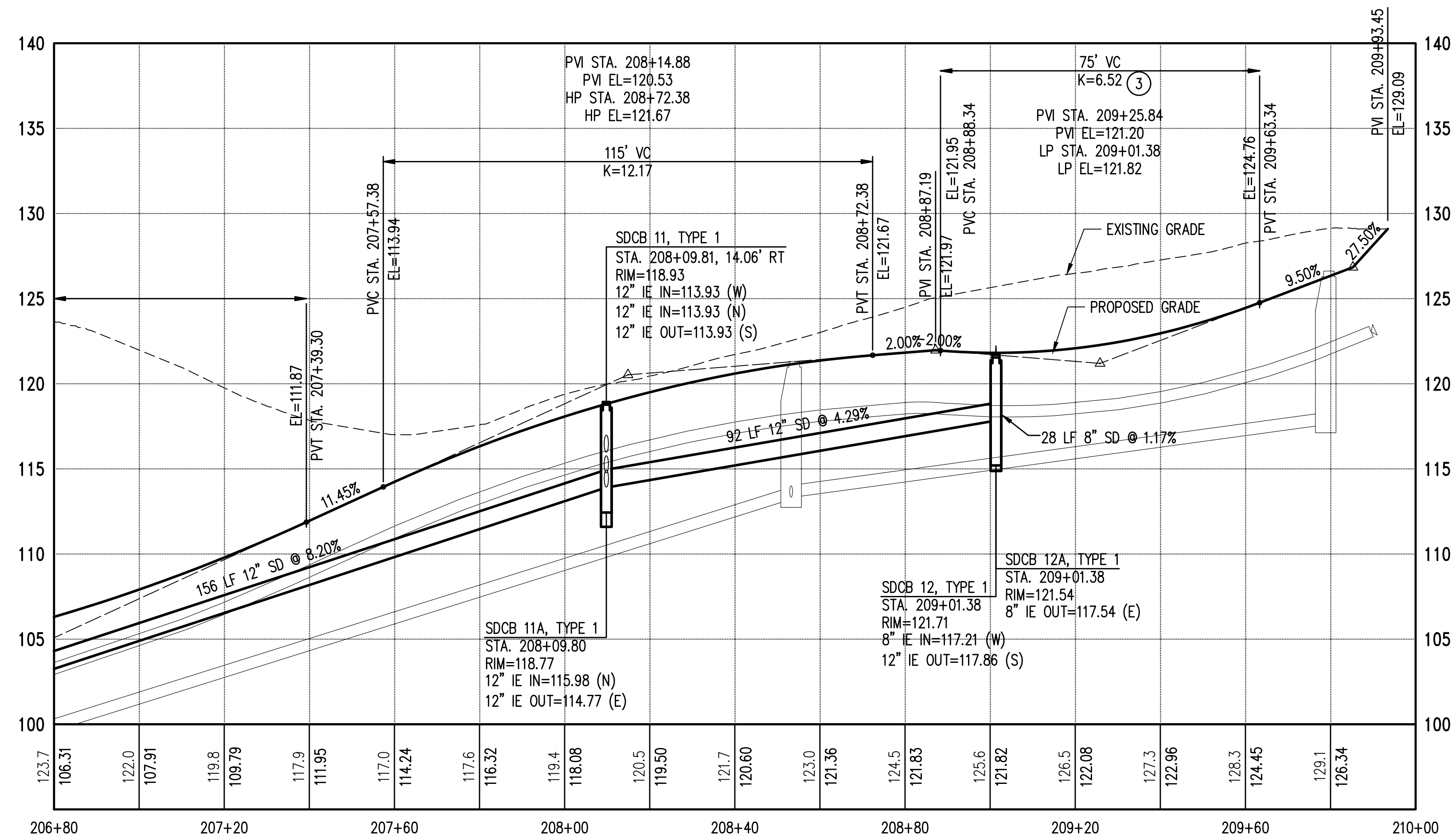
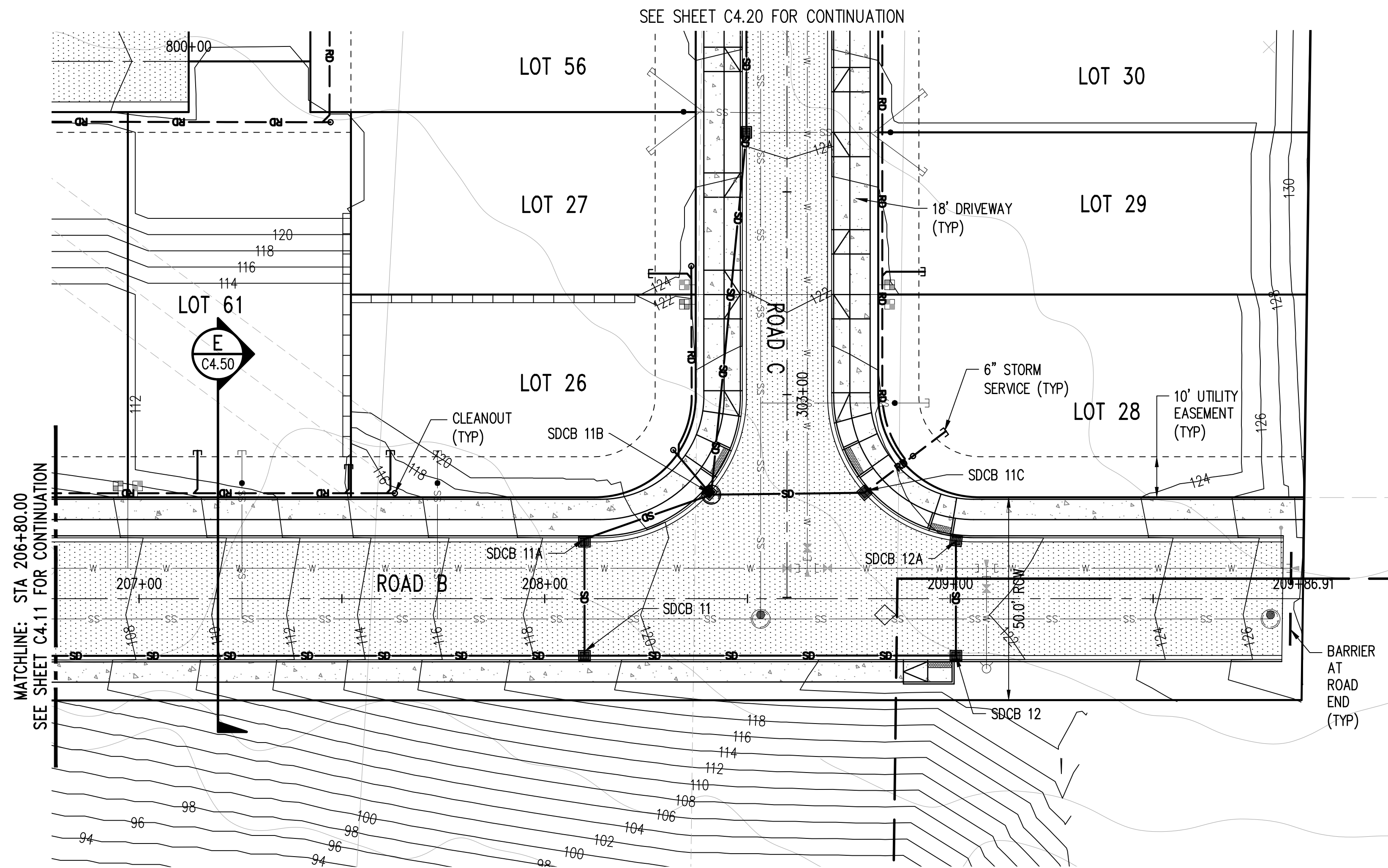


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ROAD B STORM DRAINAGE PLAN AND PROFILE

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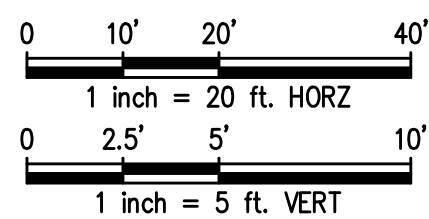
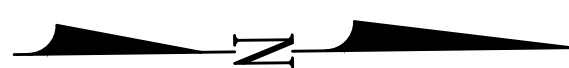
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06/23/2023

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POULSBORO, WASHINGTON

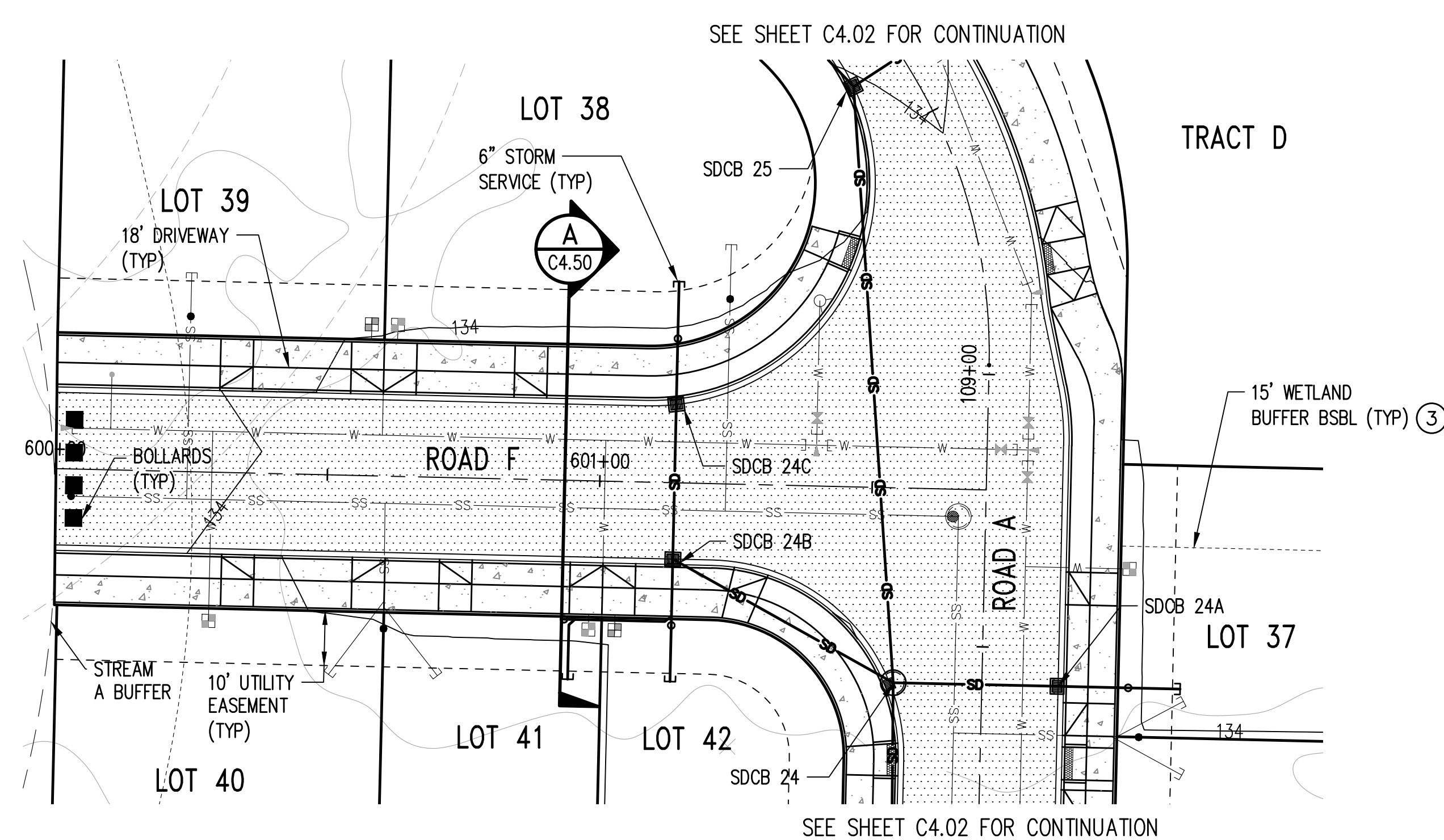
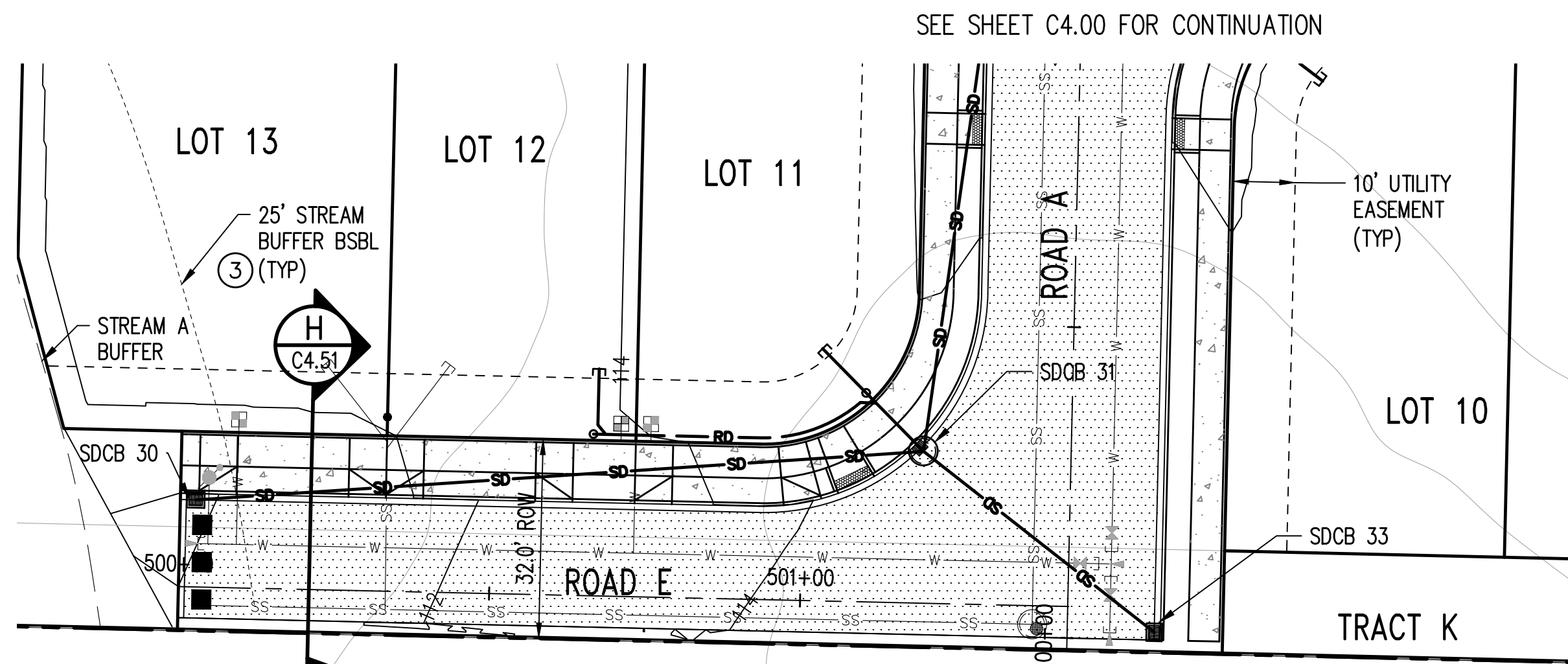
ROAD B STORM DRAINAGE PLAN AND PROFILE

SHEET

C4.12

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Jun 23, 2023 - 9:47am
elbec



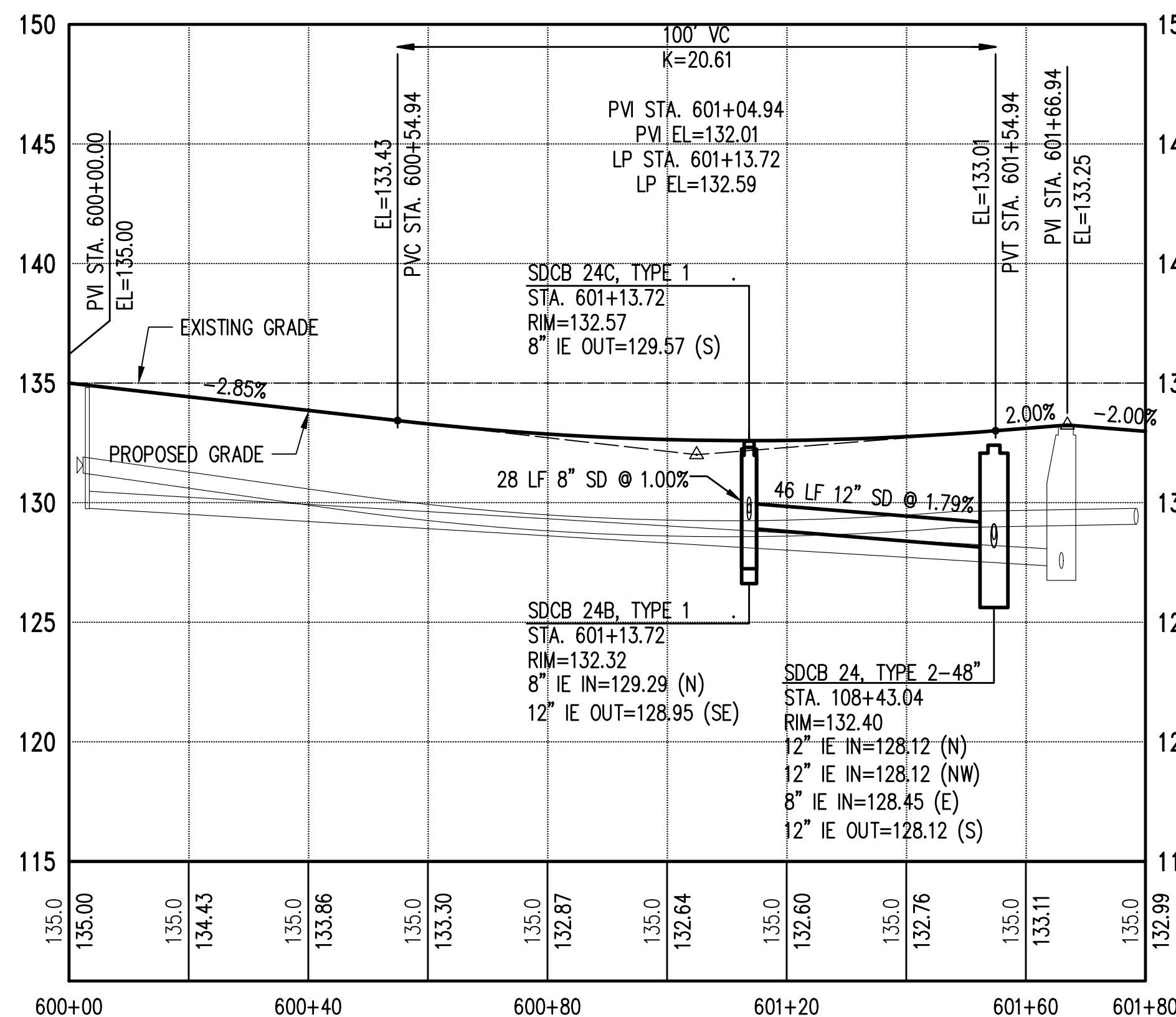
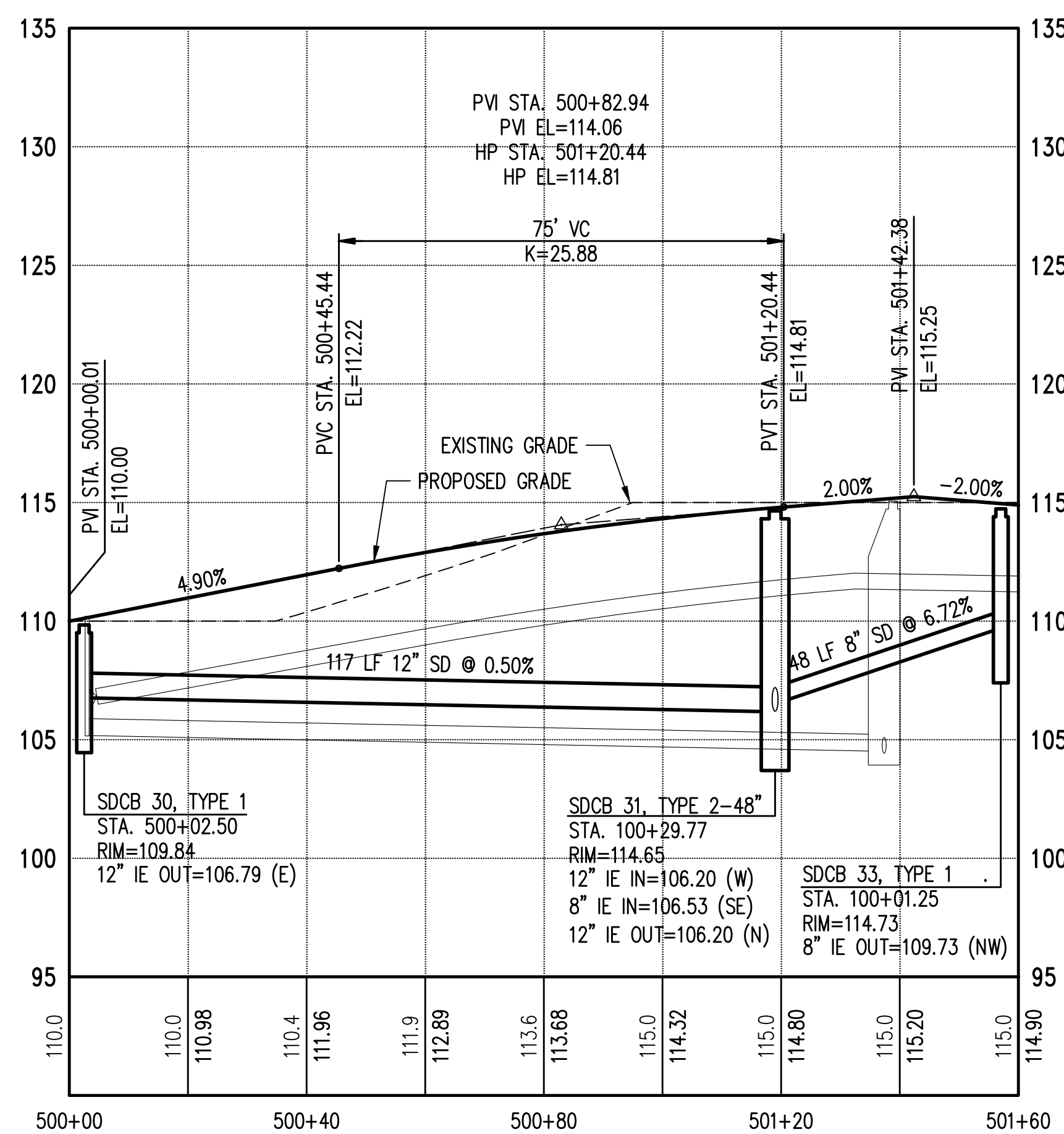
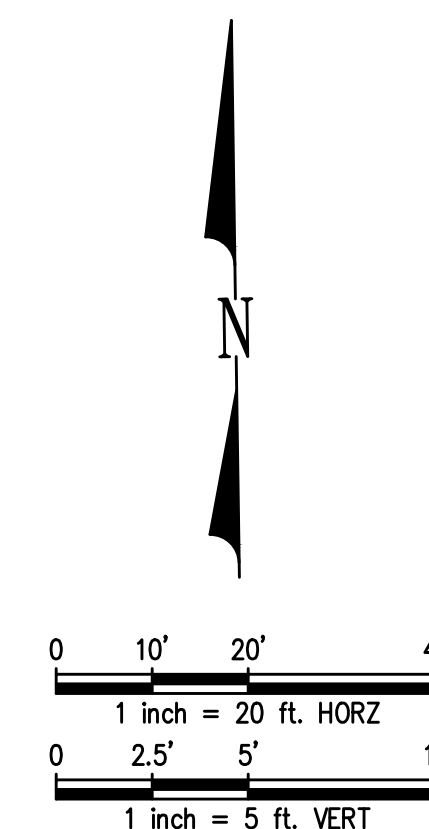
KEY MAP

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- ROOF DRAIN
- WATER MAIN
- SEWER MAIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WETLAND BUFFER (EX & PROP)
- CRITICAL AREA BSBL (3)
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- GIS DATA AND CITY RECORDS ARE SHOWN FOR EXISTING CONDITIONS. FULL SURVEY WILL BE PROVIDED AND USED FOR EXISTING CONDITIONS FOR CONSTRUCTION DOCUMENT PREPARATION.
- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- 25 FOOT STREAM BUFFER BSBL IS SHOWN FROM THE STREAM A BUFFER. 15 FOOT WETLAND BUFFER BSBL IS SHOWN FROM WETLANDS B, C, AND D.



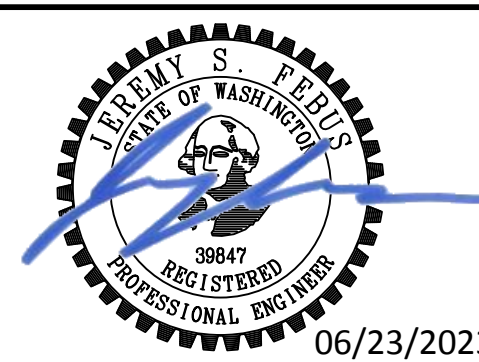
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2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL	CHECKED BY EKC	APPROVED BY JSF
						DATE JUNE 23, 2023	
NO.	DATE	BY	CHD.	APPR.	REVISION	J O B No. :2000505	

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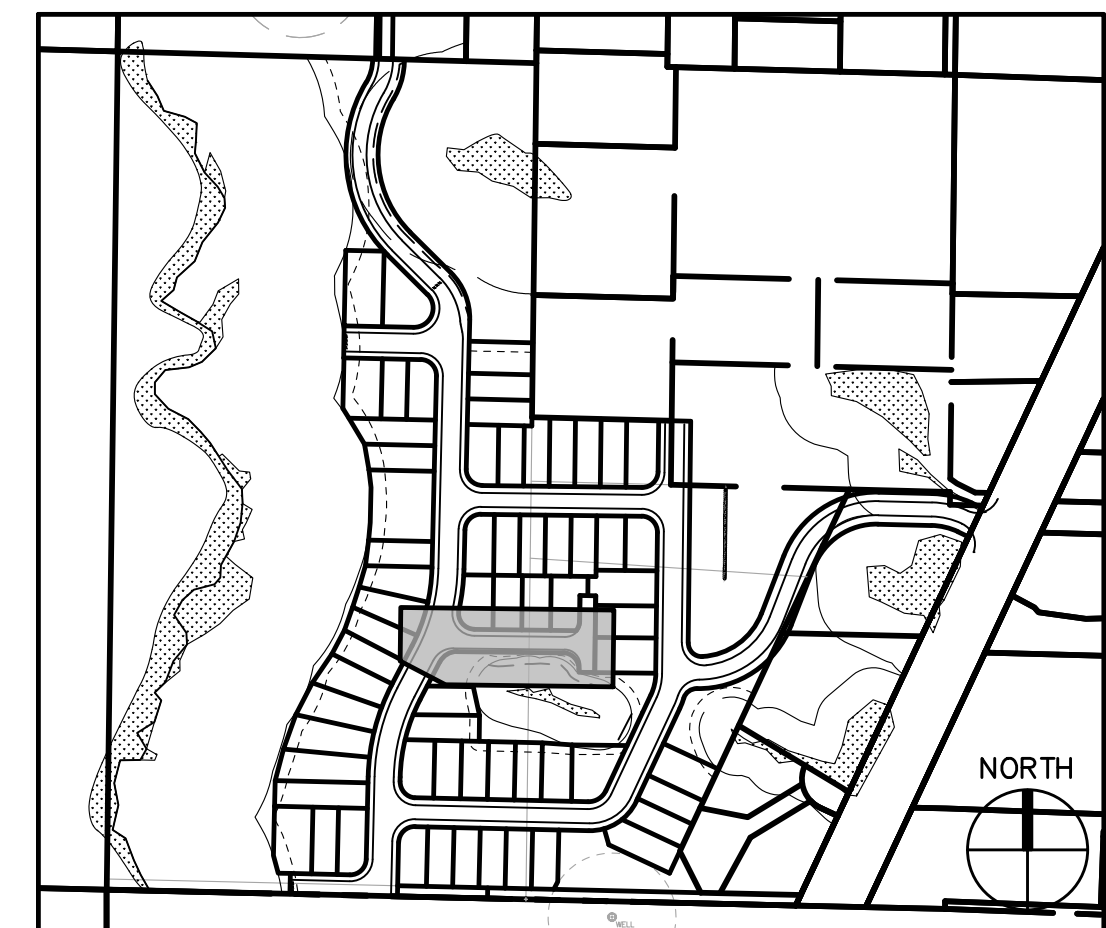
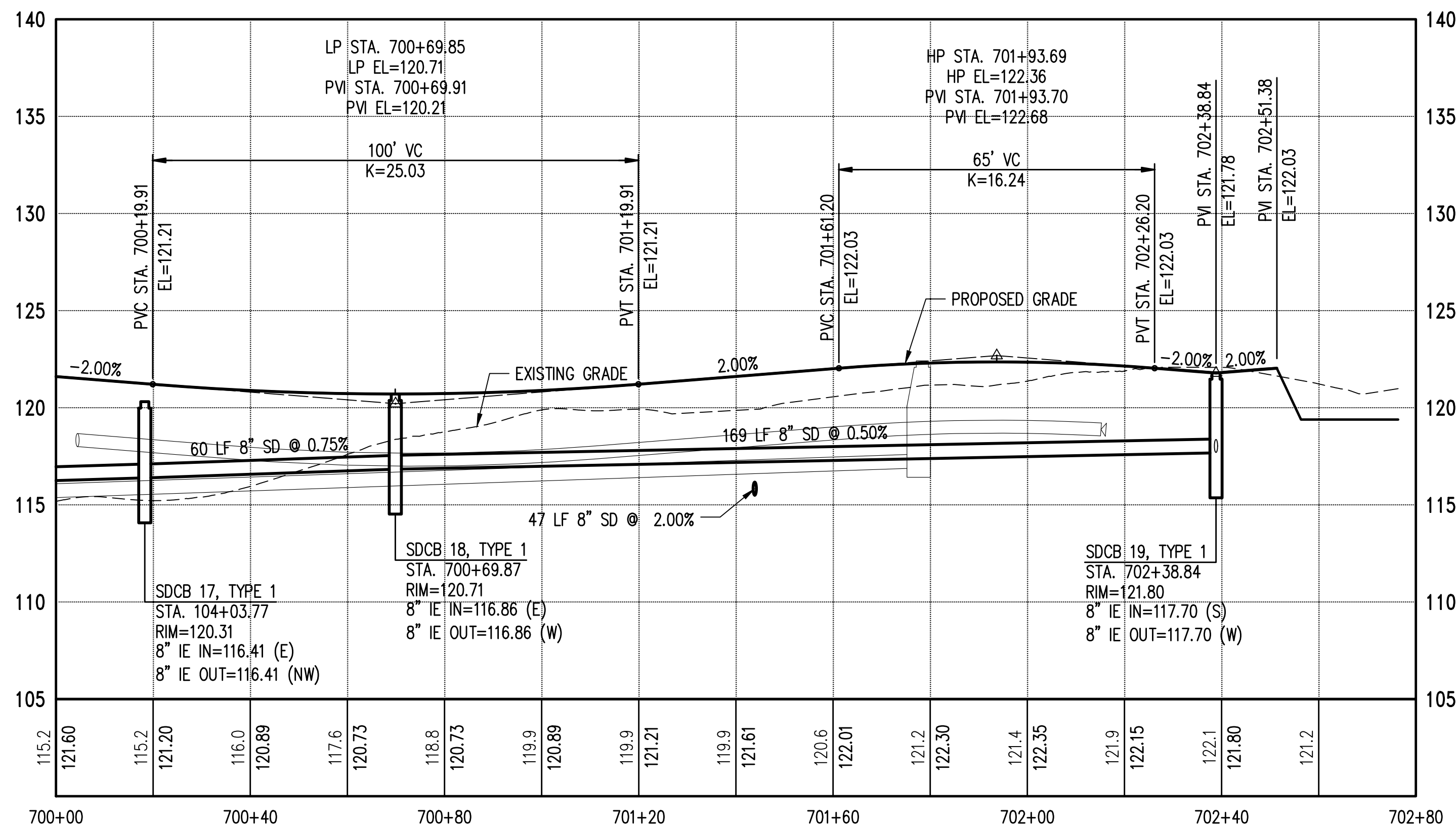
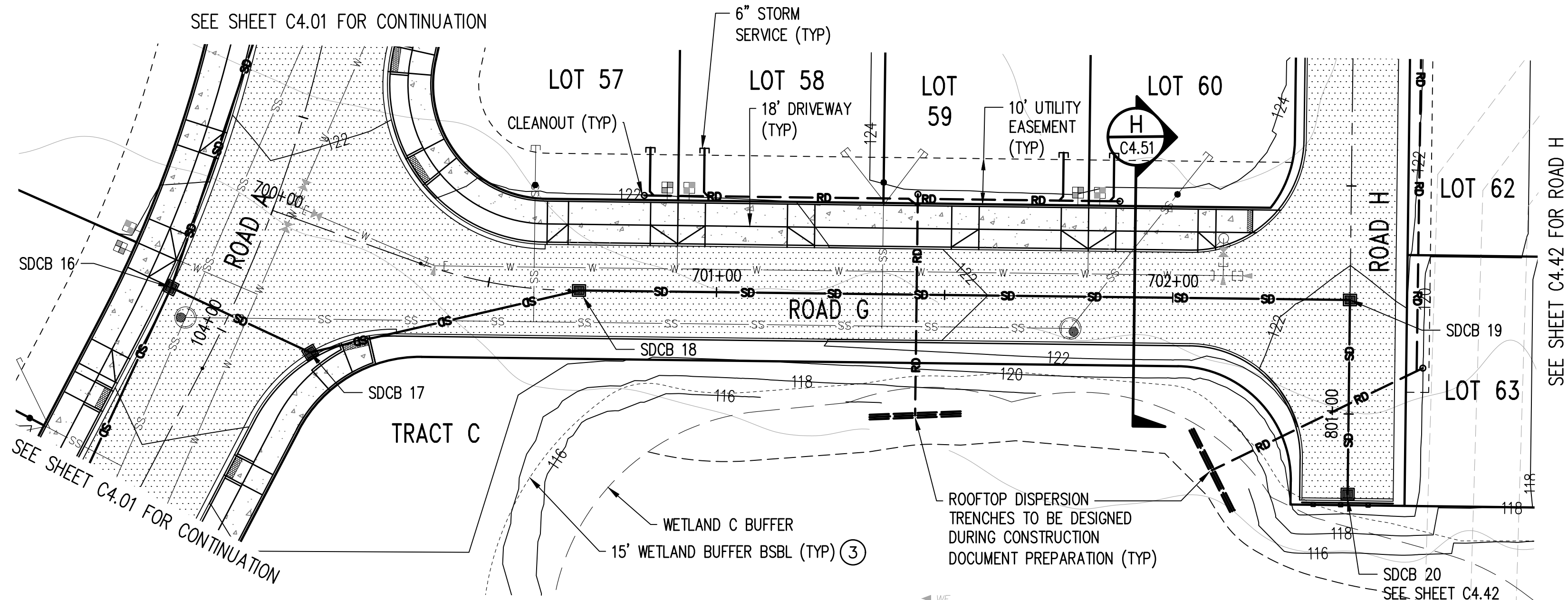


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ROAD E AND F STORM DRAINAGE PLAN AND PROFILE

SHEET

C4.40



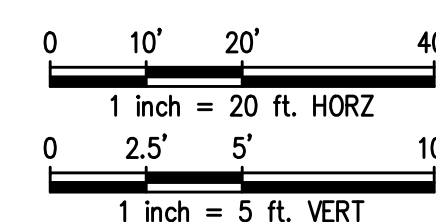
KEY MAP

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- SD STORM DRAIN LINE
- RD ROOF DRAIN
- W WATER MAIN
- SS SEWER MAIN
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- 295 FINISHED GRADE CONTOUR
- 250 EXISTING GRADE CONTOUR
- WETLAND BUFFER (EX & PROP)
- CRITICAL AREA BSBL ③
- CONCRETE PAVING
- ASPHALT PAVING

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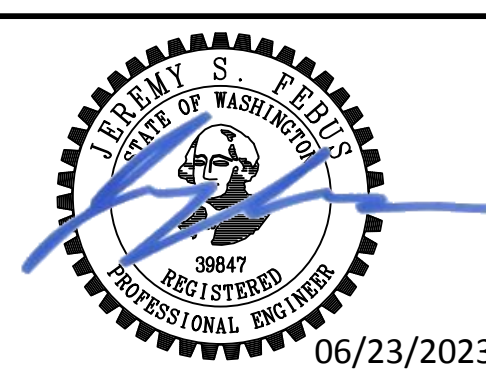
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DATE JUNE 23, 2023	
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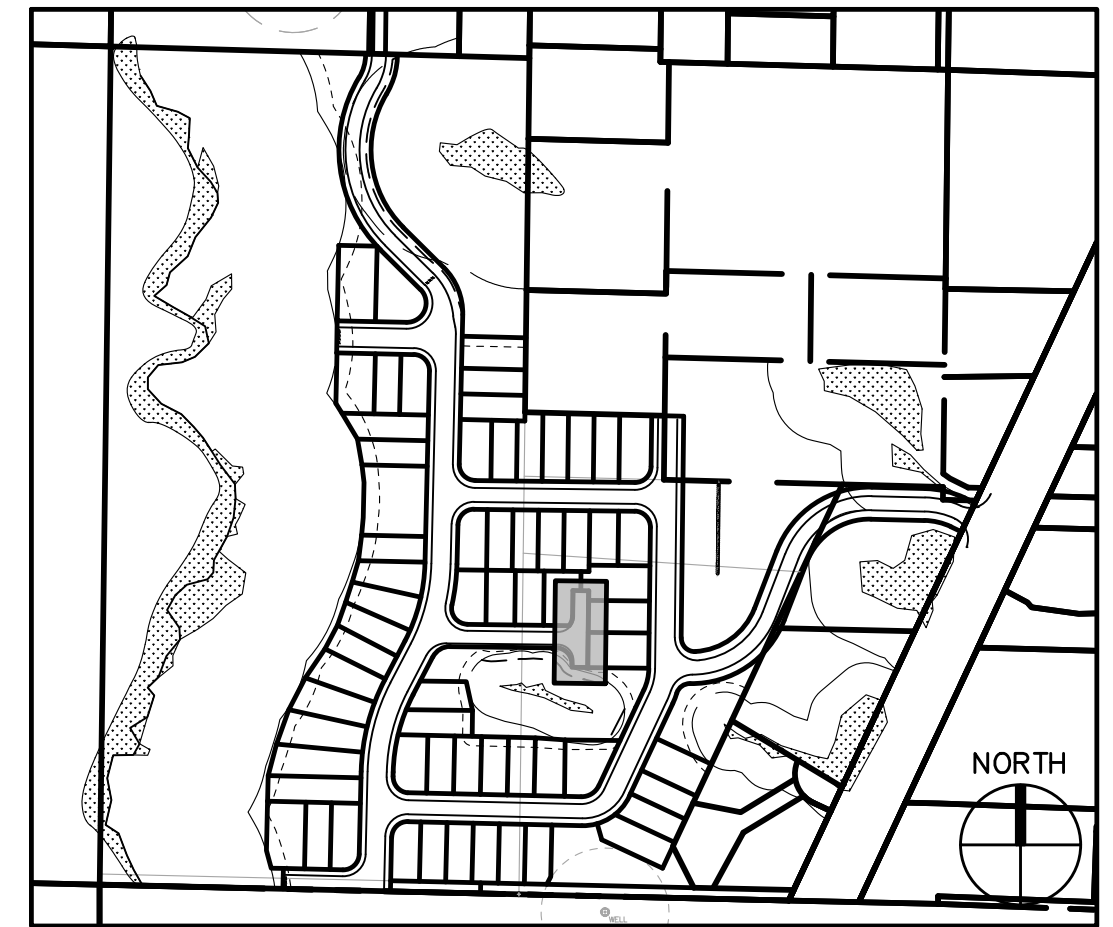
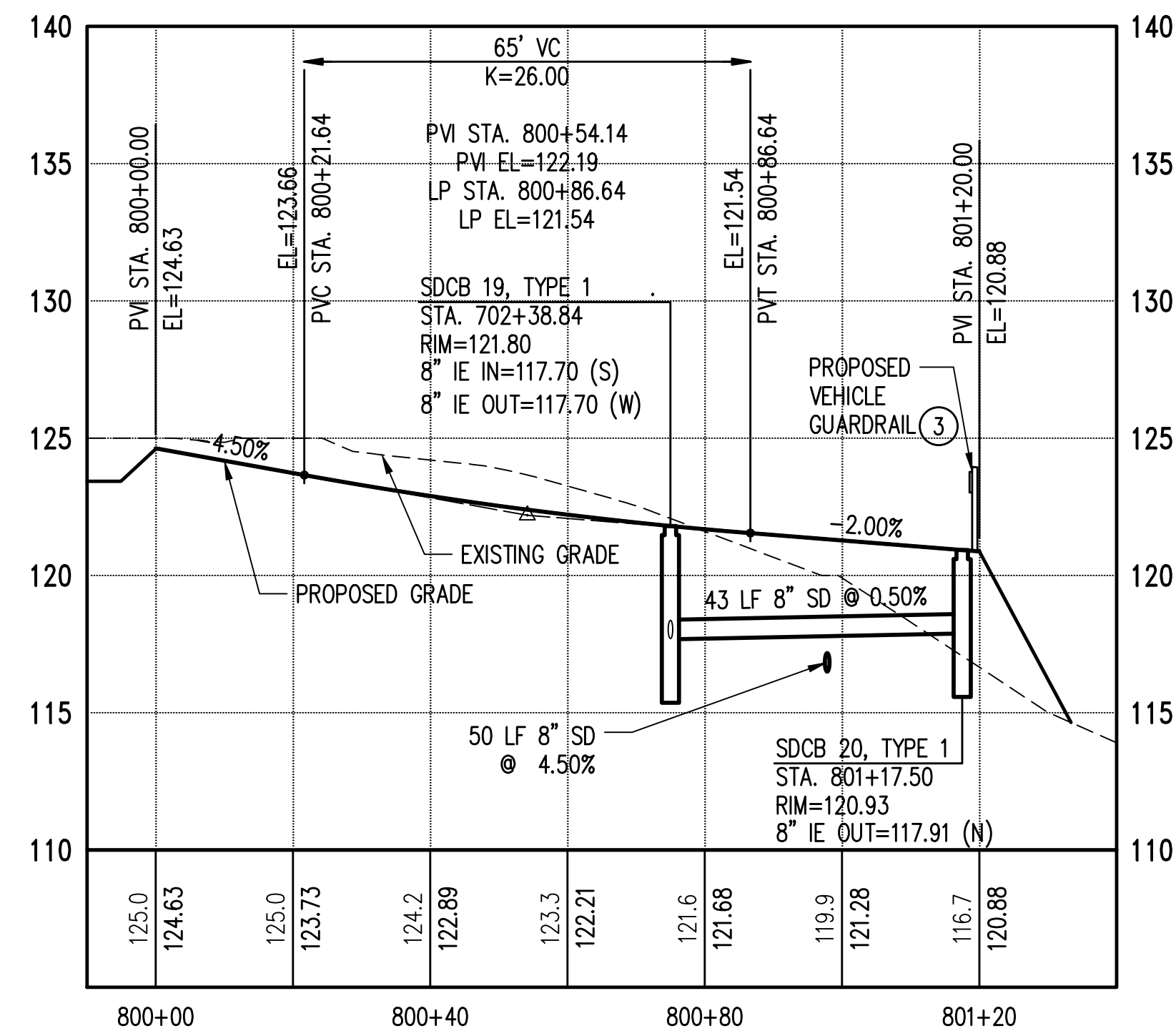
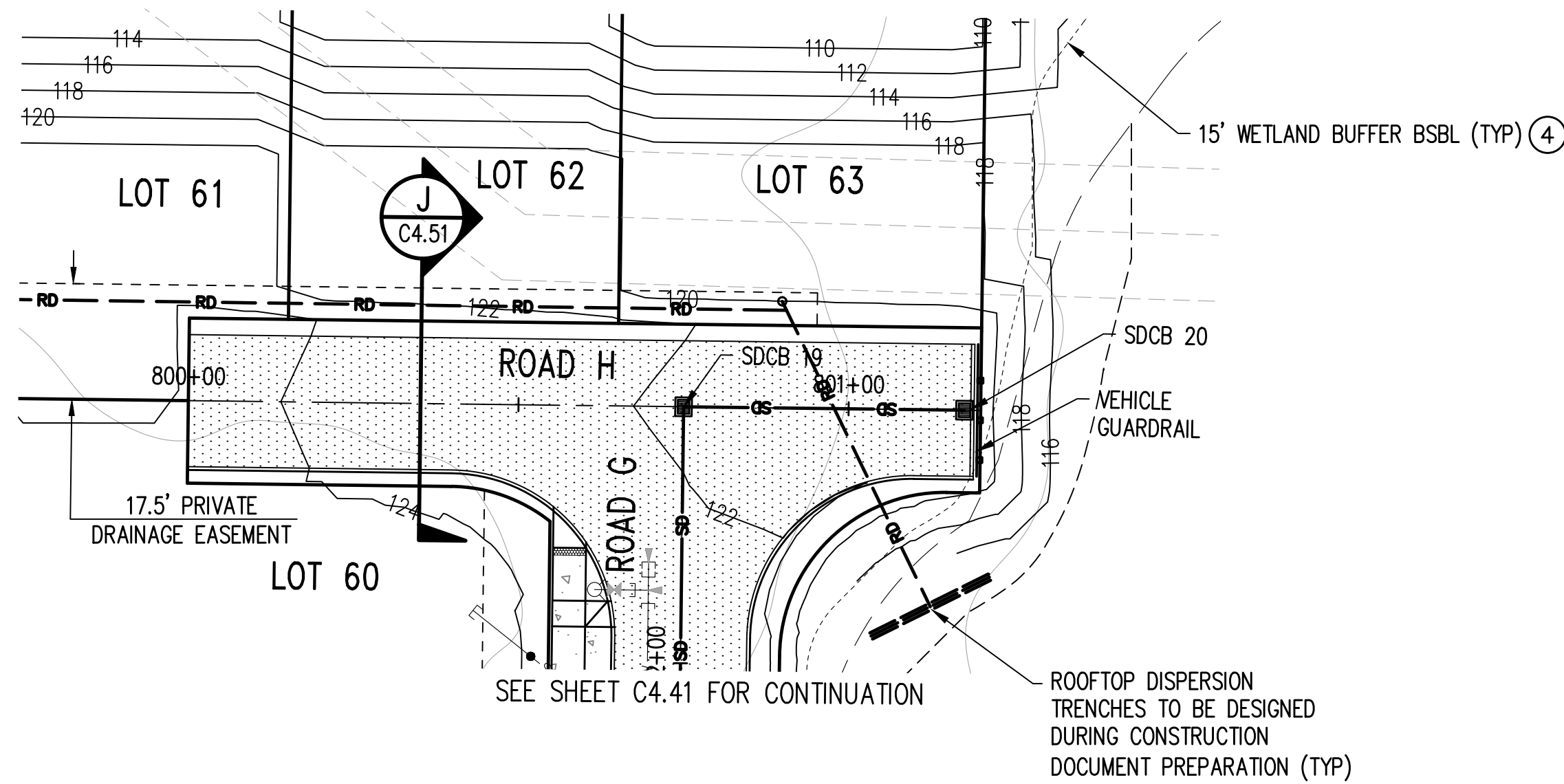
ROAD G STORM DRAINAGE PLAN AND PROFILE

SHEET

C4.41

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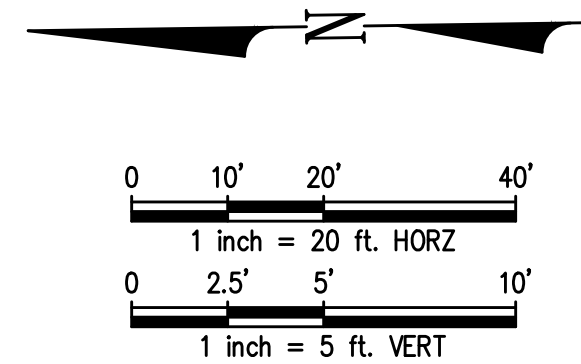
KEY MAP

LEGEND

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- CENTERLINE
- PROPOSED EASEMENT
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- RD ROOF DRAIN
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- SS SEWER MAIN
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- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- 295 FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WETLAND BUFFER (EX & PROP)
- CRITICAL AREA BSBL ④
- CONCRETE PAVING
- ASPHALT PAVING

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- VEHICLE GUARDRAIL SHALL BE DESIGNED AND DETAILED DURING CONSTRUCTION DOCUMENT PREPARATION.
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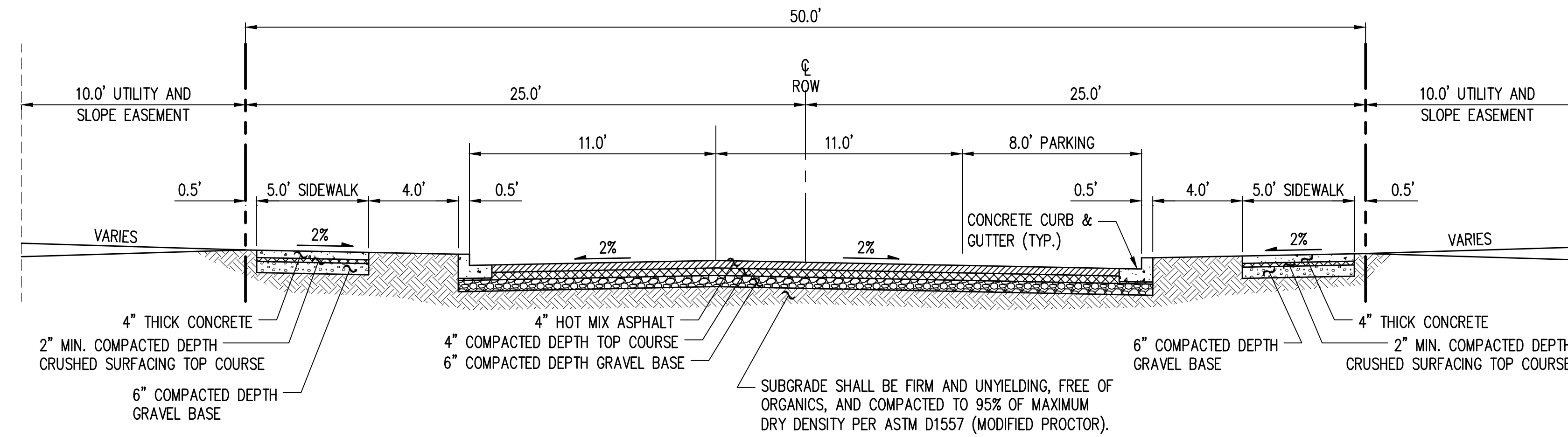
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ROAD H STORM DRAINAGE PLAN AND PROFILE

SHEET

C4.42

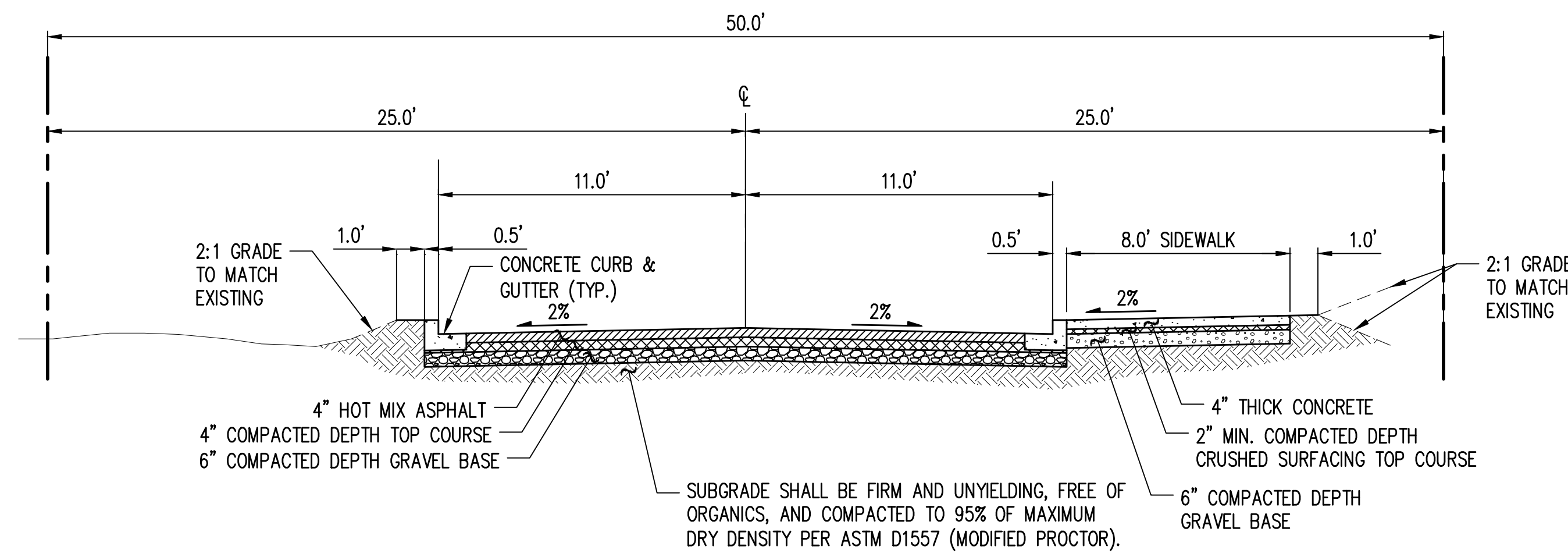
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elbec



ROAD A & ROAD F TYPICAL

1" = 4'

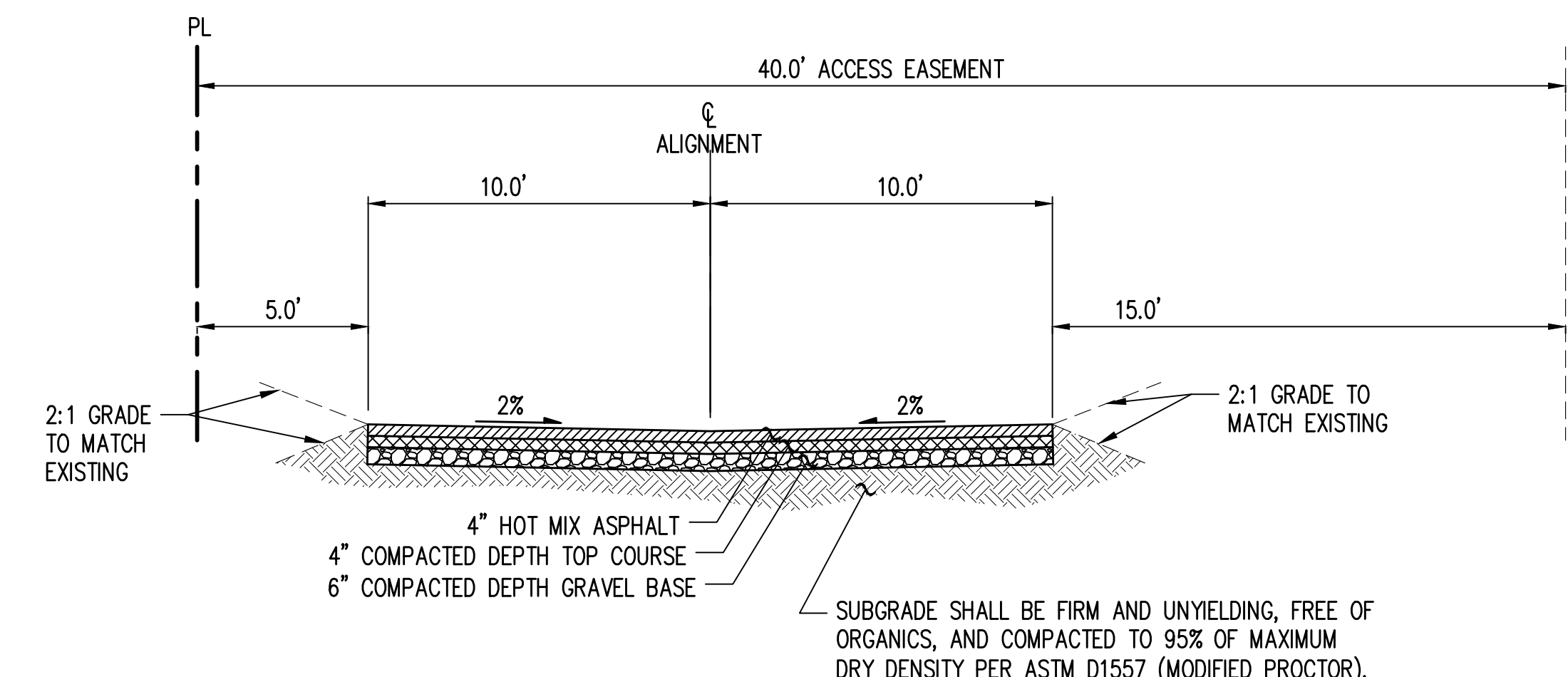
C4.00, C4.01, C4.02, C4.40



ROAD A CRITICAL AREA

1" = 4'

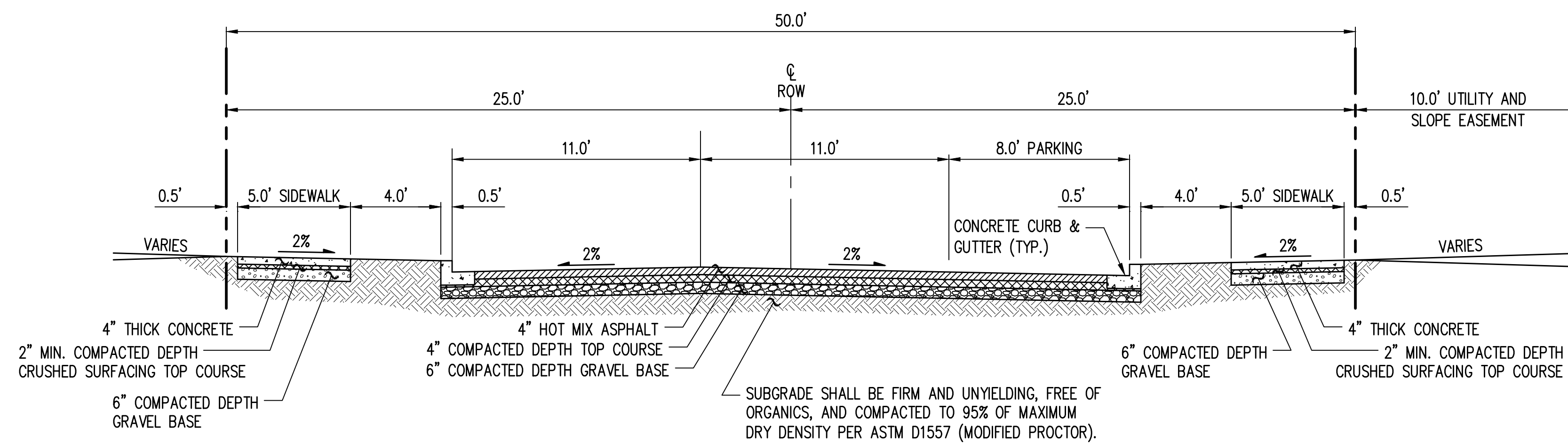
C4.02, C4.03



ROAD A EMERGENCY ACCESS

1" = 4'

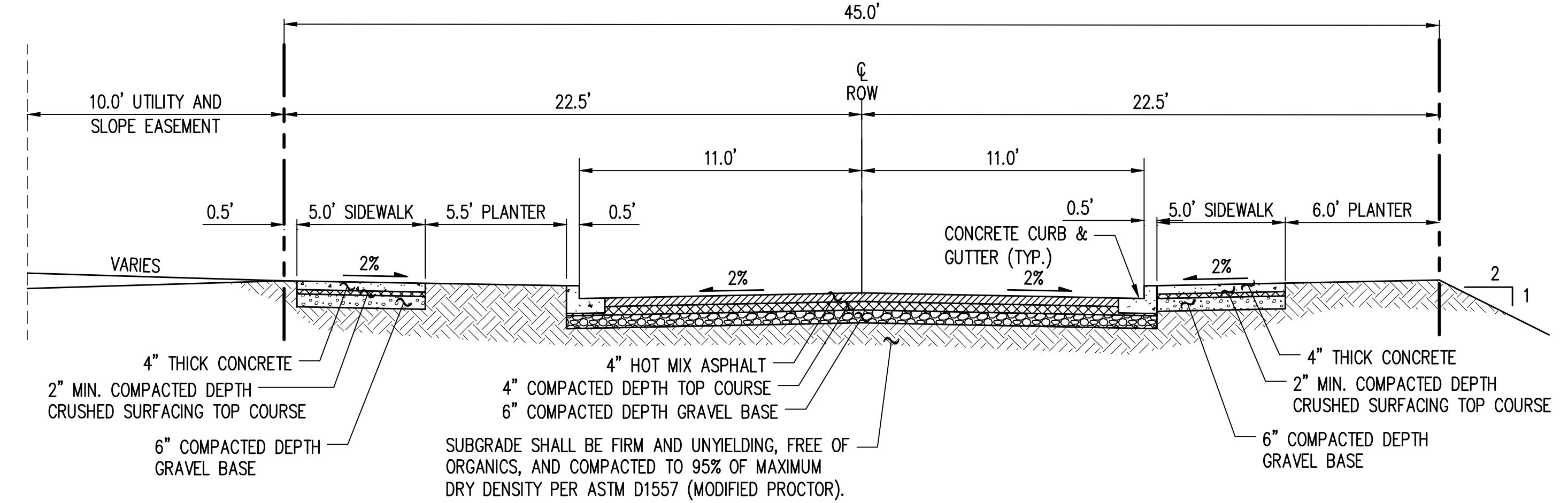
C4.03, C4.04



ROAD B 50' ROW

1" = 4'

C4.11, C4.12



ROAD B ALONG VAULT TRACT

1" = 4'

C4.12

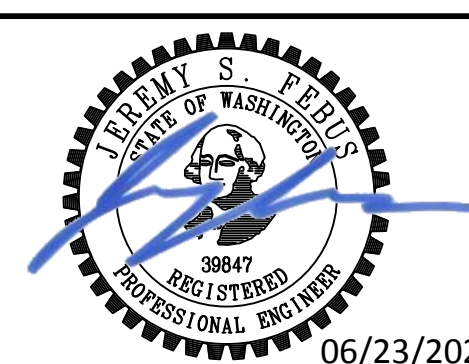
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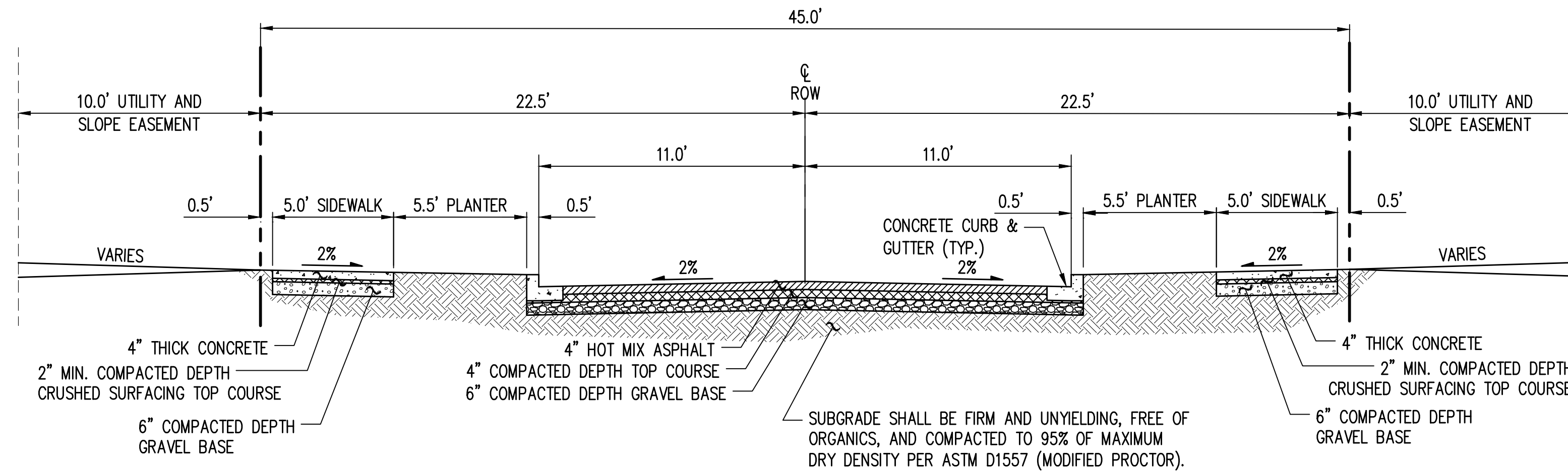
ROAD DETAILS

SHEET

C4.50

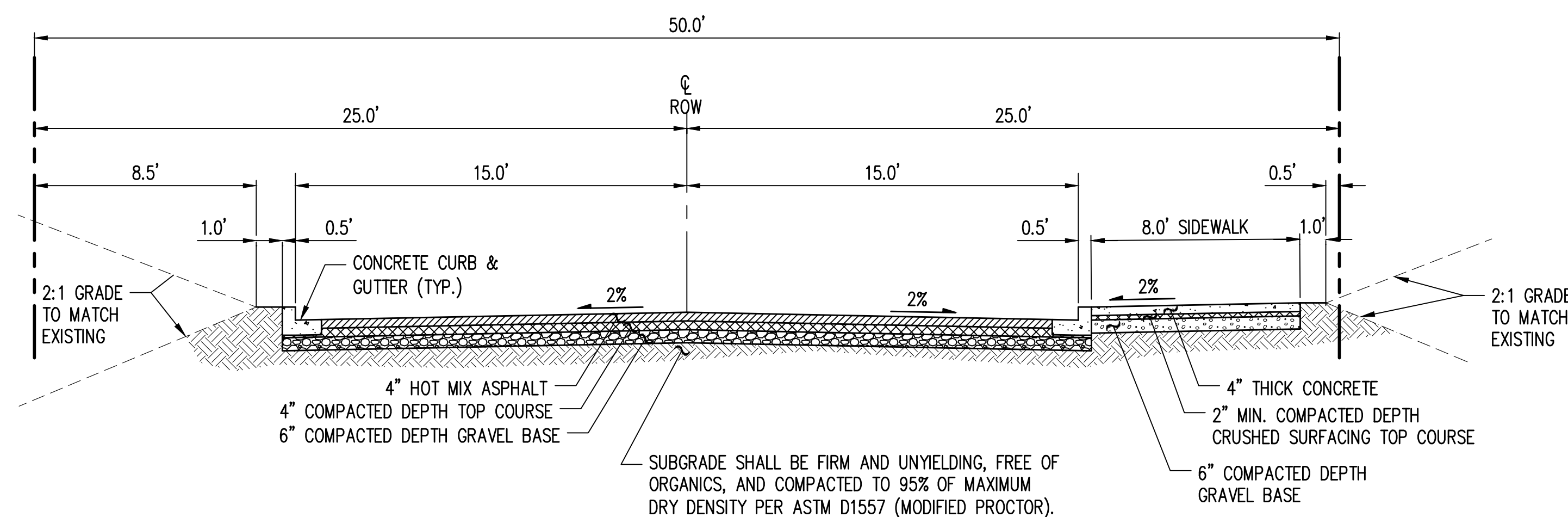
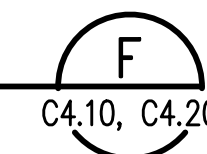
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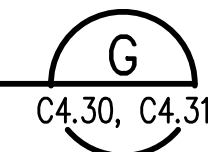
ROAD B & ROAD C 45' ROW

1" = 4'

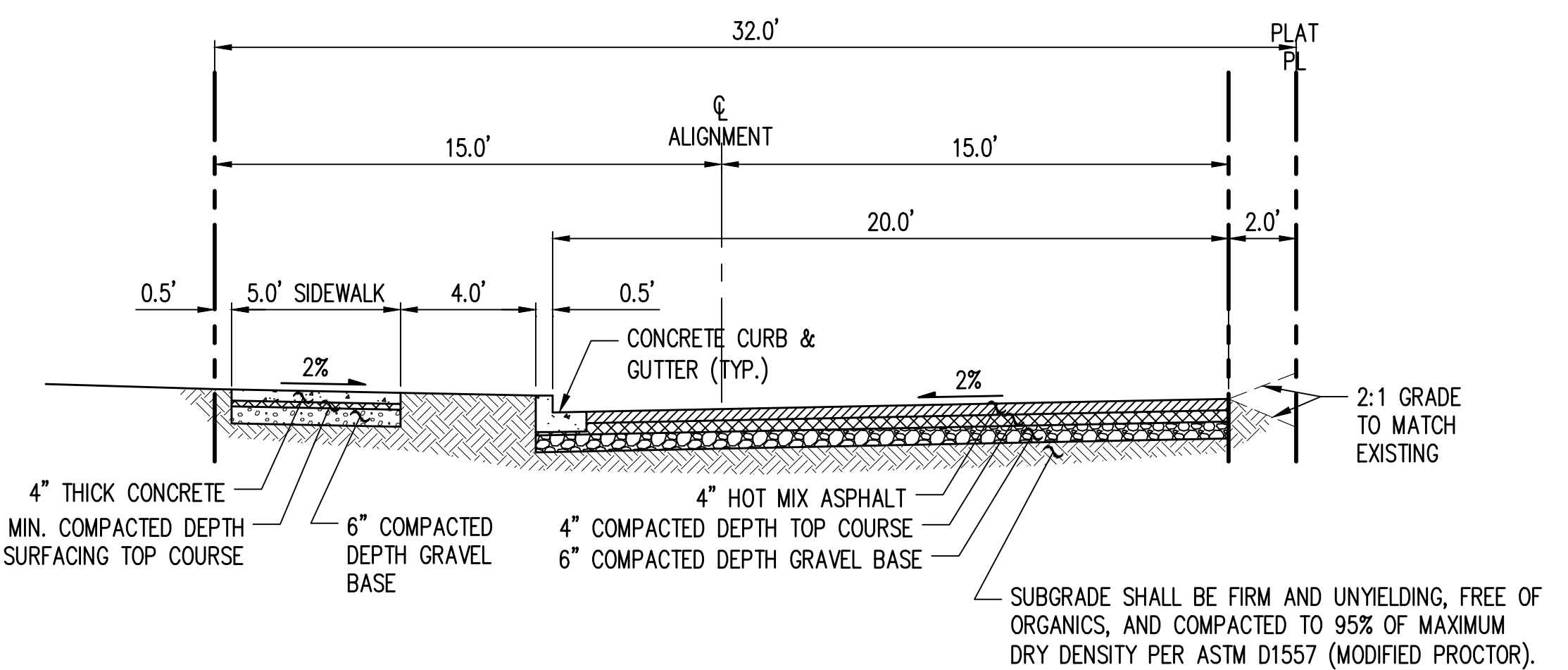


ROAD D TYPICAL

1" = 4'

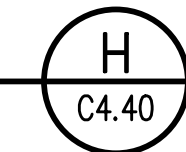


C4.30, C4.31

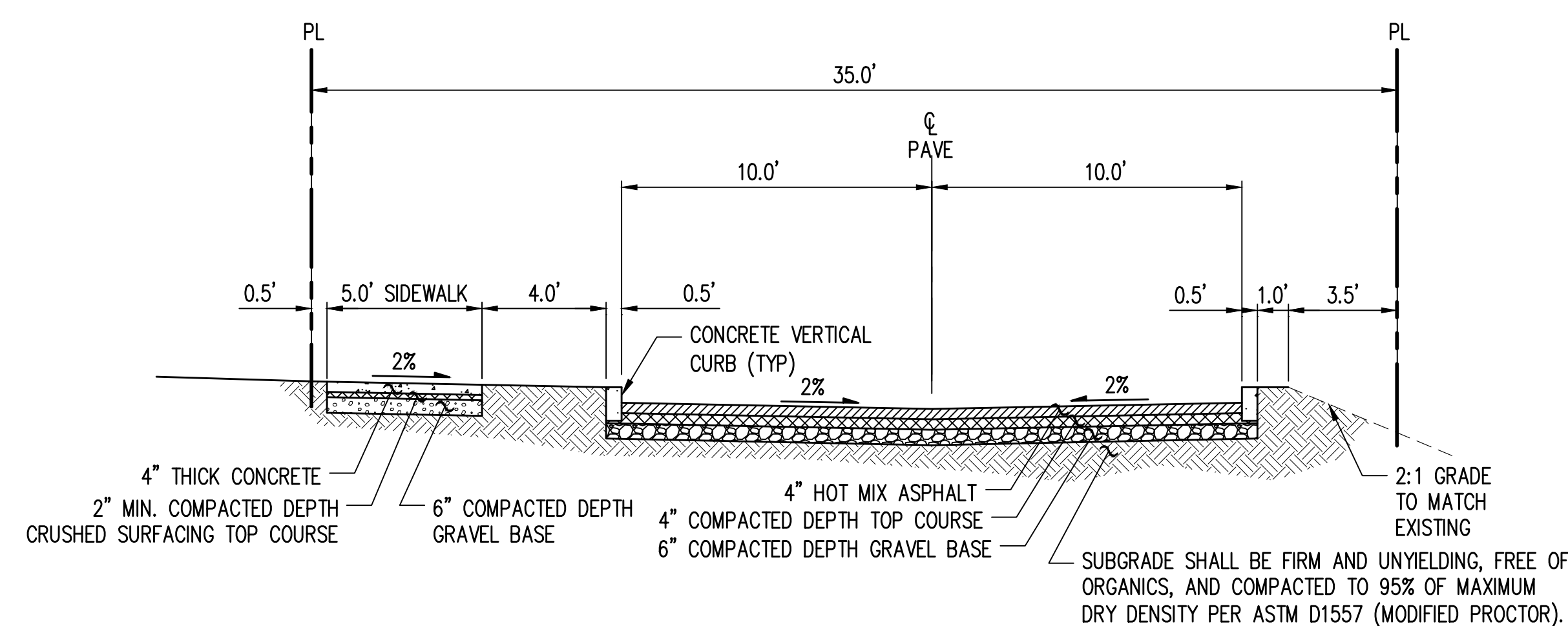


ROAD E TYPICAL

1" = 4'

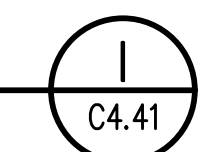


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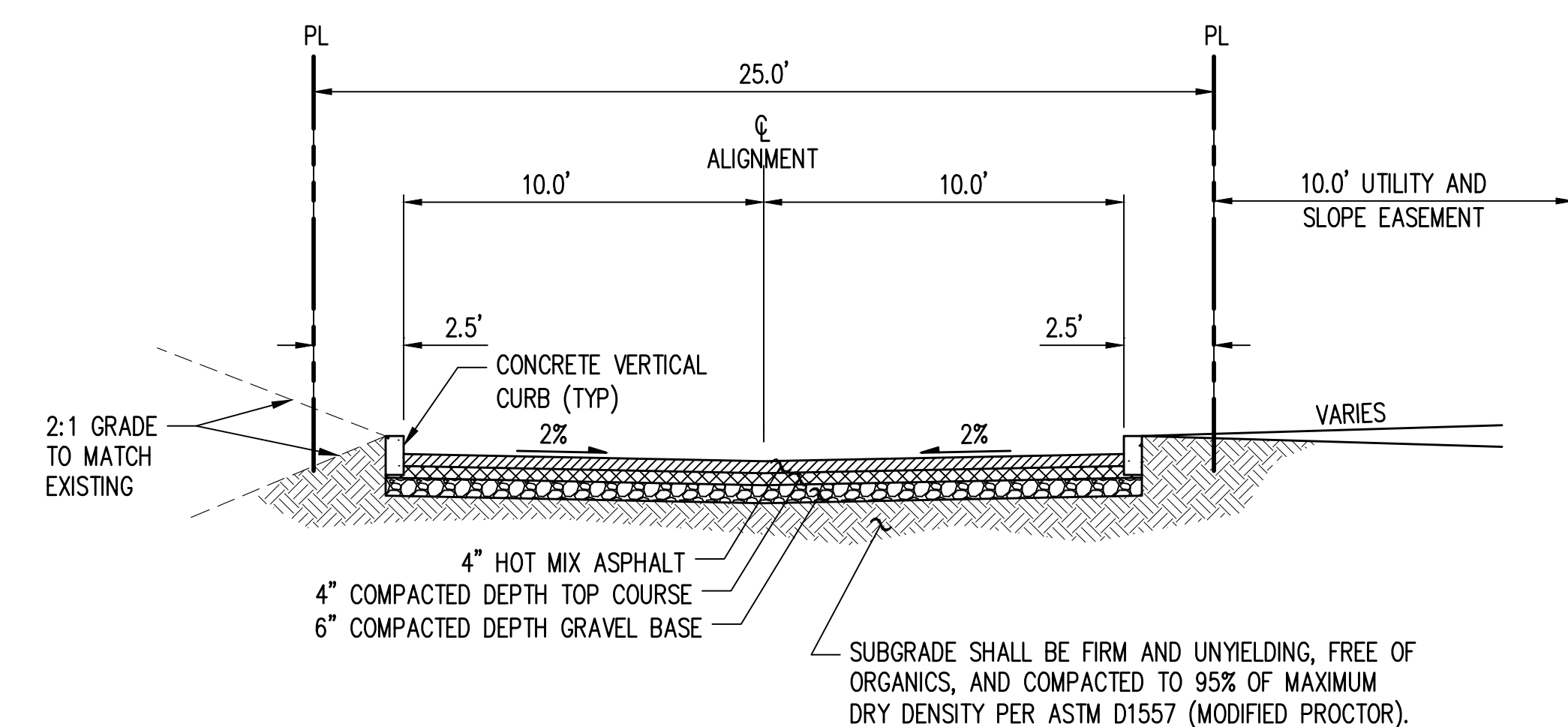


ROAD G TYPICAL

1" = 4'

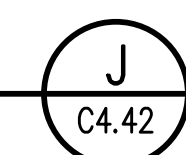


C4.41



ROAD H (HAMMERHEAD) TYPICAL

1" = 4'



C4.42

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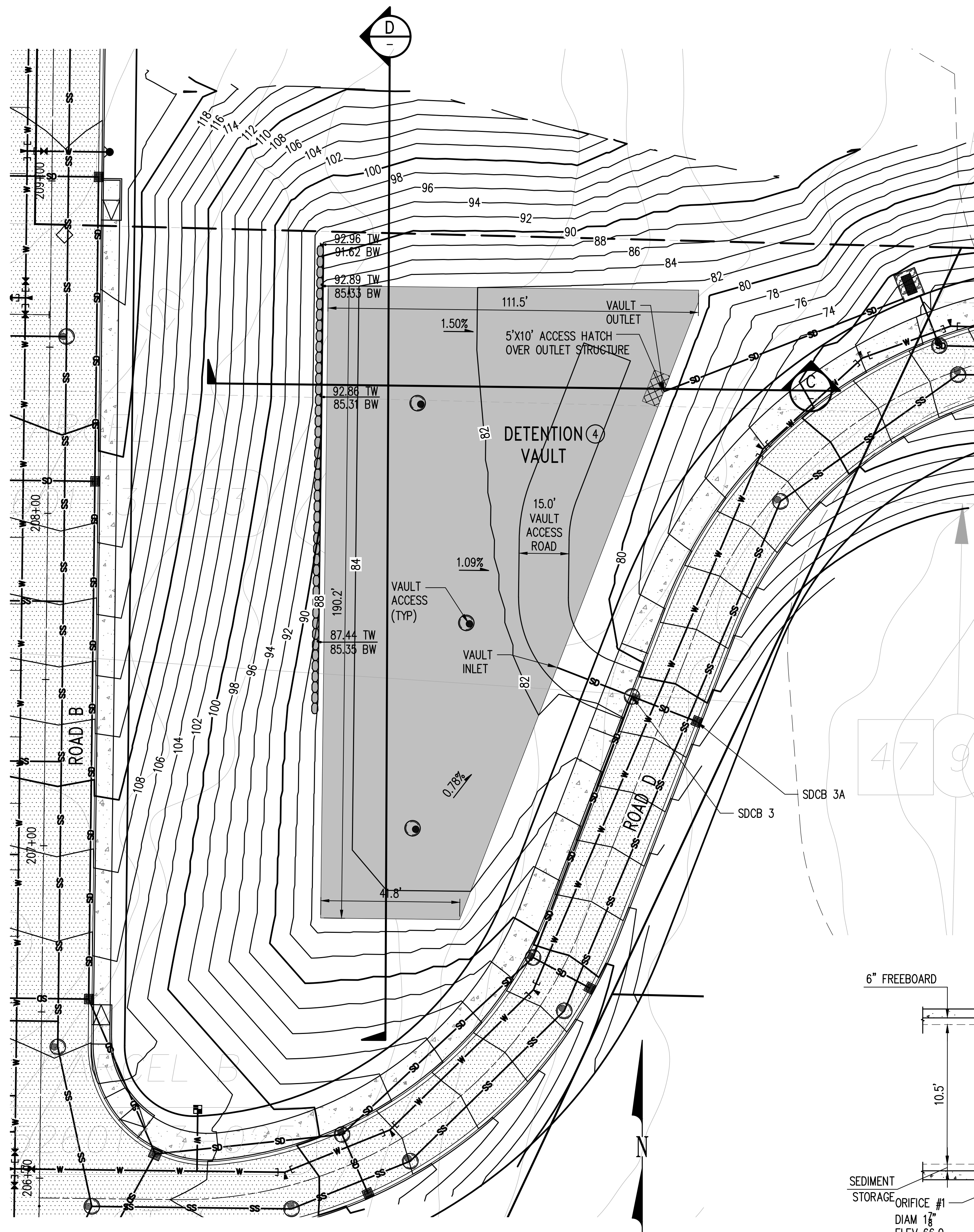
ROAD DETAILS

SHEET

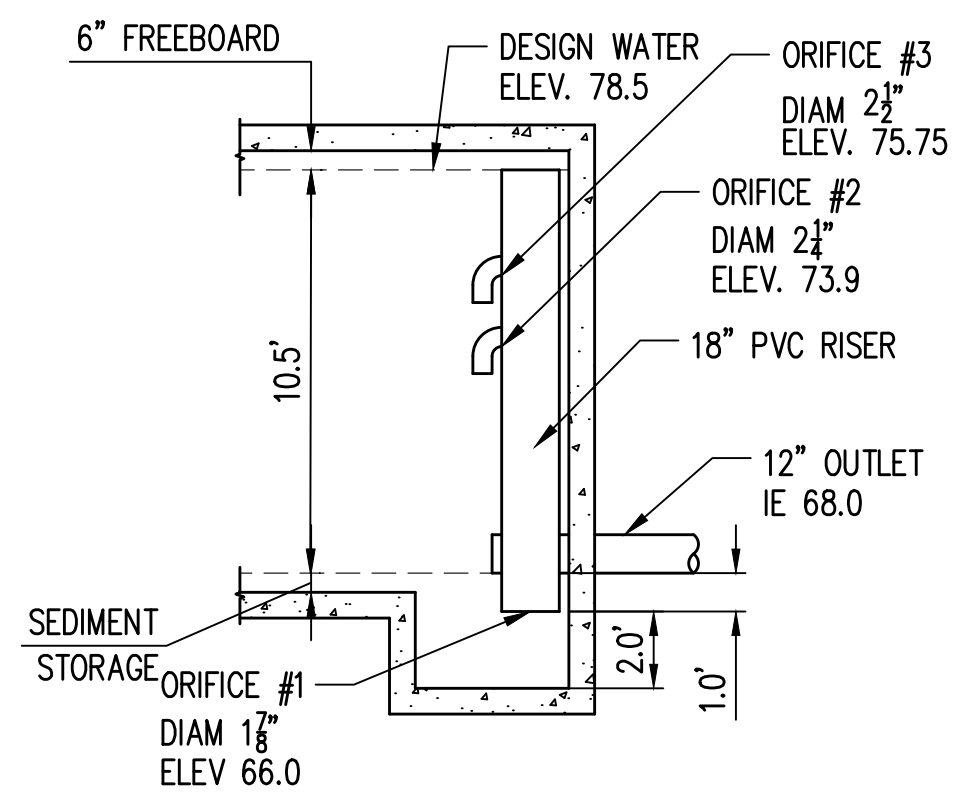
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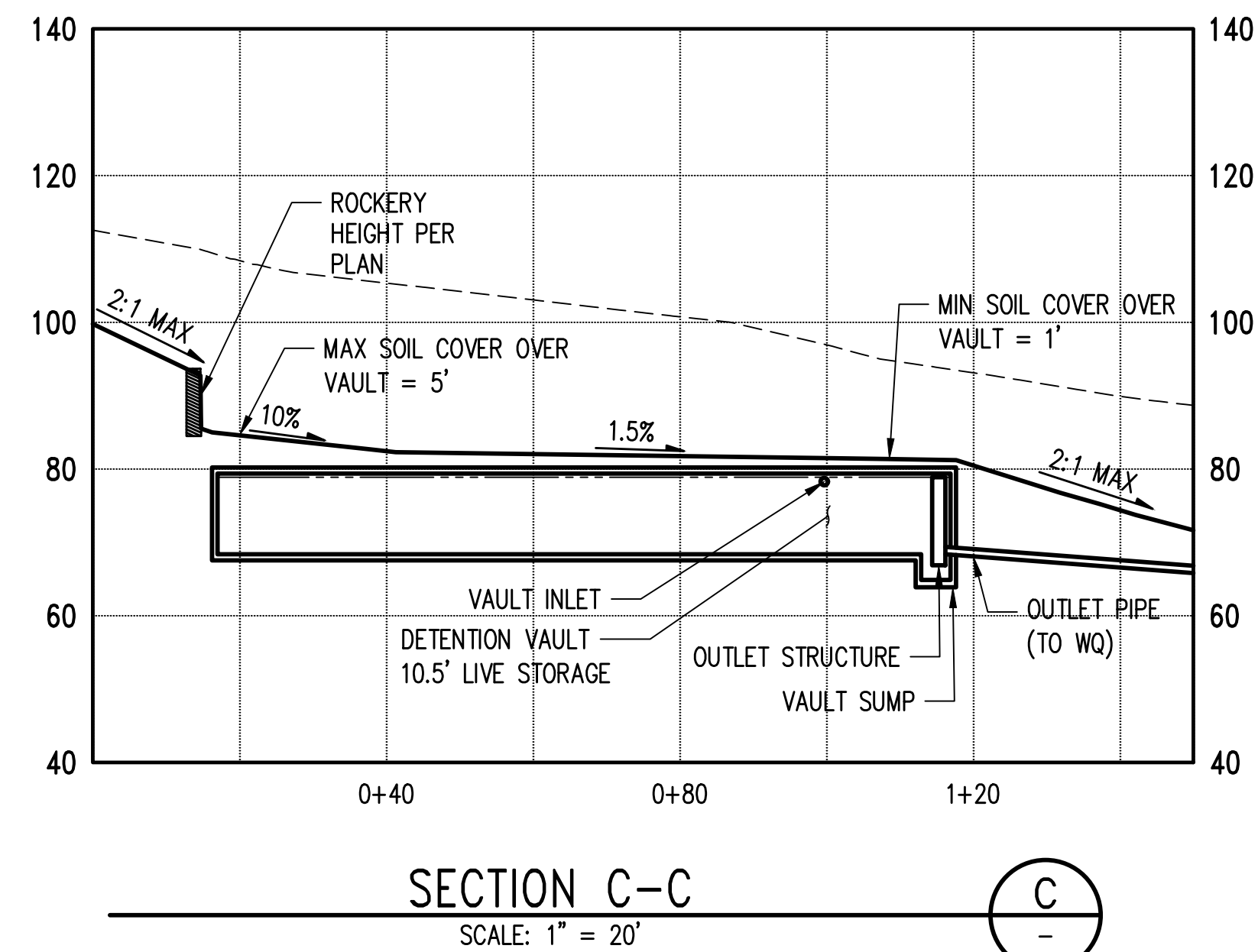


0 10' 20' 40'
1 inch = 20 feet



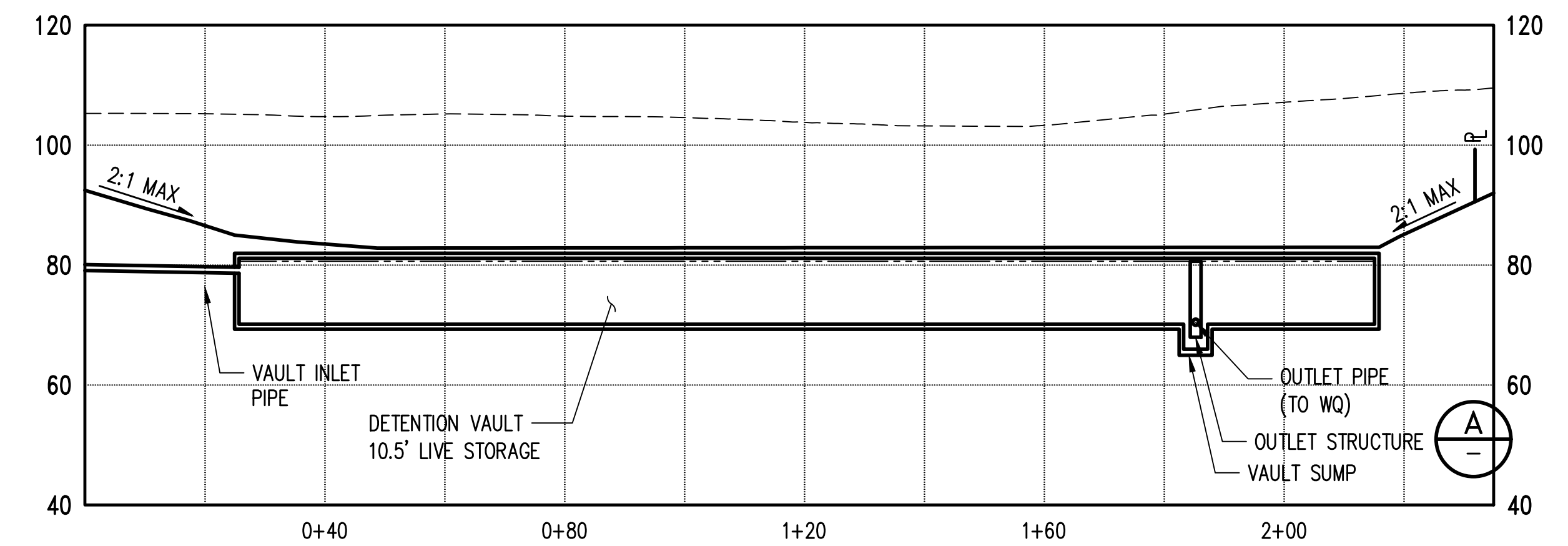
OUTLET STRUCTURE
1" = 5'

LEGEND			
	PROPOSED PROPERTY LINE		SANITARY SEWER MANHOLE
	PROPERTY LINE		FIRE HYDRANT
	CENTERLINE		TYPE 1 CATCH BASIN
	PROPOSED EASEMENT		TYPE 2 CATCH BASIN
	STORM DRAIN LINE		FINISHED GRADE CONTOUR
	ROOF DRAIN		EXISTING GRADE CONTOUR
	WATER MAIN		WETLAND BUFFER
	SEWER MAIN		



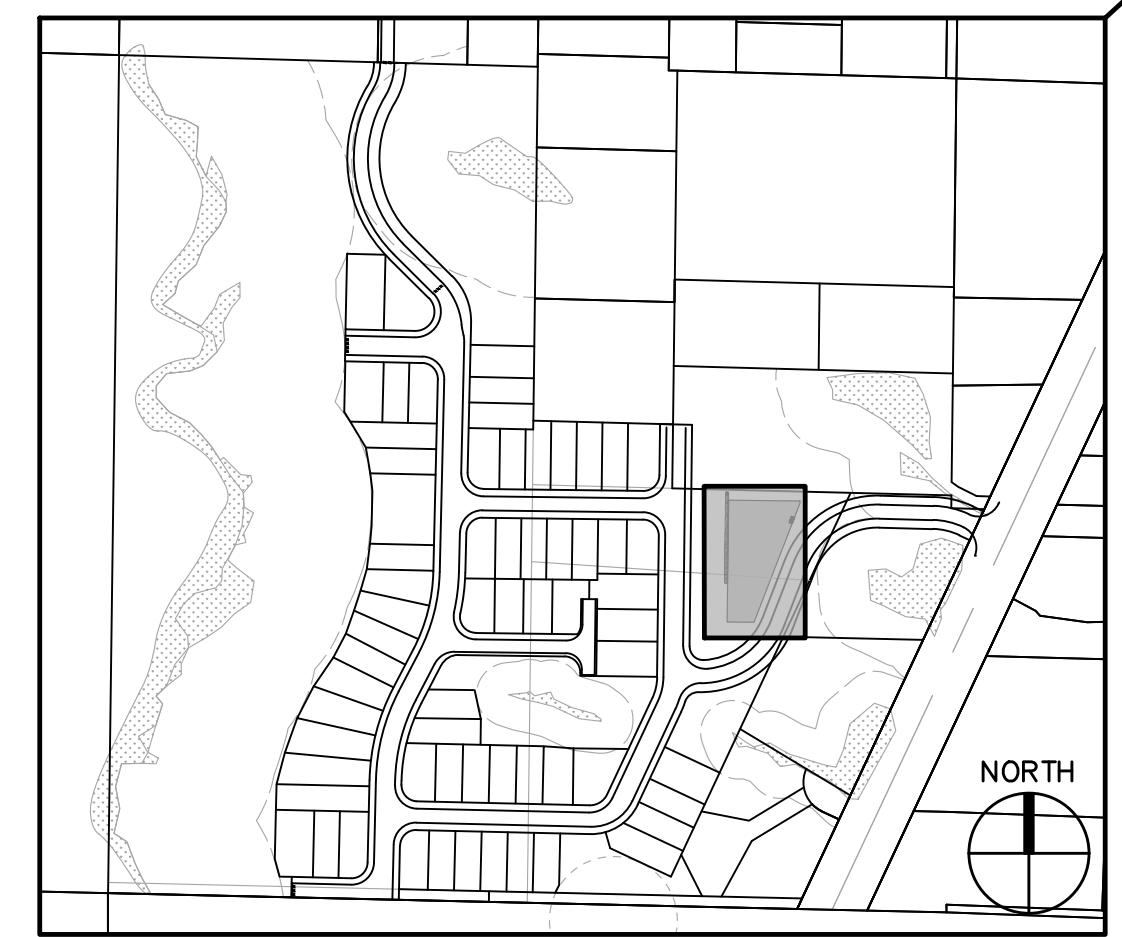
SECTION C-C

SCALE: 1" = 20'



SECTION D-D

SCALE: 1" = 20'



KEY MAP

NOTES

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- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- FULL CONSTRUCTION DETAILS AND STRUCTURAL VAULT DESIGN WILL BE PROVIDED WITH CONSTRUCTION DOCUMENTS.
- PICNIC AREA WITH BENCHES SHALL BE LOCATED ON TOP OF DETENTION VAULT FOR PASSIVE RECREATION SPACE.
- VAULT ACCESS MEETING OSHA ACCESS REQUIREMENTS WILL BE PROVIDED IN FINAL VAULT DESIGN. ADDITIONAL MANHOLE ACCESS MAY BE REQUIRED IN ADDITION TO THE ACCESS HATCH SHOWN AT THE OUTLET/CONTROL STRUCTURE.
- VAULT BOTTOM SHALL HAVE INTERNAL "V" SECTION AND SHALL SLOPE TO THE VAULT SUMP FOR EASE OF MAINTENANCE. VAULT DETAILS FOR INTERNAL BAFFLES (IF REQUIRED) AND VAULT FLOOR SHAPING WILL BE PROVIDED DURING CONSTRUCTION DOCUMENT PREPARATION WITH STRUCTURAL VAULT DESIGN.
- MAXIMUM DEPTH FROM TOP OF VAULT TO BOTTOM OF SUMP SHALL BE 15.0'.
- ALL AREAS OF THE PROPOSED VAULT SHALL BE DESIGNED FOR VACTOR TRUCK MAINTENANCE ACCESS. VAULT LID SHALL BE DESIGNED FOR VEHICLE LOADING.

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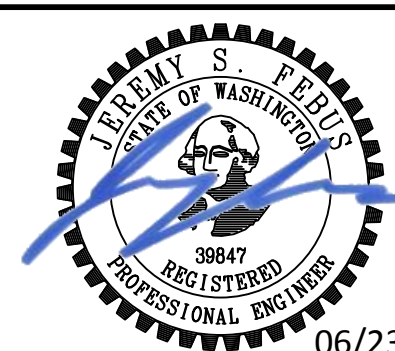
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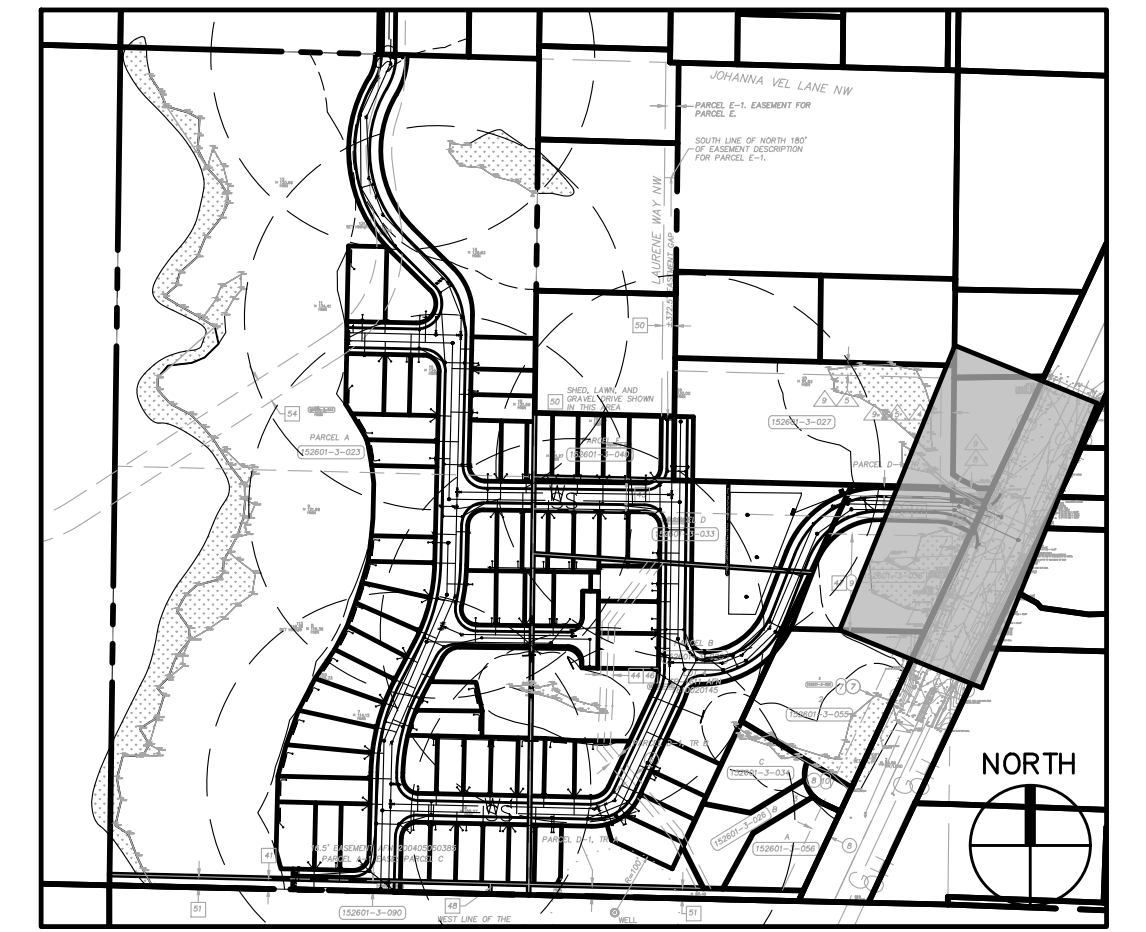
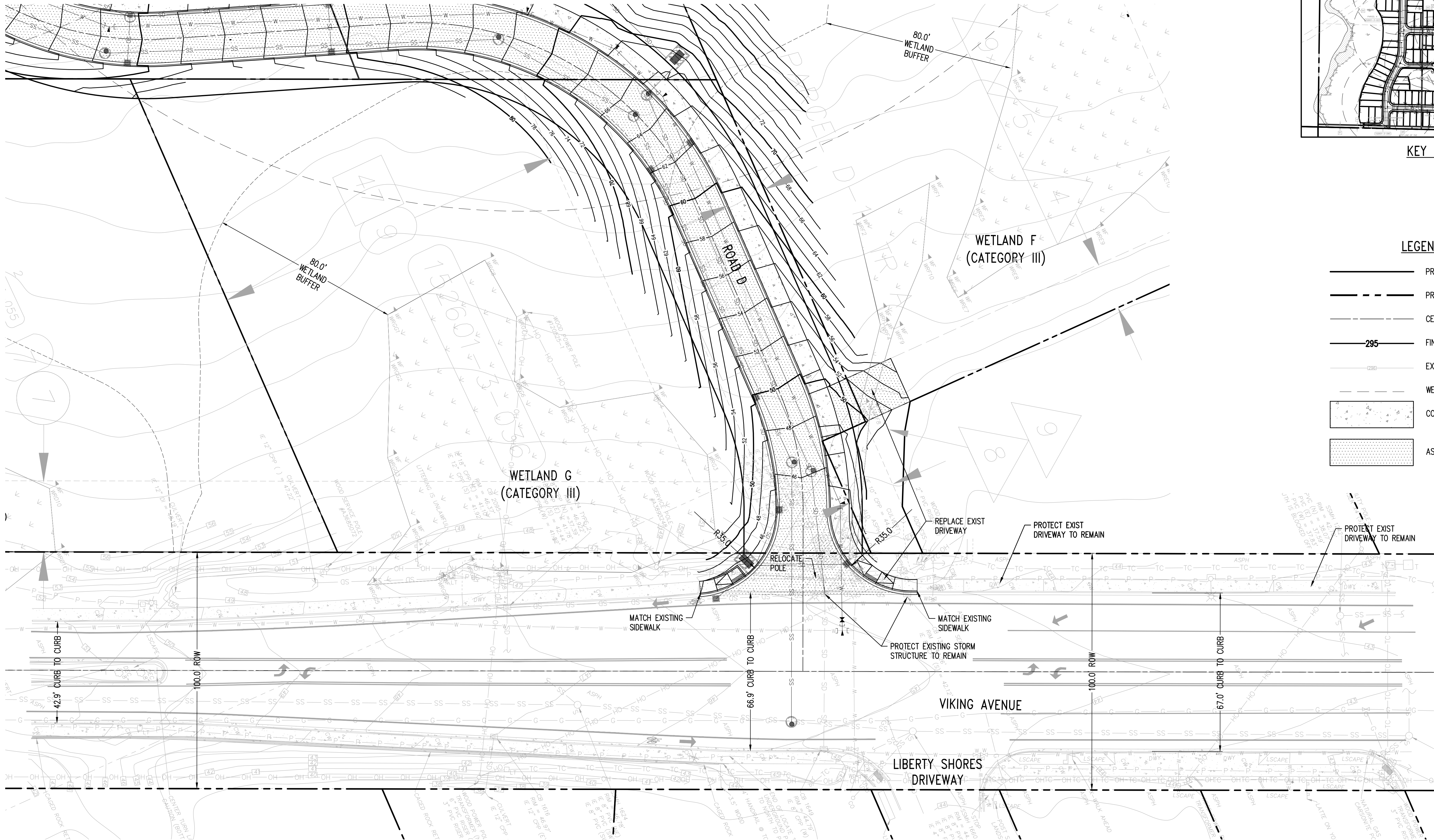
VAULT PLAN AND SECTIONS

SHEET

C4.70

Z:\2000001-2009999\200505 Wetlands (C4.80) (Design) (PP) (C4.80 WA RD ENCL.dwg

Jun 23, 2023 9:48am ebsc



KEY MAP

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WETLAND BUFFER (EX & PROP)
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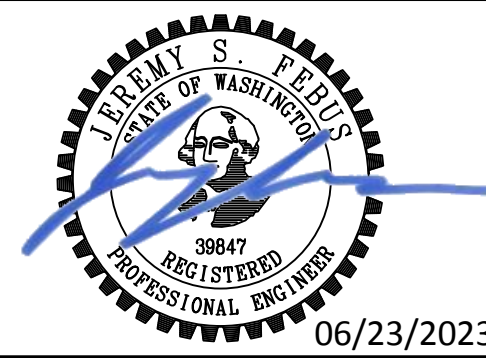
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VIKING INTERSECTION PLAN

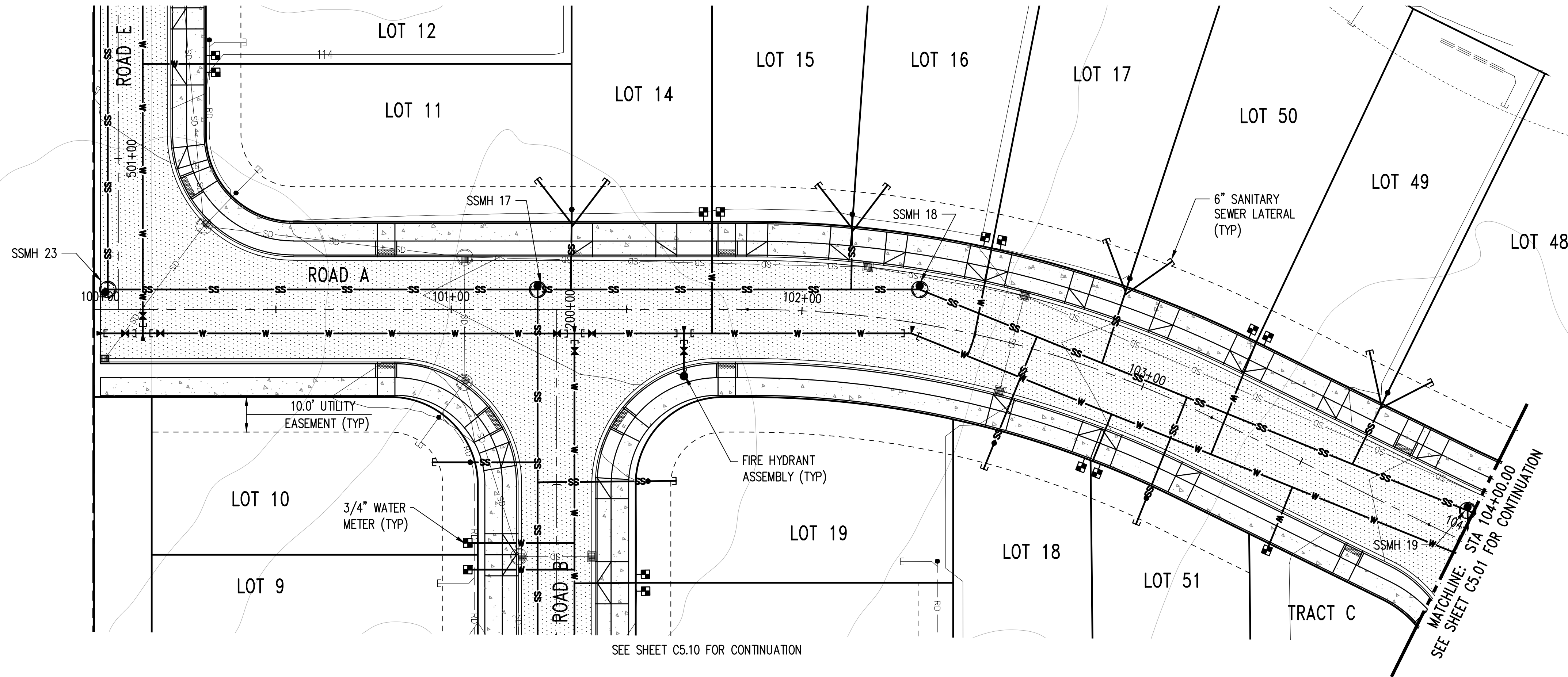
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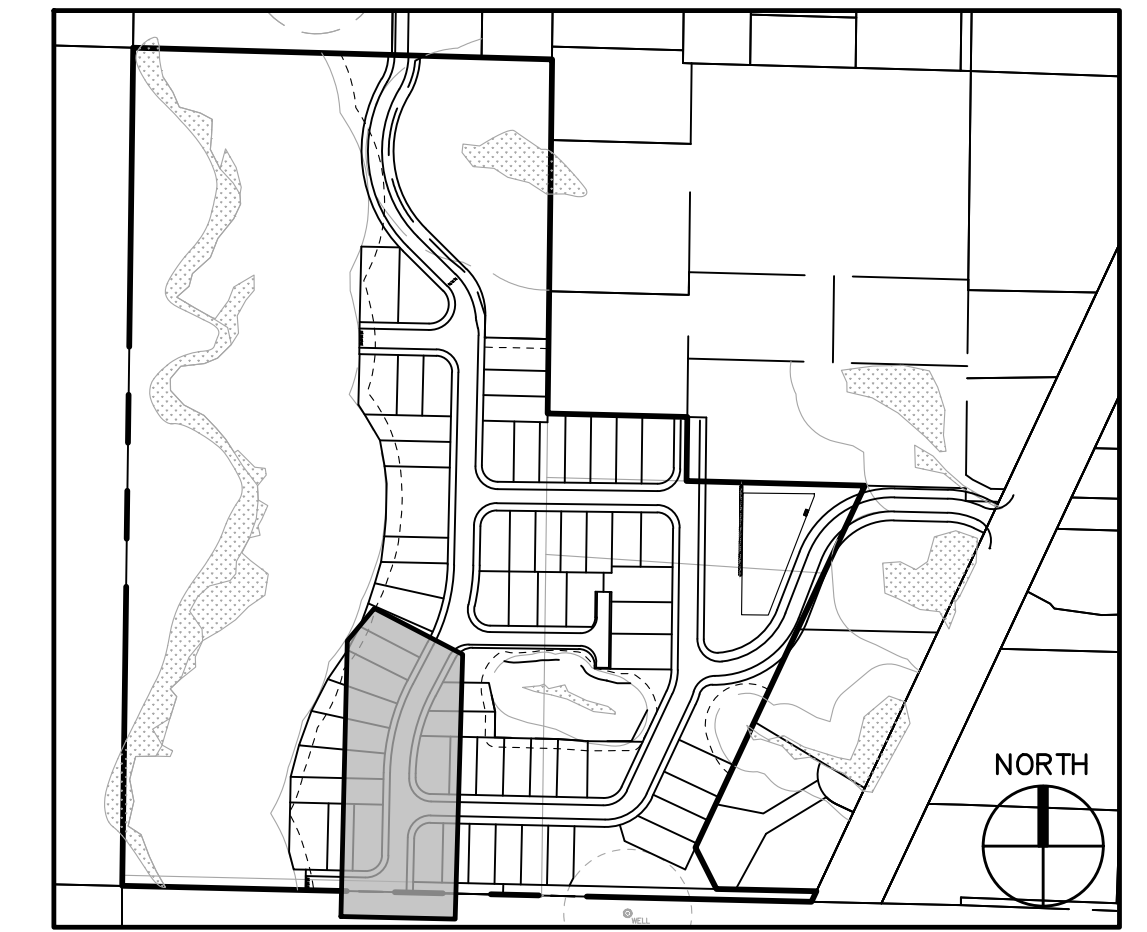
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elbec

SEE SHEET C5.40 FOR CONTINUATION



SEE SHEET C5.10 FOR CONTINUATION



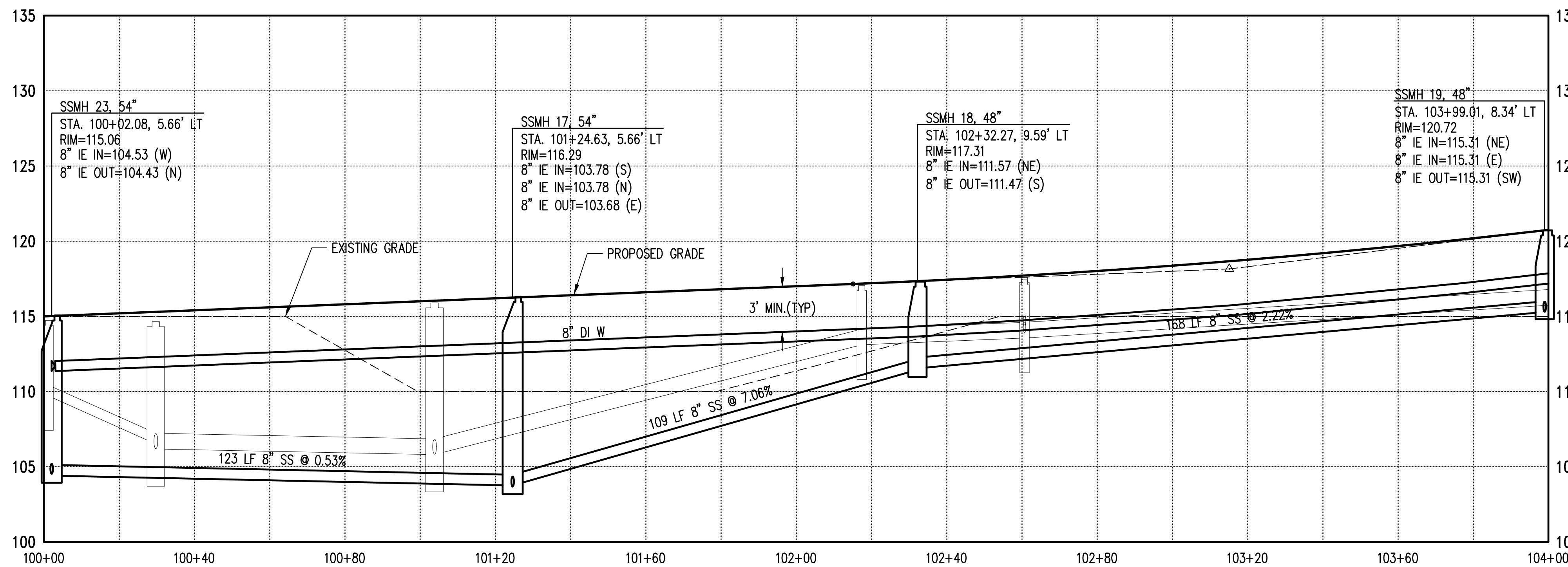
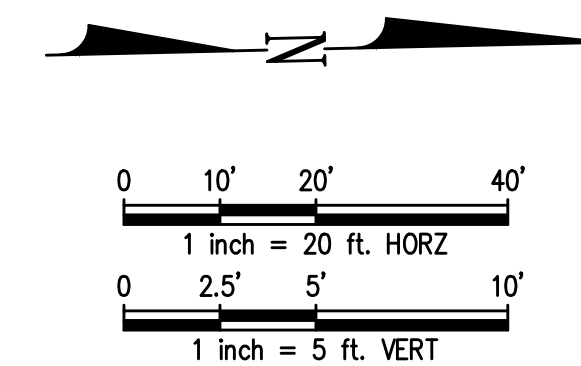
KEY MAP

LEGEND

- PROPOSED LOT LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED UTILITY EASEMENT
- WATER MAIN
- SEWER MAIN
- CLEANOUT
- SANITARY SEWER MANHOLE
- WATER METER
- FIRE HYDRANT
- 295 FINISHED GRADE CONTOUR
- 295 EXISTING GRADE CONTOUR

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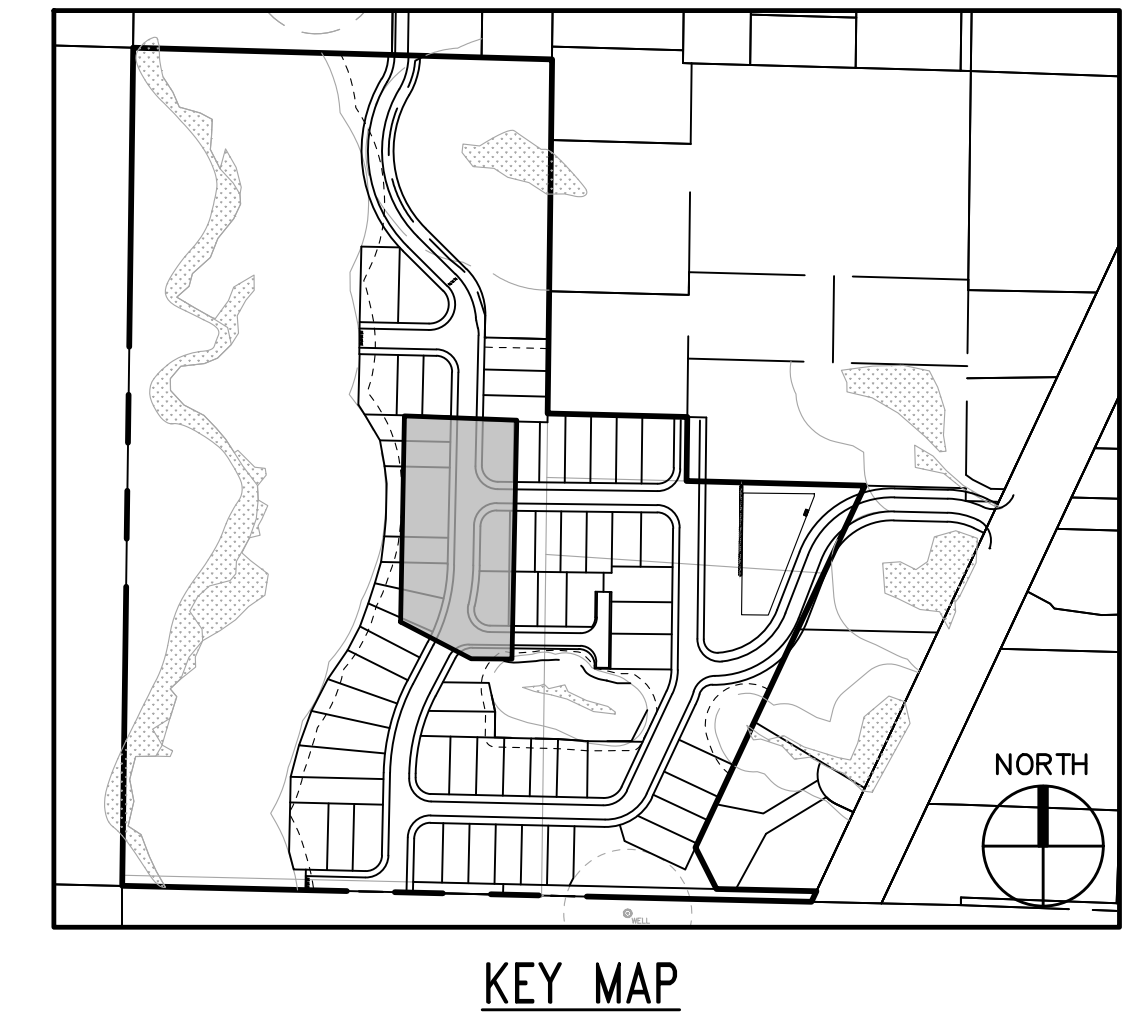
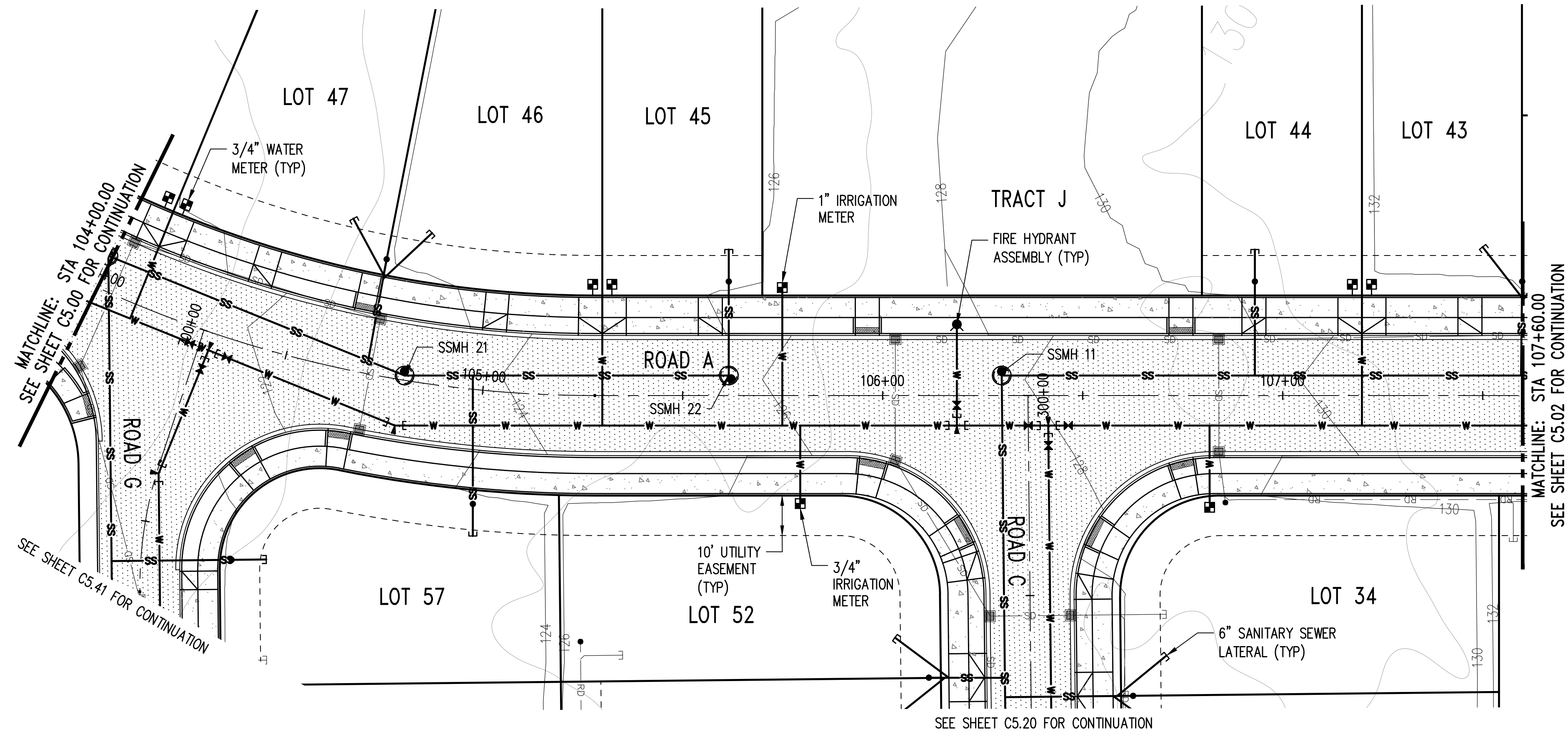
06/23/2023

THE PLATEAU AT LIBERTY BAY PRD / ENTITLE FUND TWO, LLC
POULSB0, WASHINGTON

ROAD A WATER AND SEWER PLAN AND PROFILE

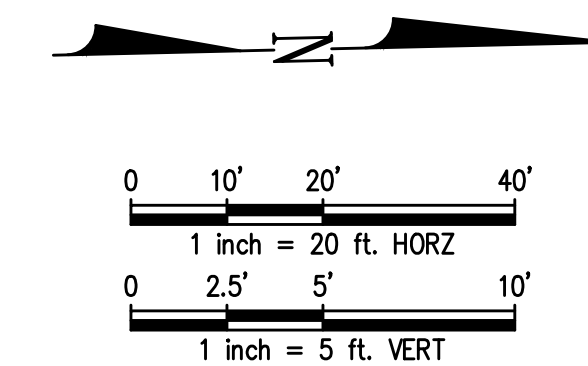
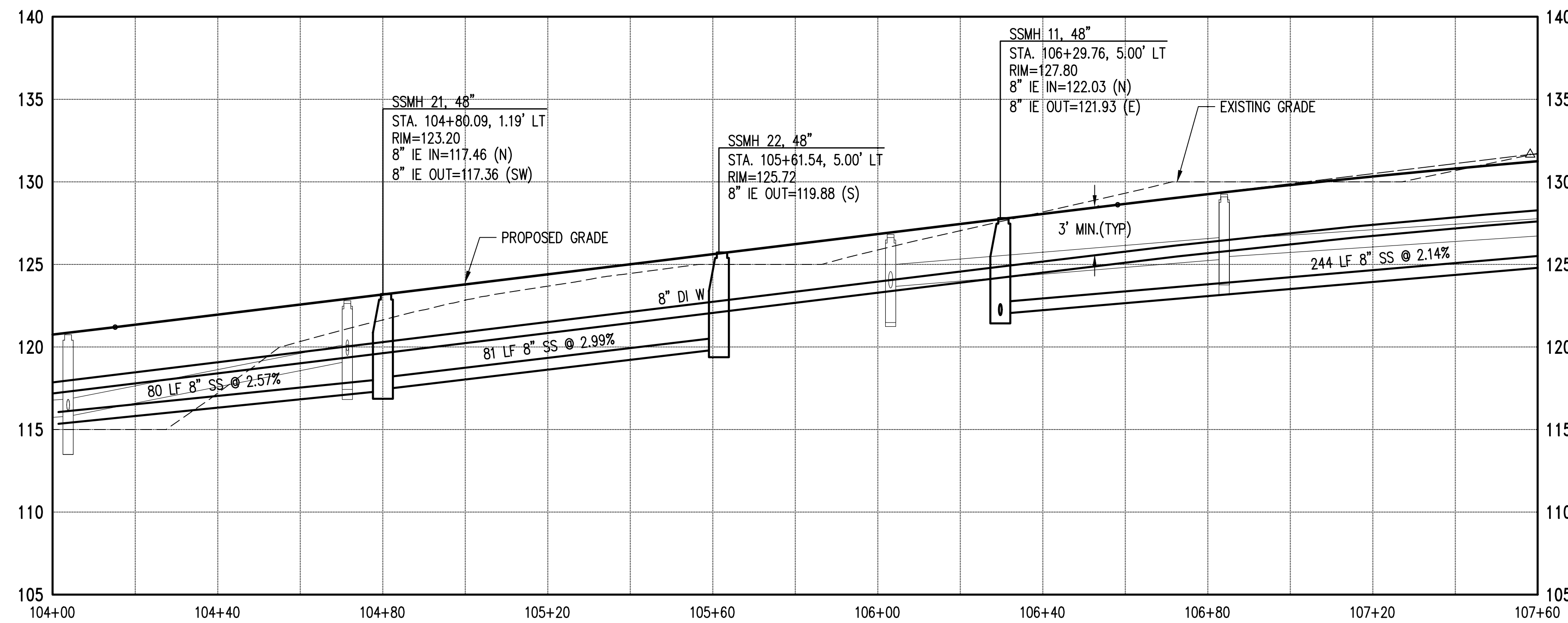
SHEET

C5.00



LEGEND

- PROPOSED LOT LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED UTILITY EASEMENT
- WATER MAIN
- SEWER MAIN
- CLEANOUT
- SANITARY SEWER MANHOLE
- WATER METER
- FIRE HYDRANT
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR



NOTES

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- SEE ROAD AND STORM DRAINAGE PLAN AND PROFILE SHEETS FOR 25 FOOT STREAM BUFFER BSBL AND 15 FOOT WETLAND BUFFER BSBL.

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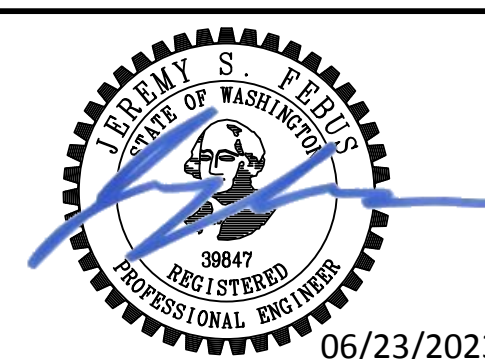
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1	01/2023	EKC	EKC	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY EKC
2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL	CHECKED BY EKC	APPROVED BY JSF
						DATE JUNE 23, 2023	
						J O B No. :2000505	
NO.	DATE	BY	CHD.	APPR.	REVISION		

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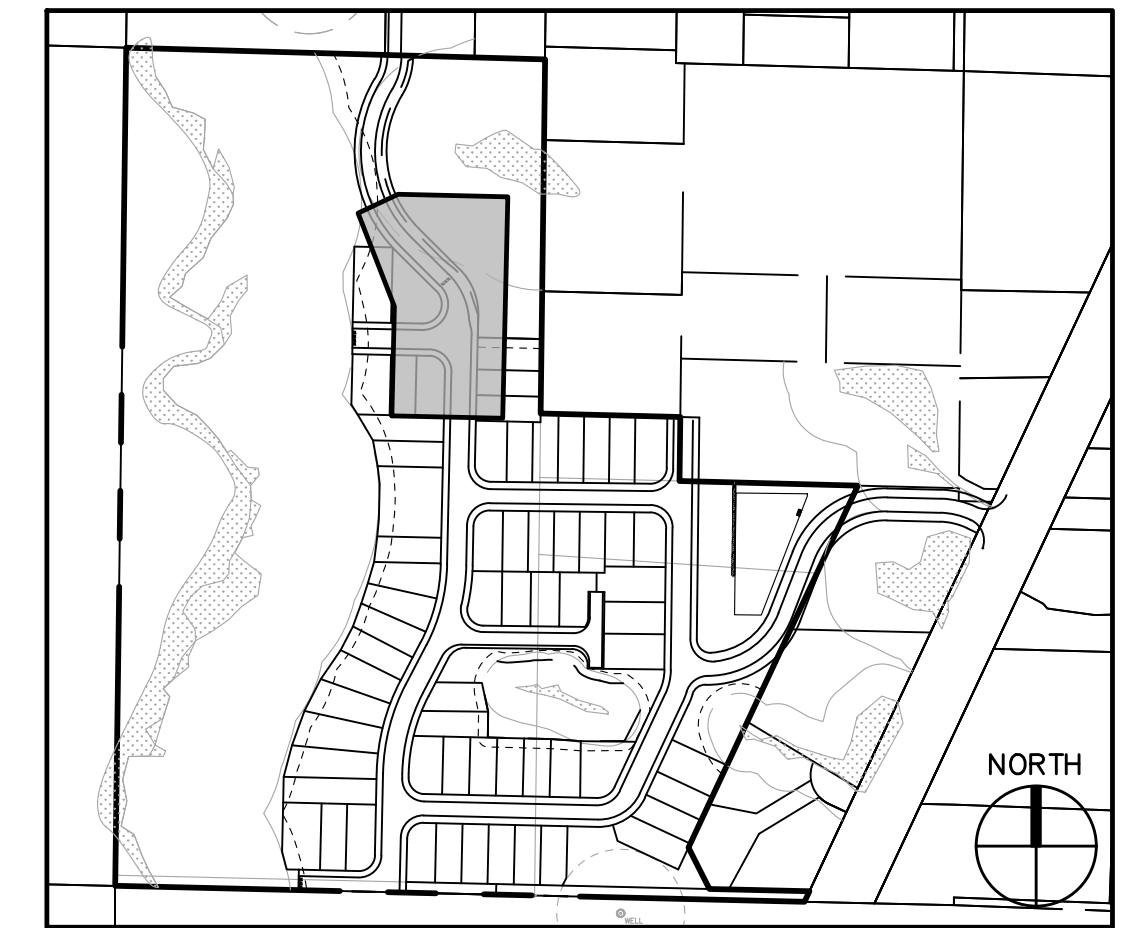
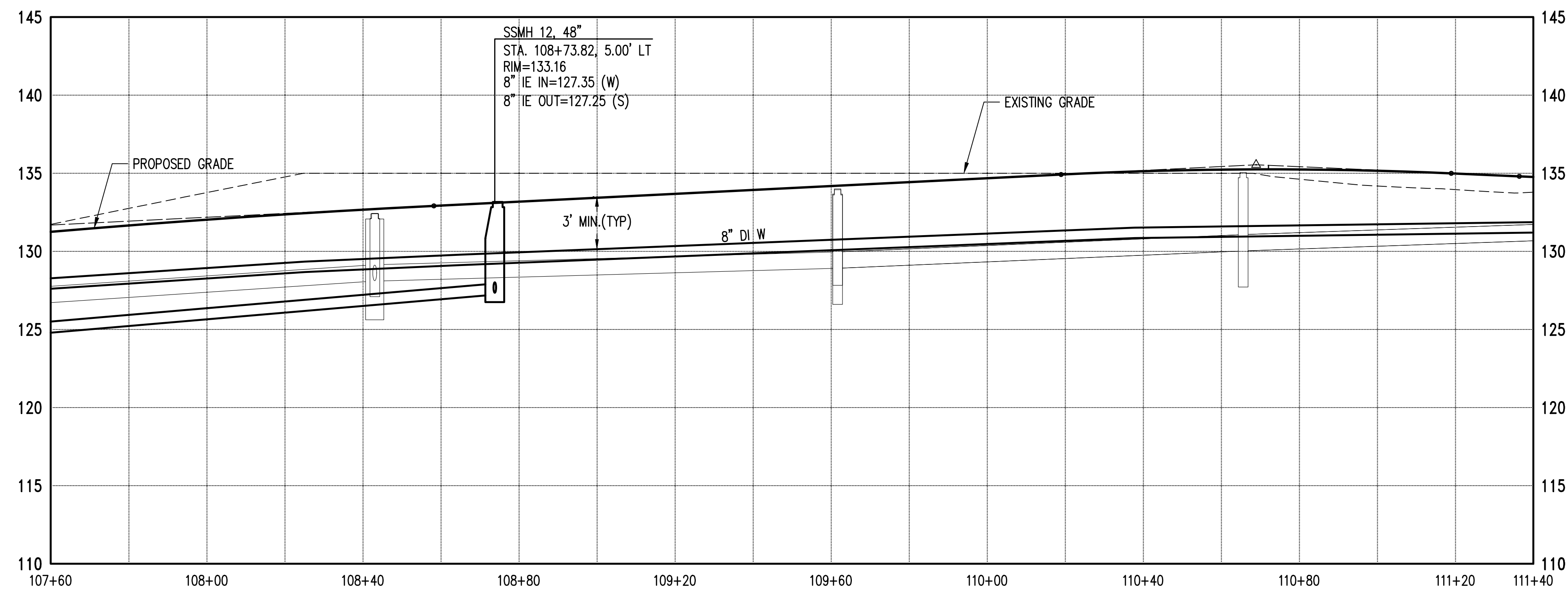
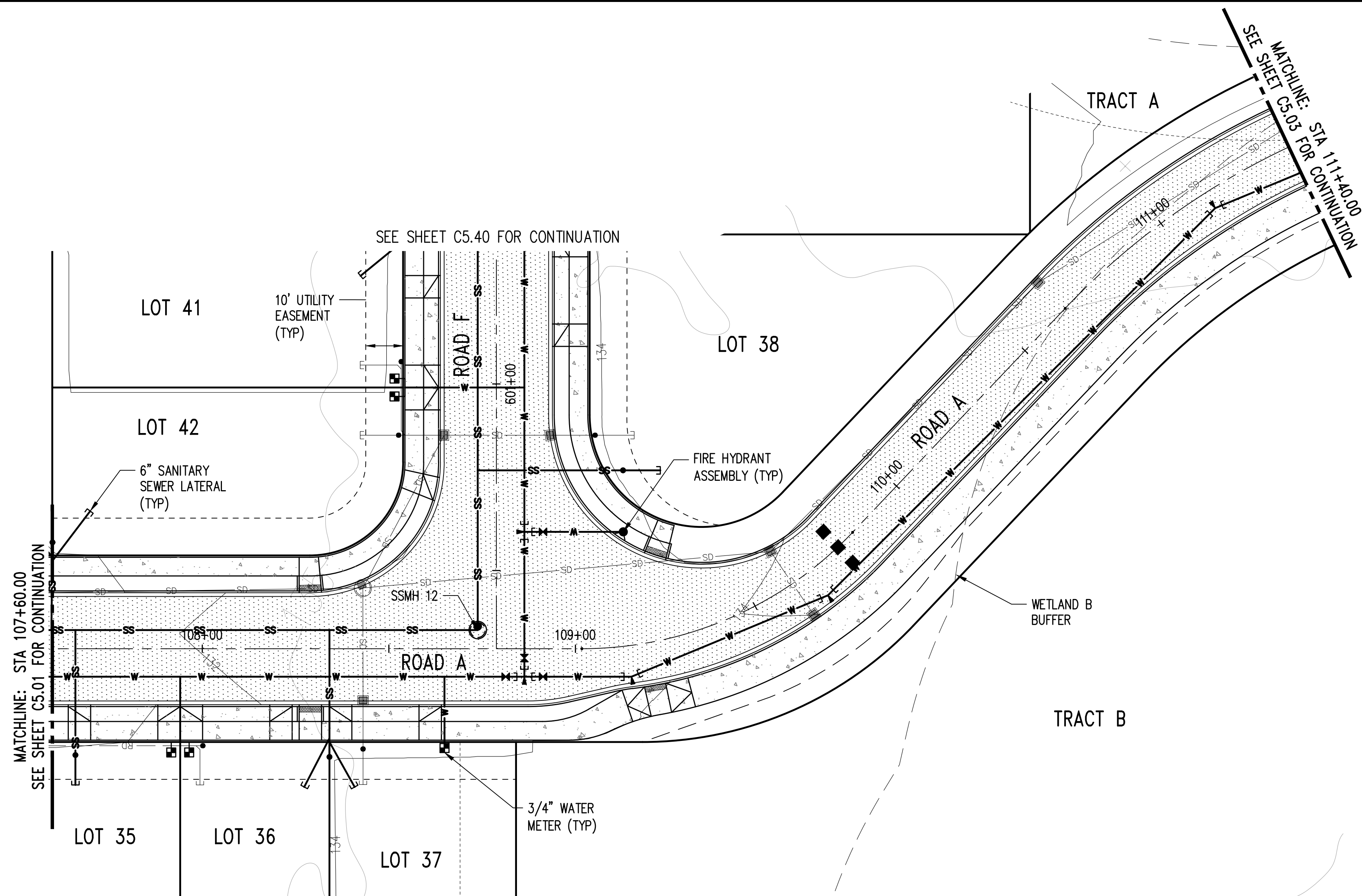
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POULSBORO, WASHINGTON

ROAD A WATER AND SEWER PLAN AND PROFILE

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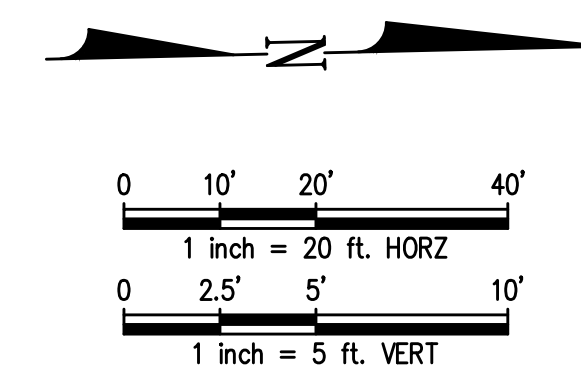
KEY MAP

LEGEND

- PROPOSED LOT LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED UTILITY EASEMENT
- WATER MAIN
- SEWER MAIN
- CLEANOUT
- SANITARY SEWER MANHOLE
- WATER METER
- FIRE HYDRANT
- FINISHED GRADE CONTOUR
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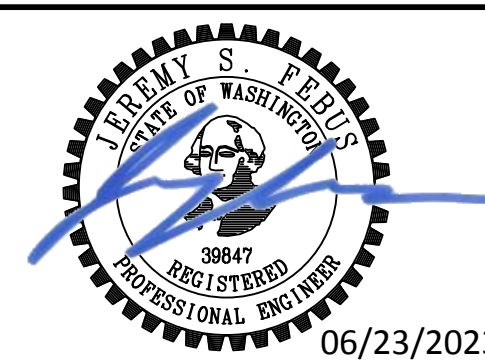
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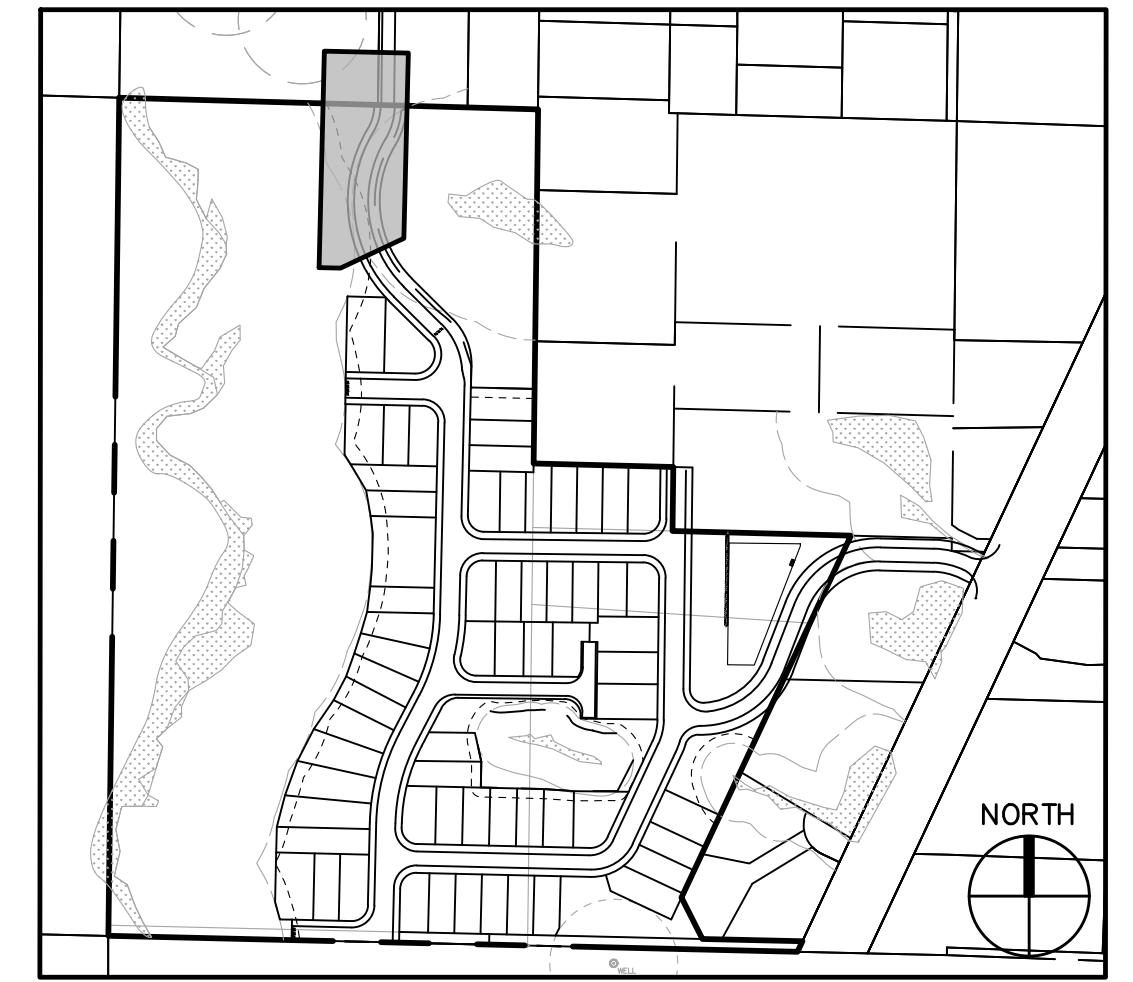
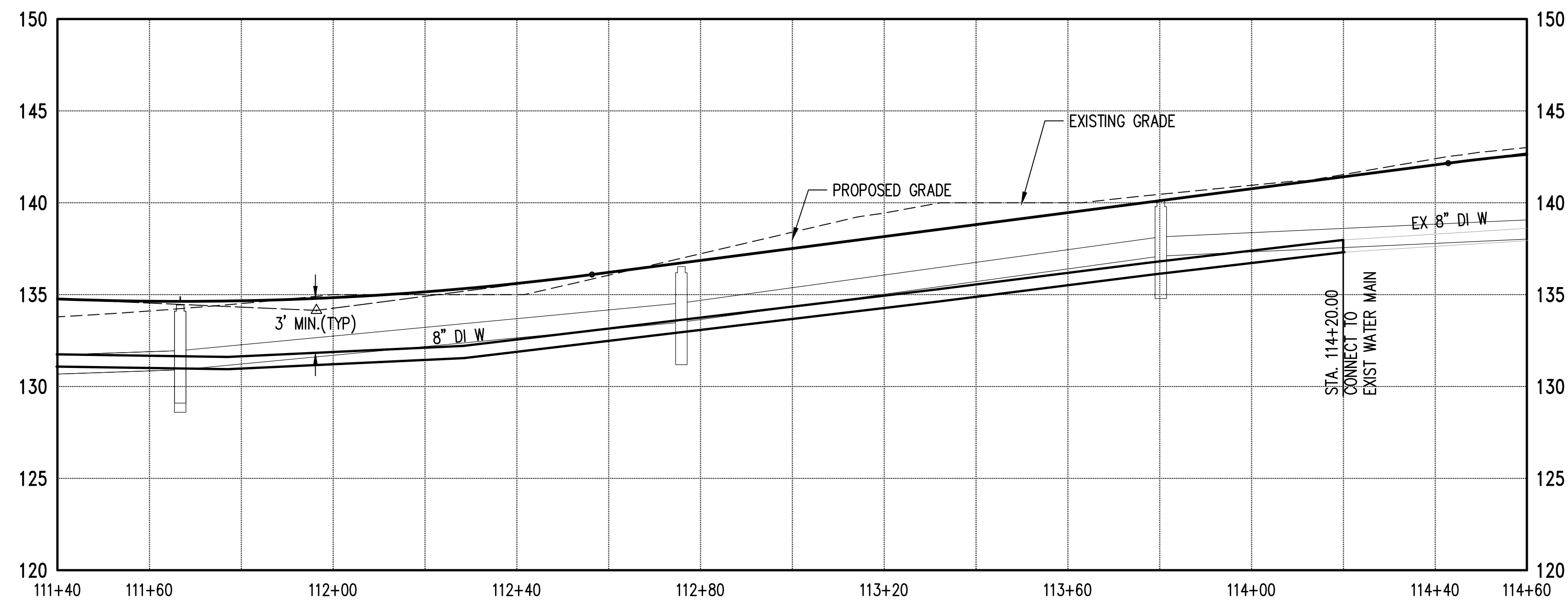
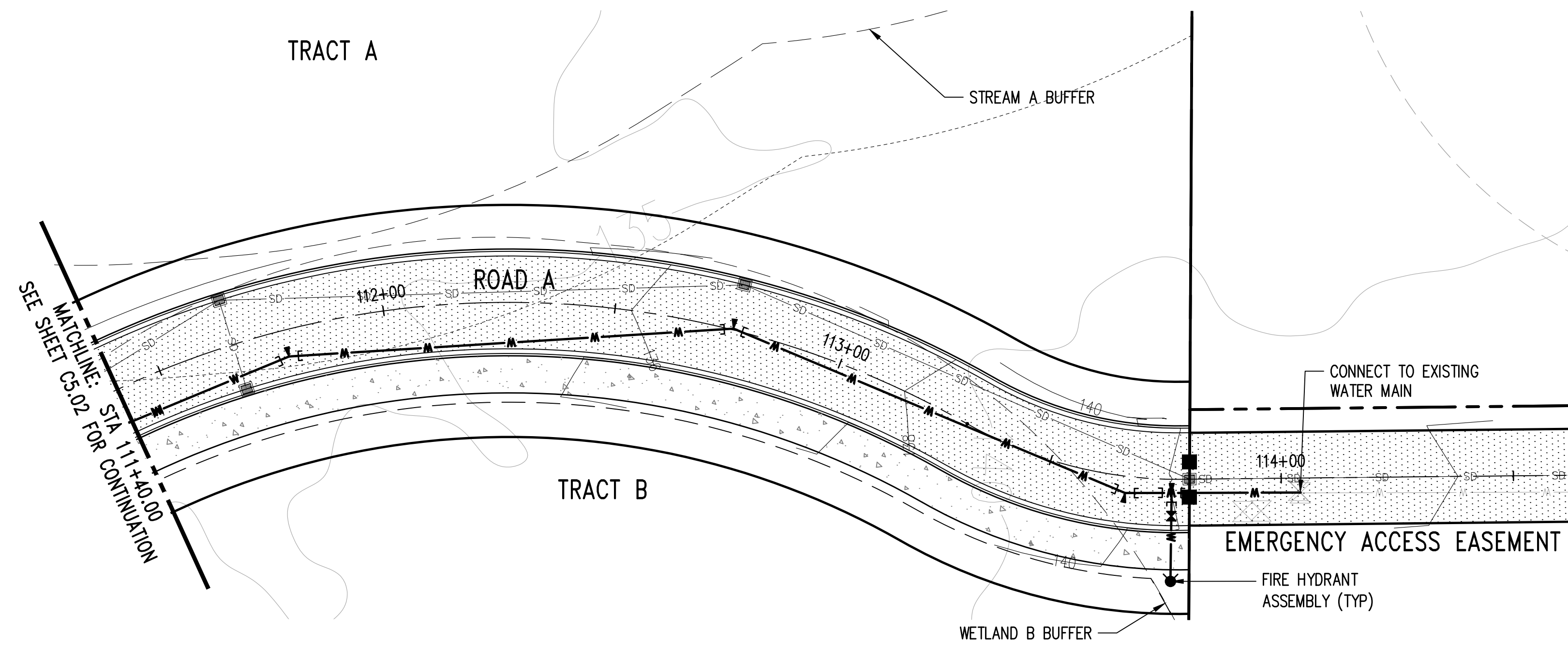
ROAD A WATER AND SEWER PLAN AND PROFILE

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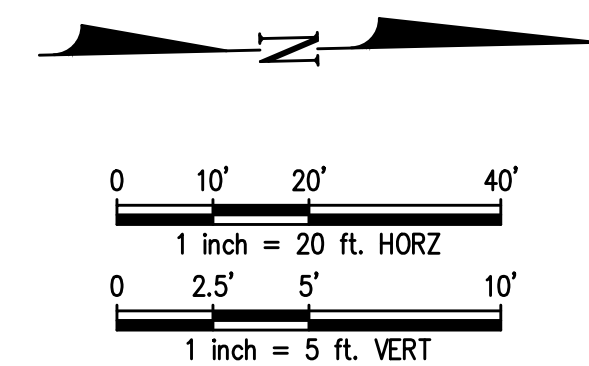
KEY MAP

LEGEND

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- PROPOSED UTILITY EASEMENT
- WATER MAIN
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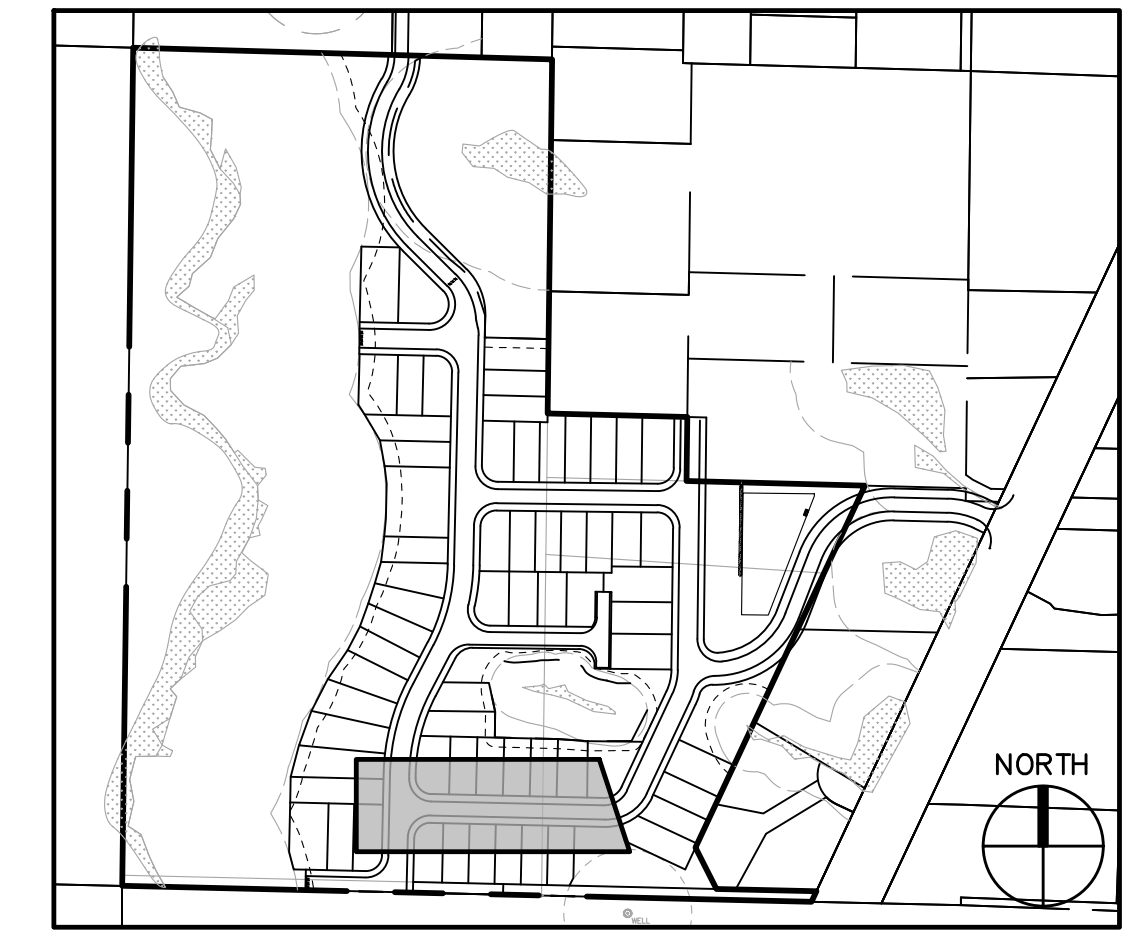
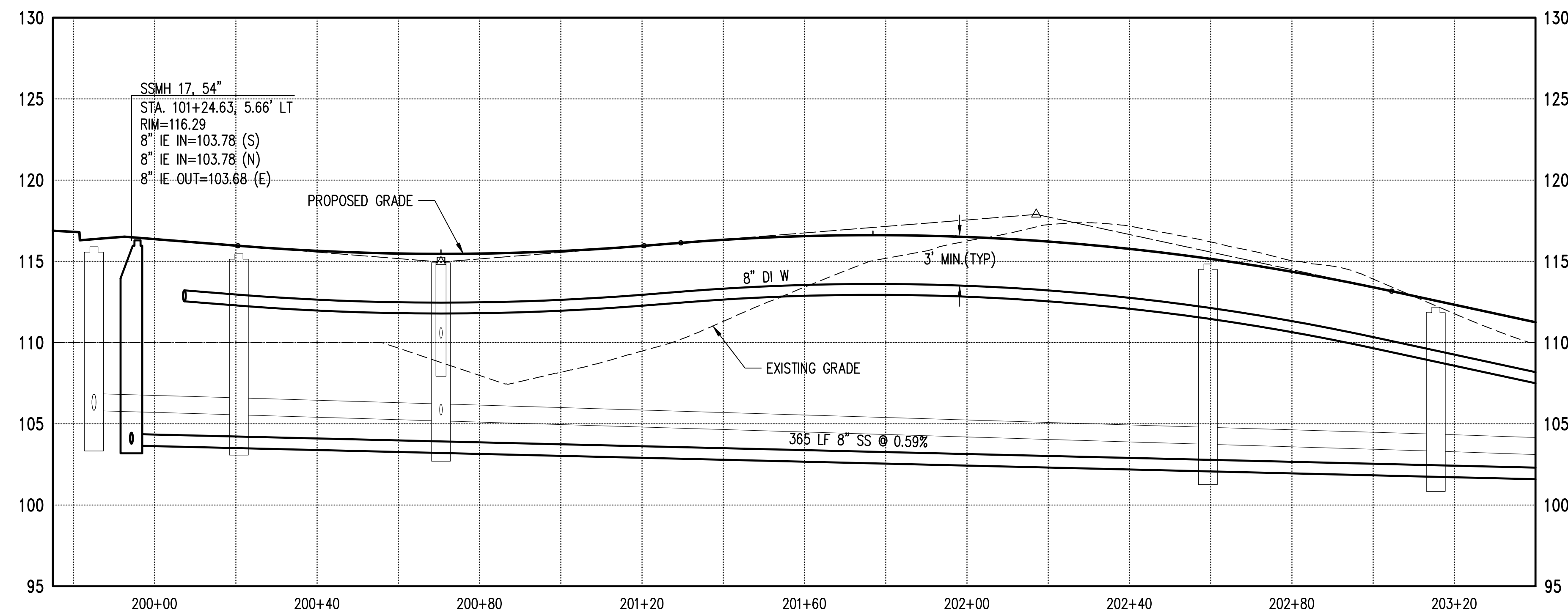
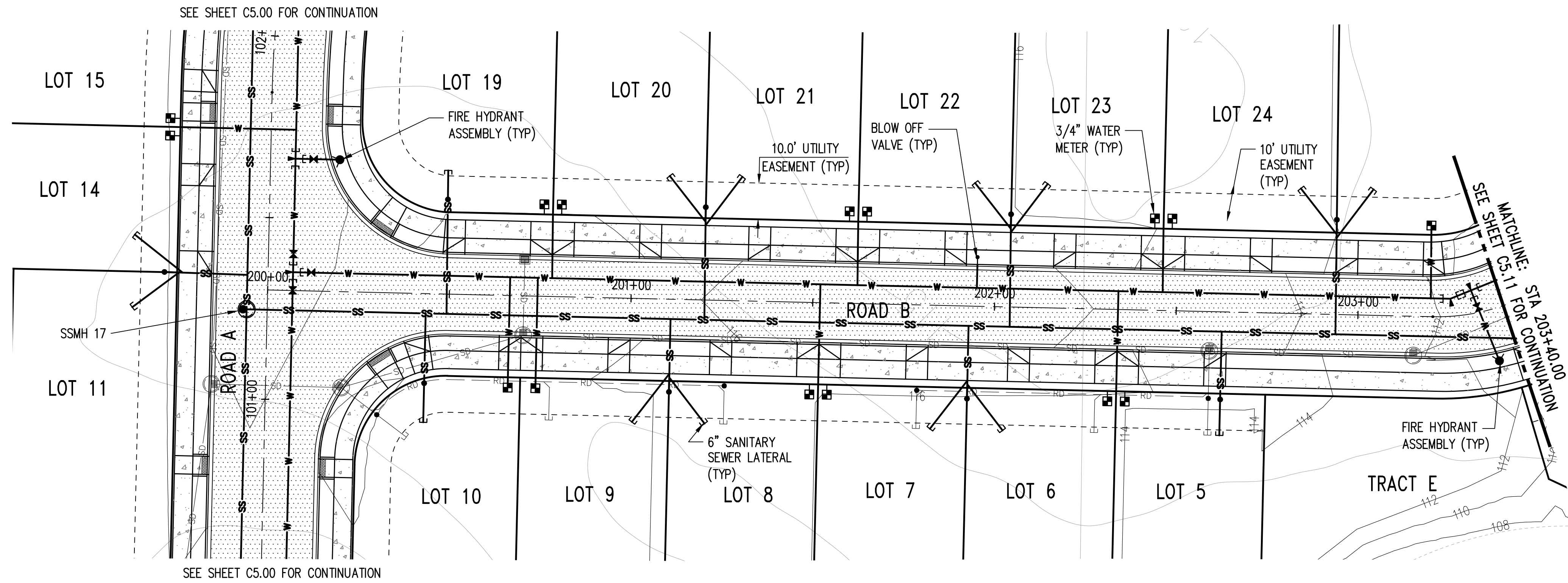
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ROAD A WATER AND SEWER PLAN AND PROFILE

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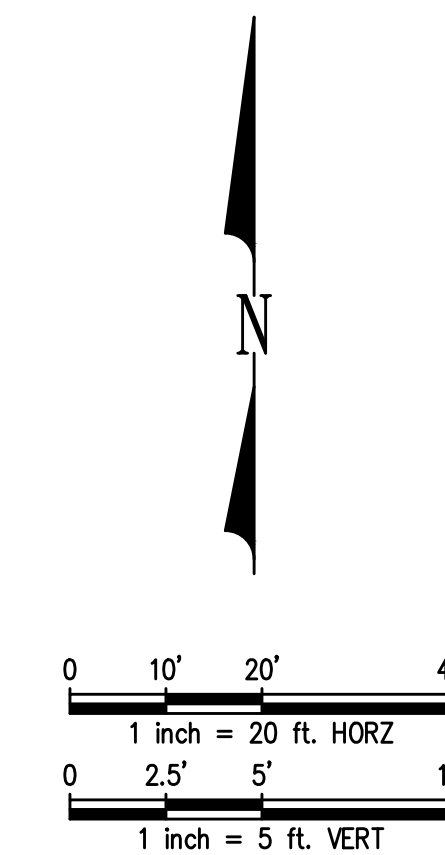
KEY MAP

LEGEND

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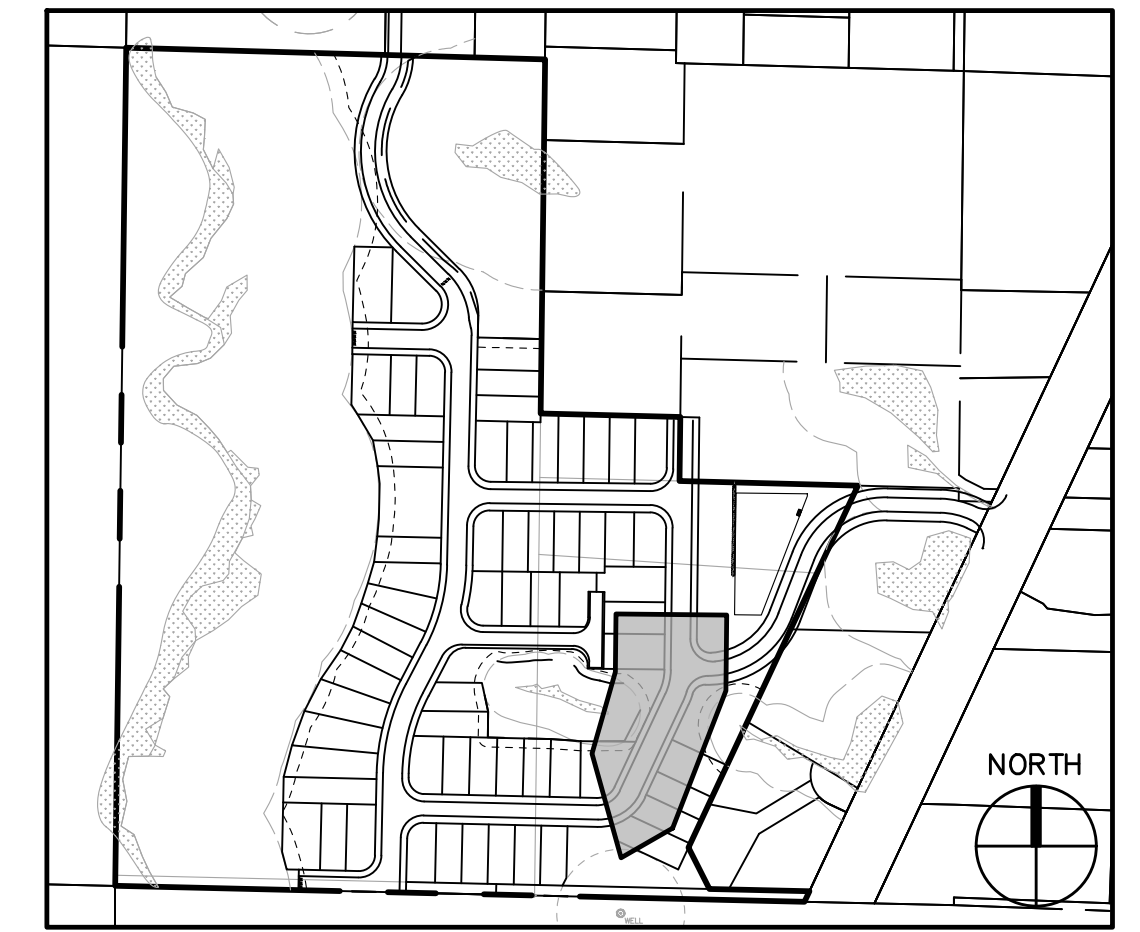
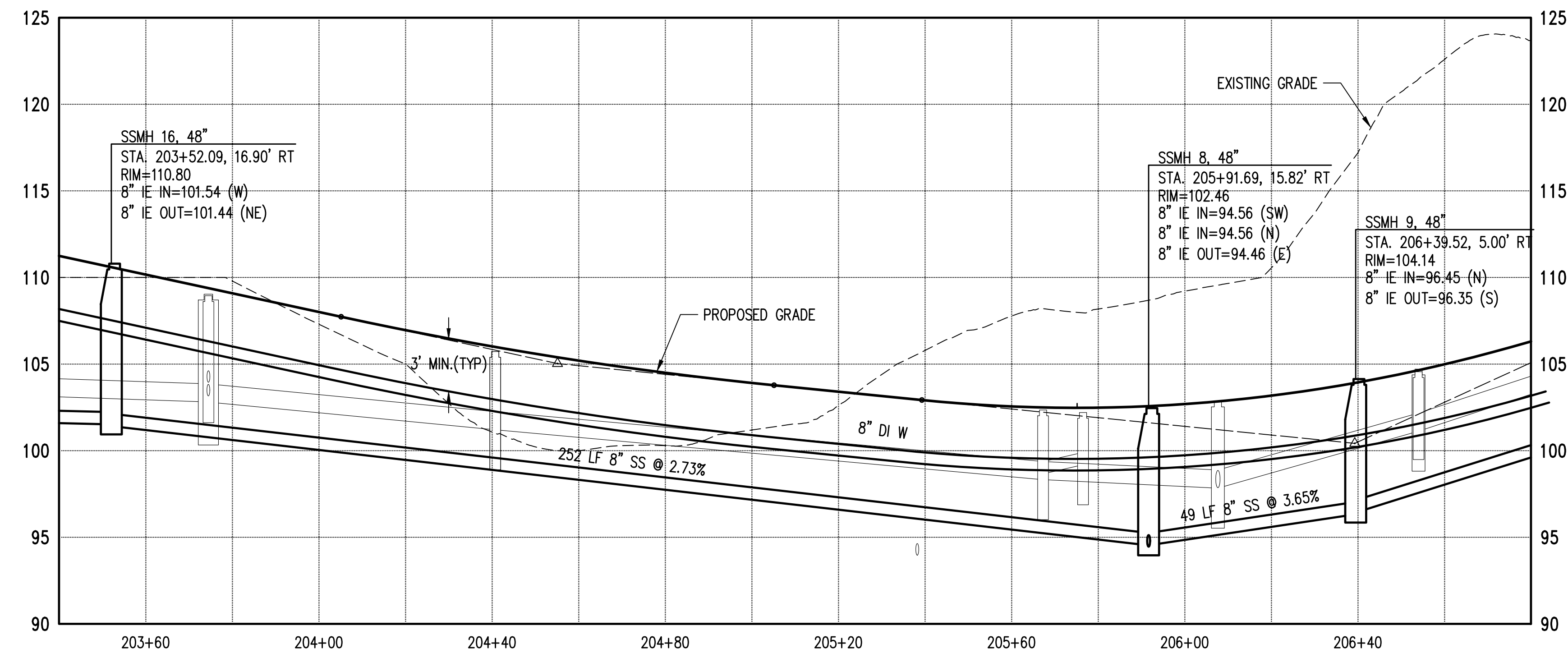
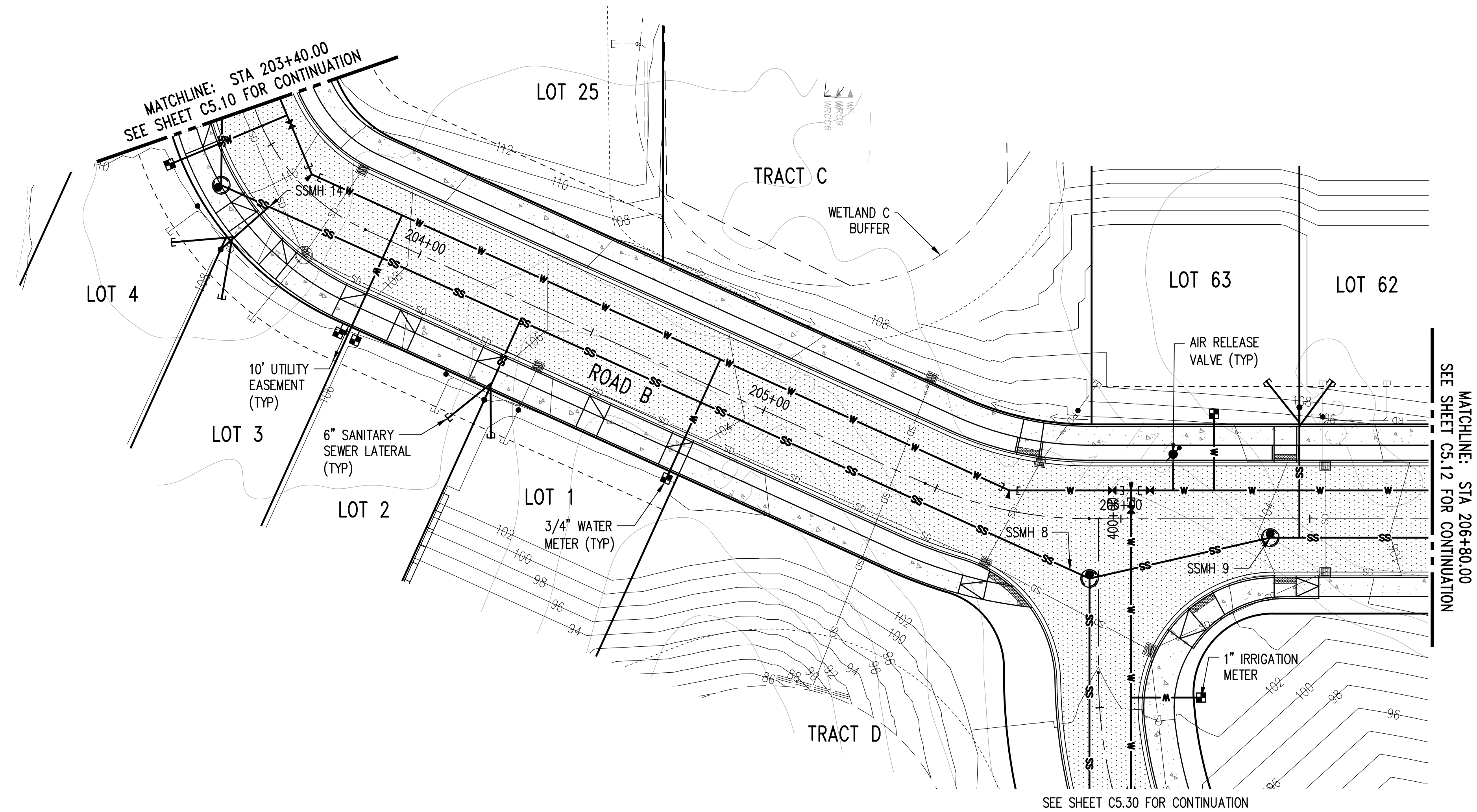
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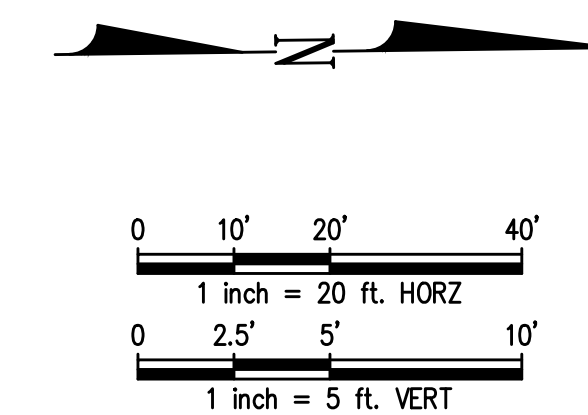
KEY MAP

LEGEND

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- CENTERLINE
- PROPOSED UTILITY EASEMENT
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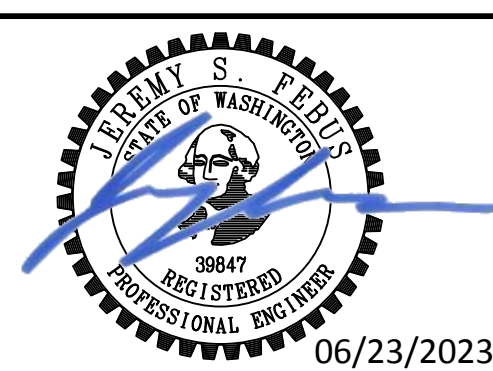


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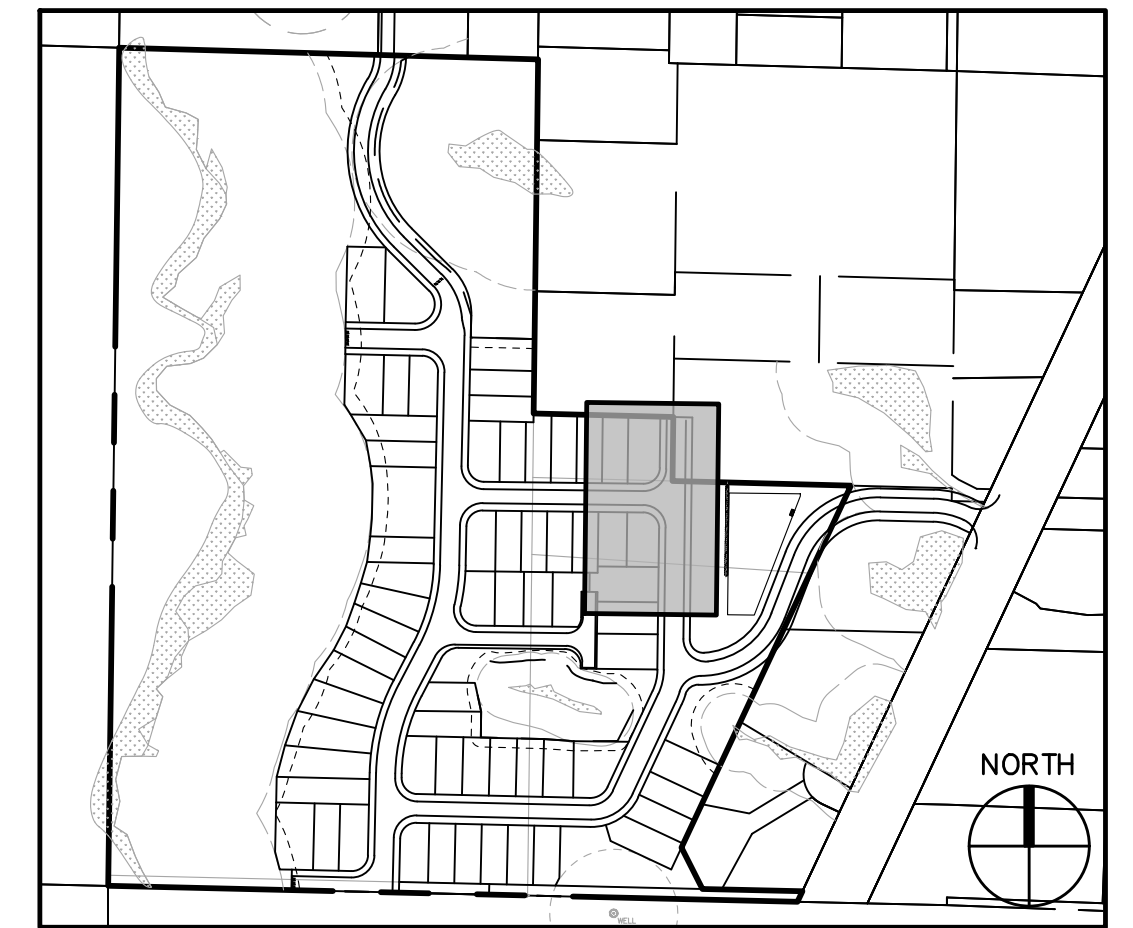
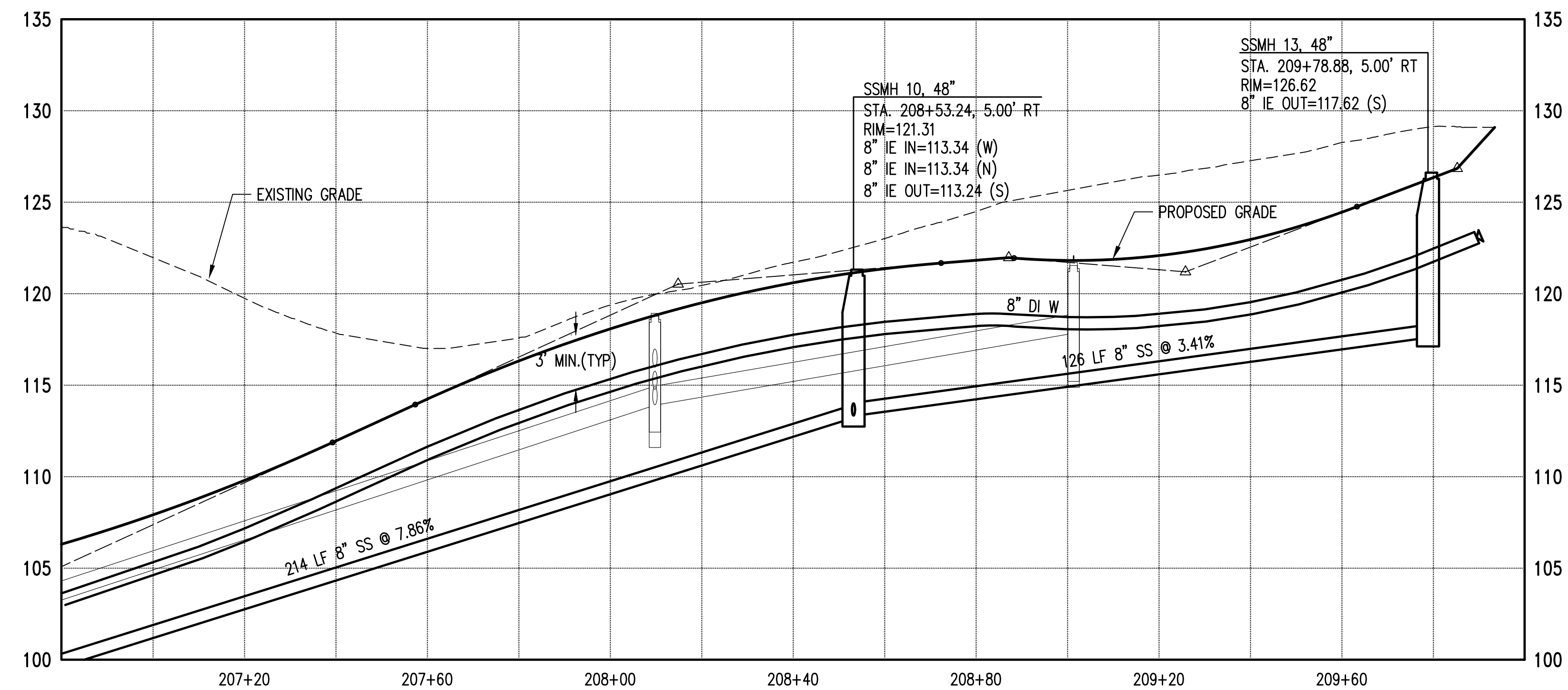
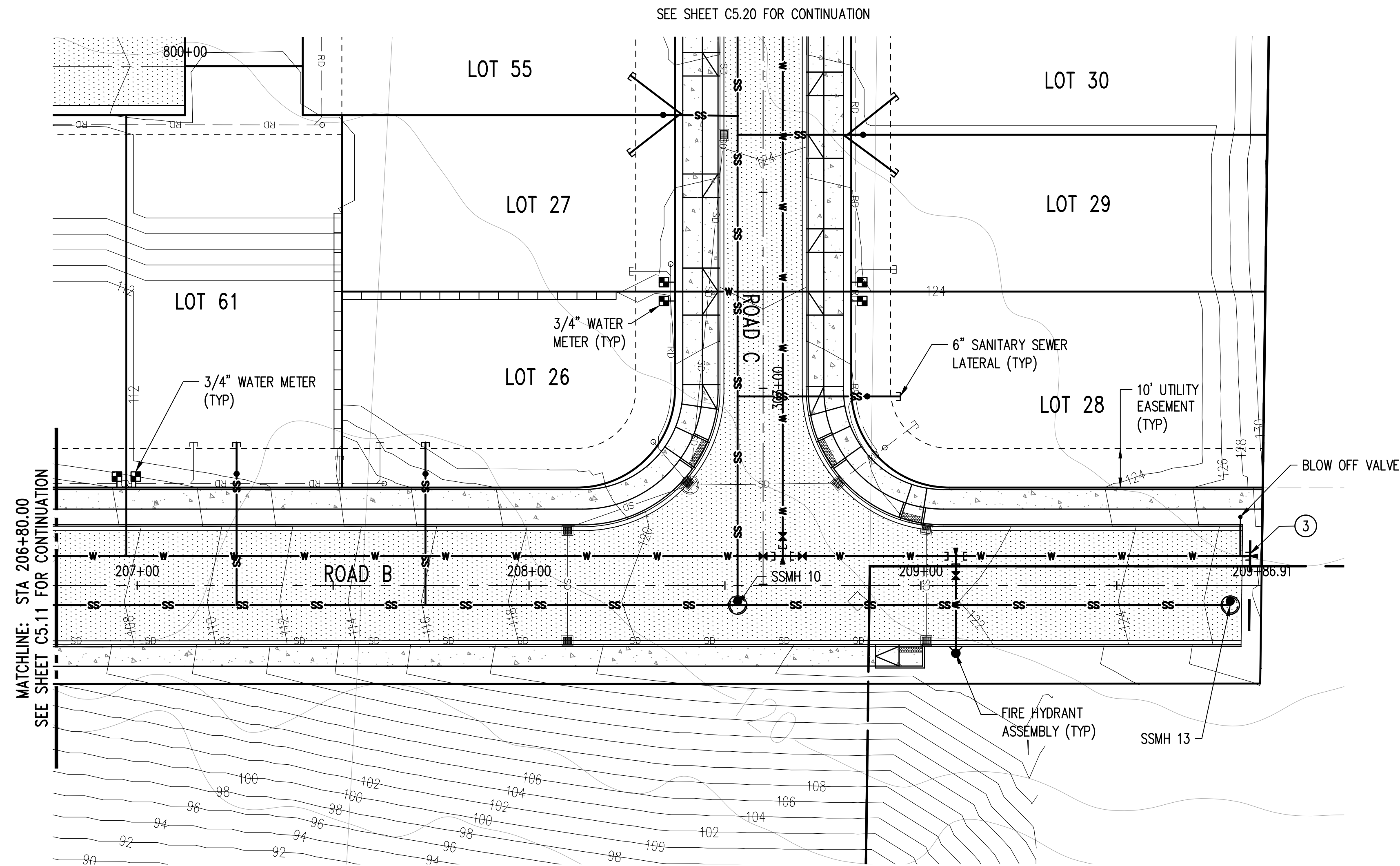
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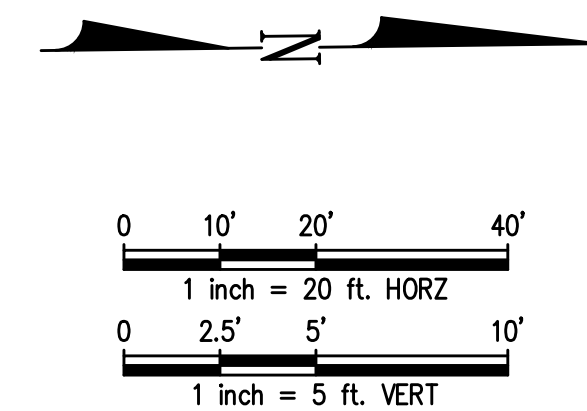
KEY MAP

LEGEND

	PROPOSED LOT LINE
	PROPERTY LINE
	CENTERLINE
	PROPOSED UTILITY EASEMENT
	WATER MAIN
	SEWER MAIN
	CLEANOUT
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- CAP WATER AT END OF ROAD FOR POTENTIAL FUTURE EXTENSION.
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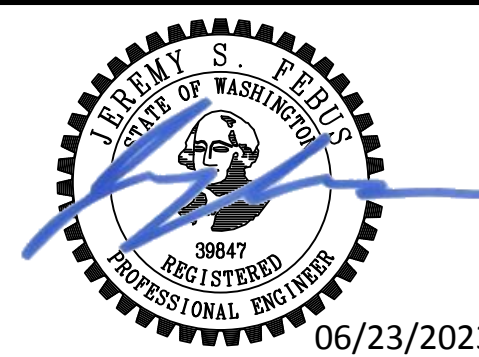
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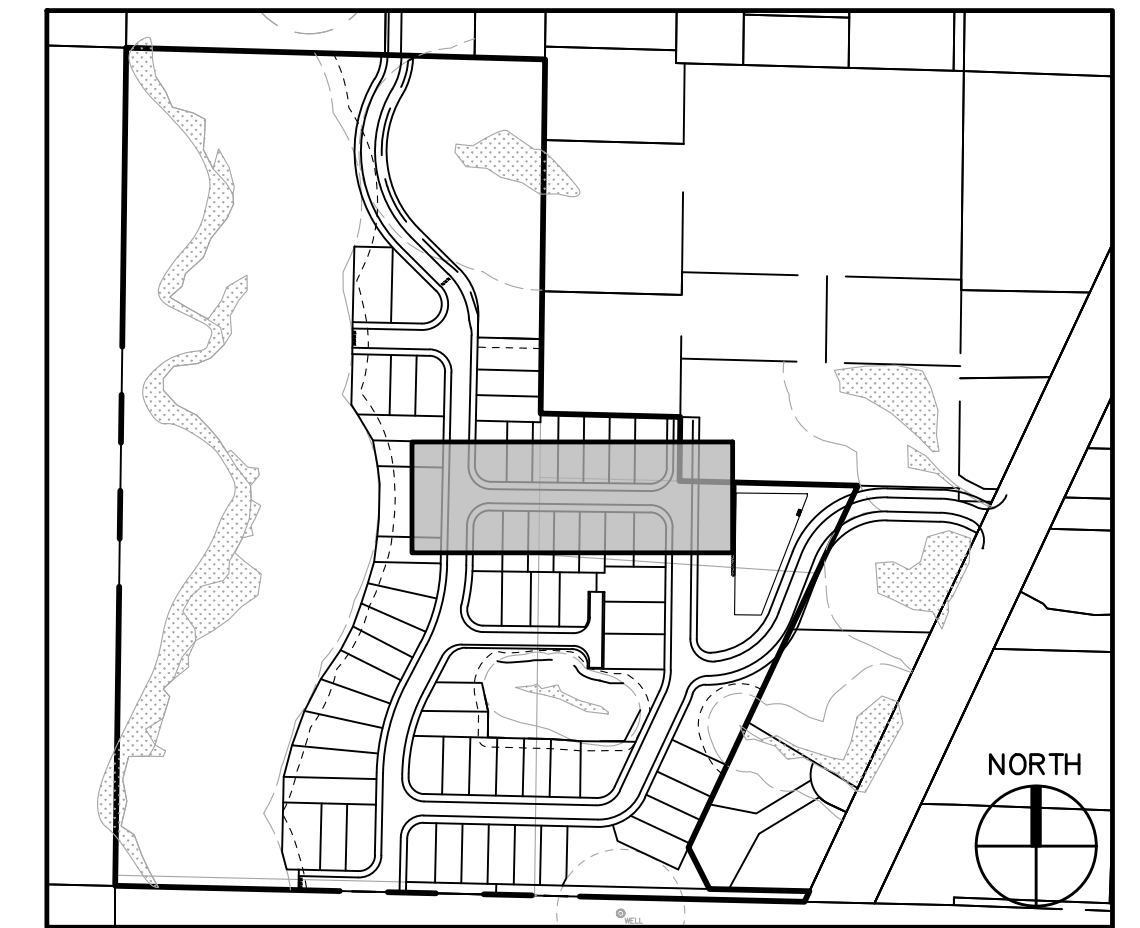
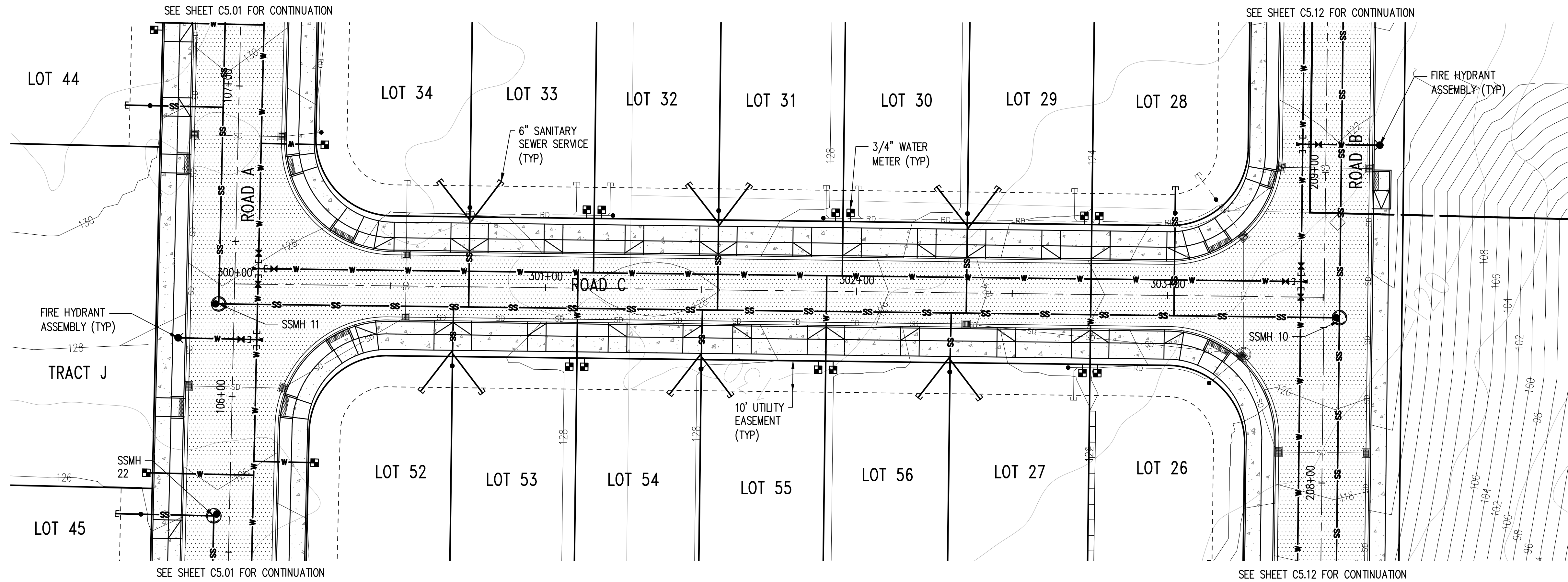
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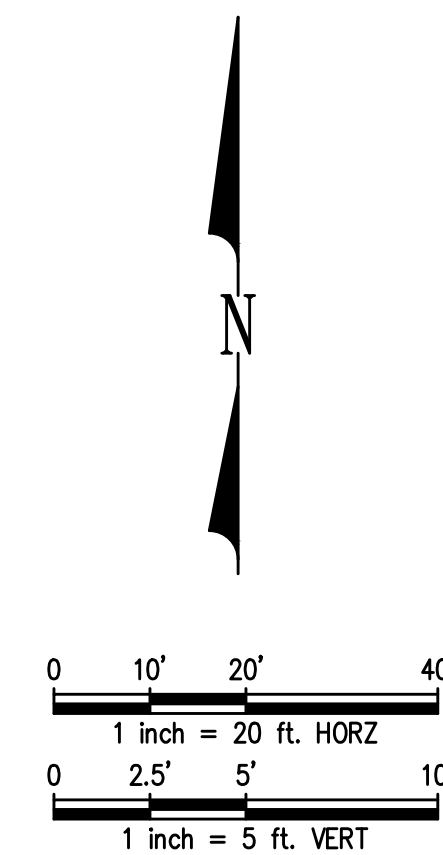
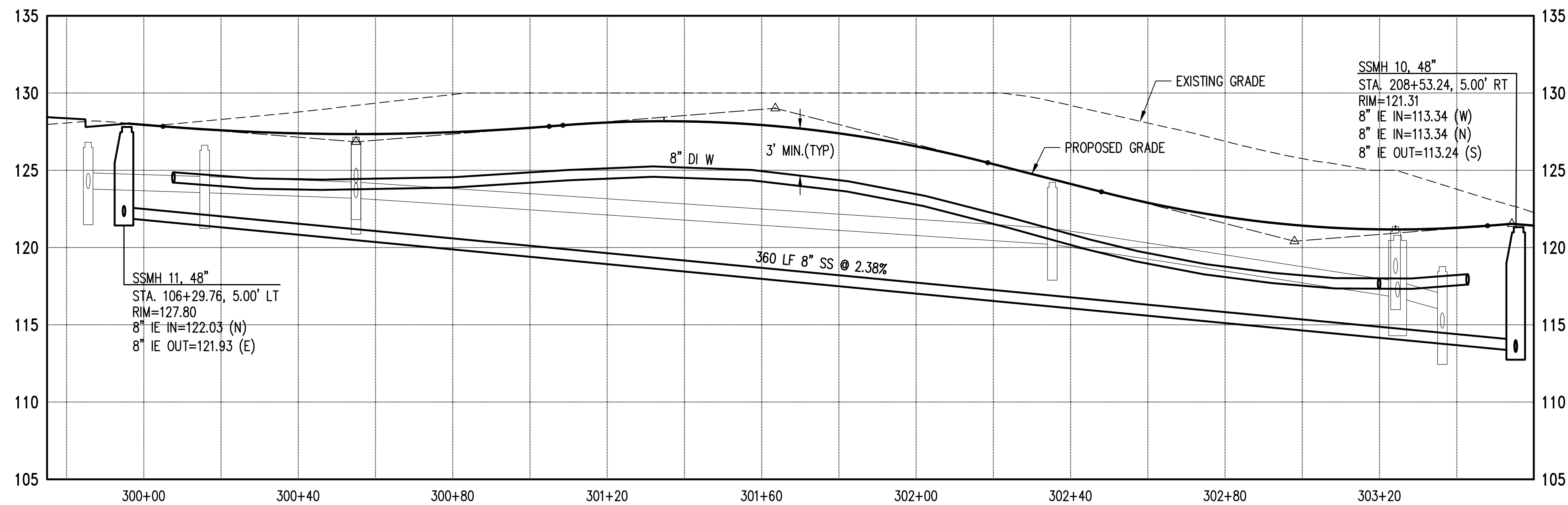
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KEY MAP

LEGEND

- PROPOSED LOT LINE
- PROPERTY LINE
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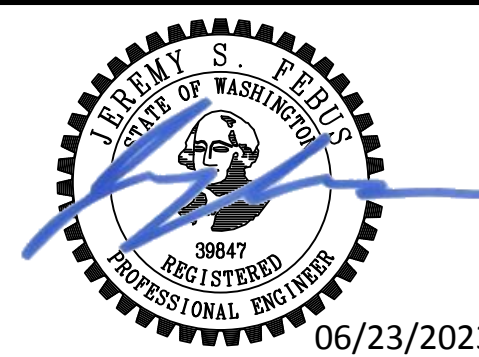
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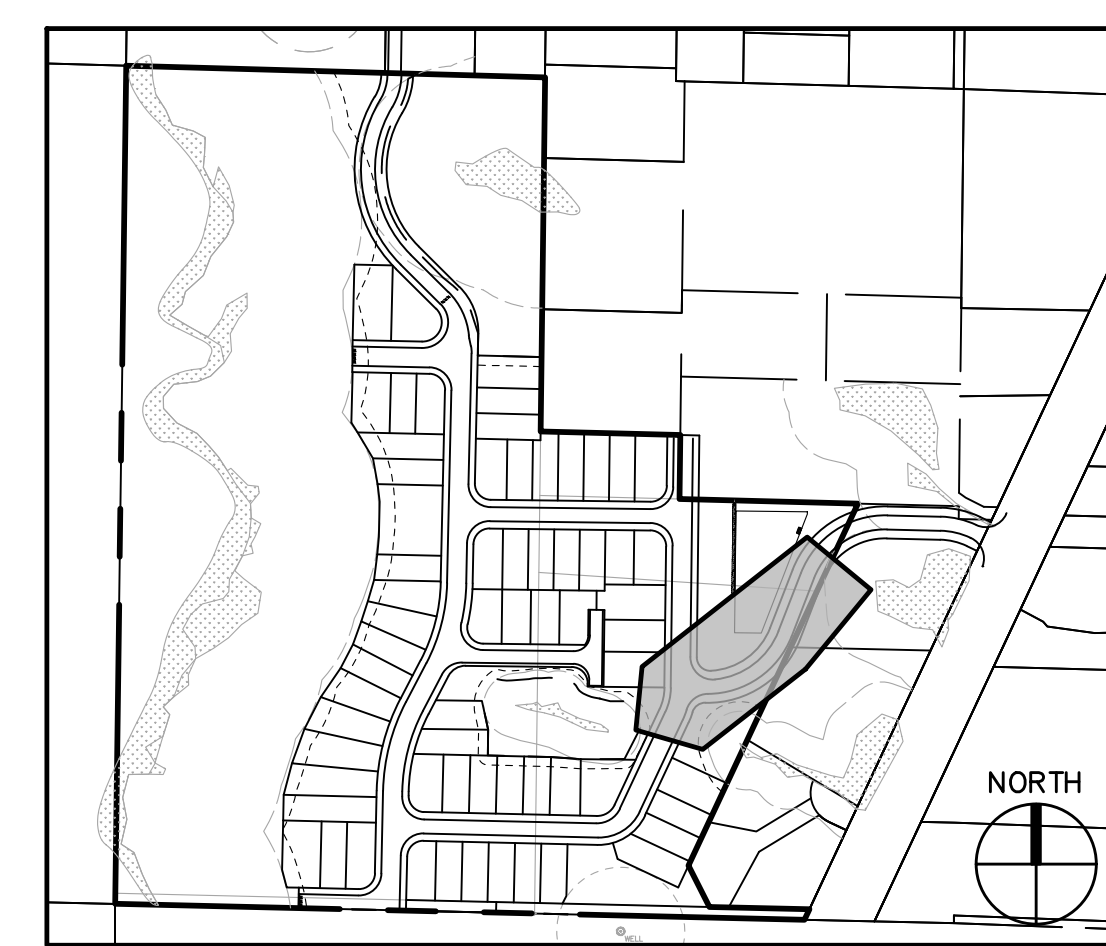
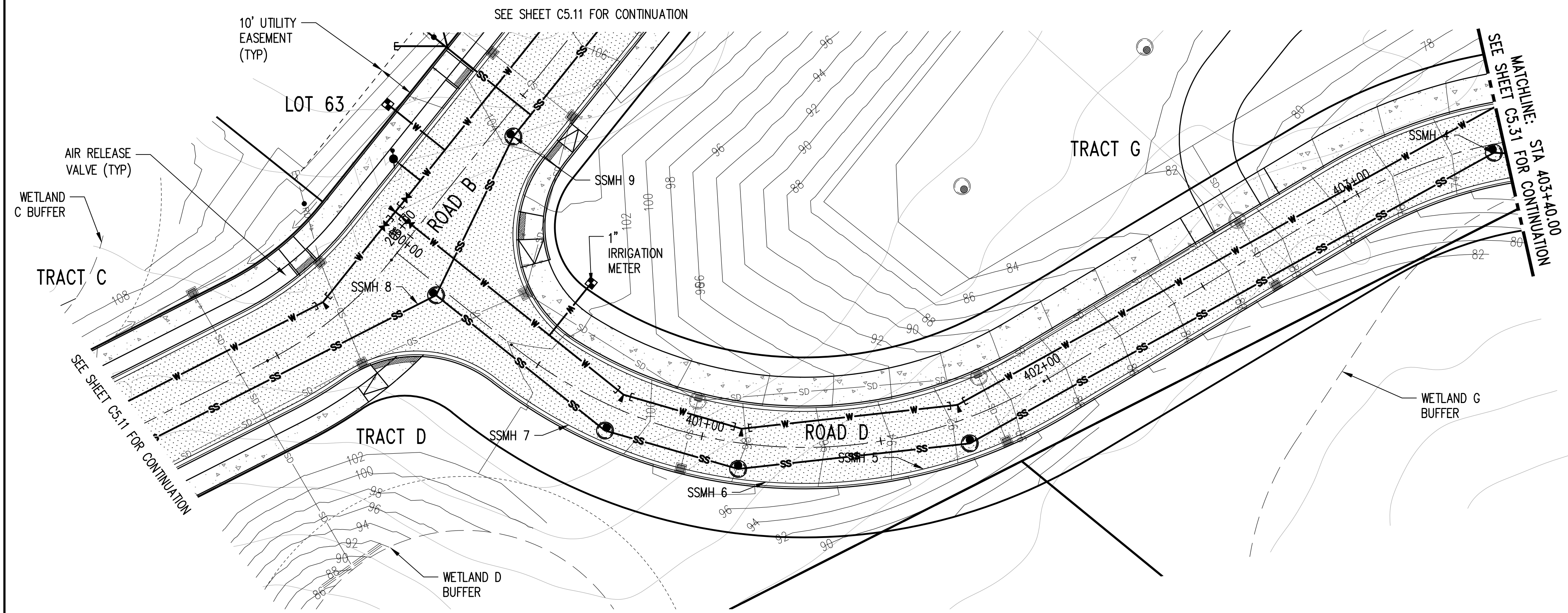
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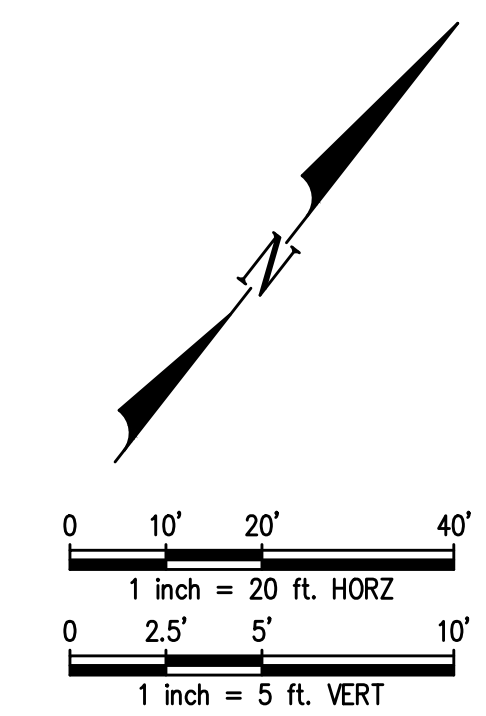
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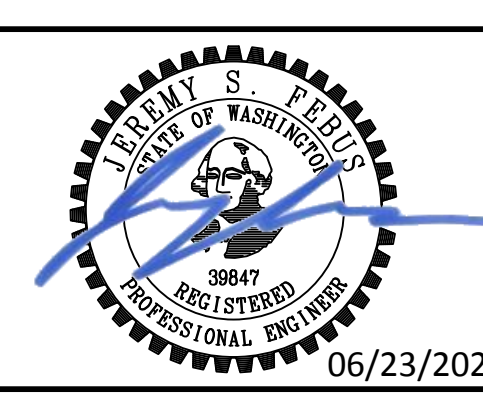


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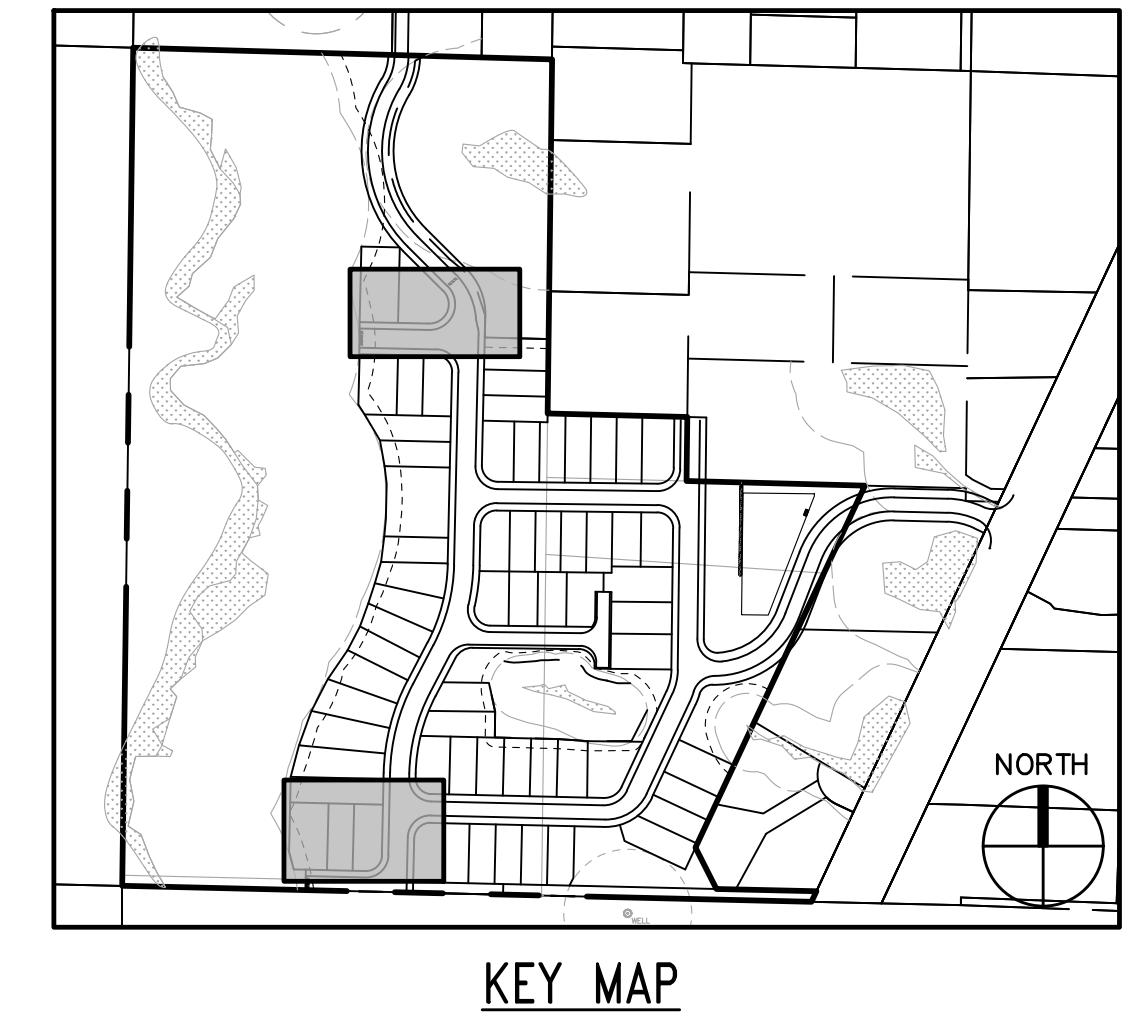
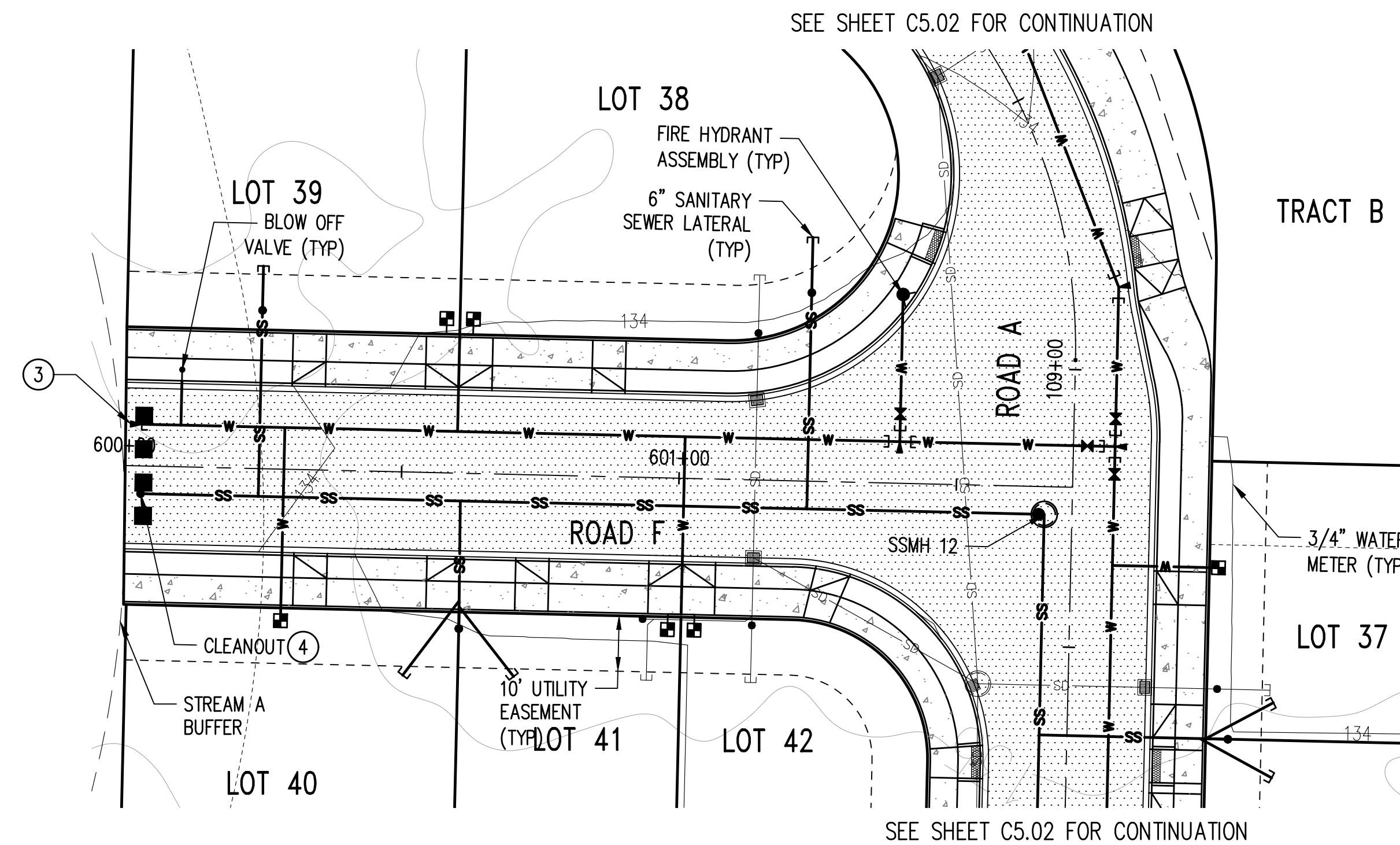
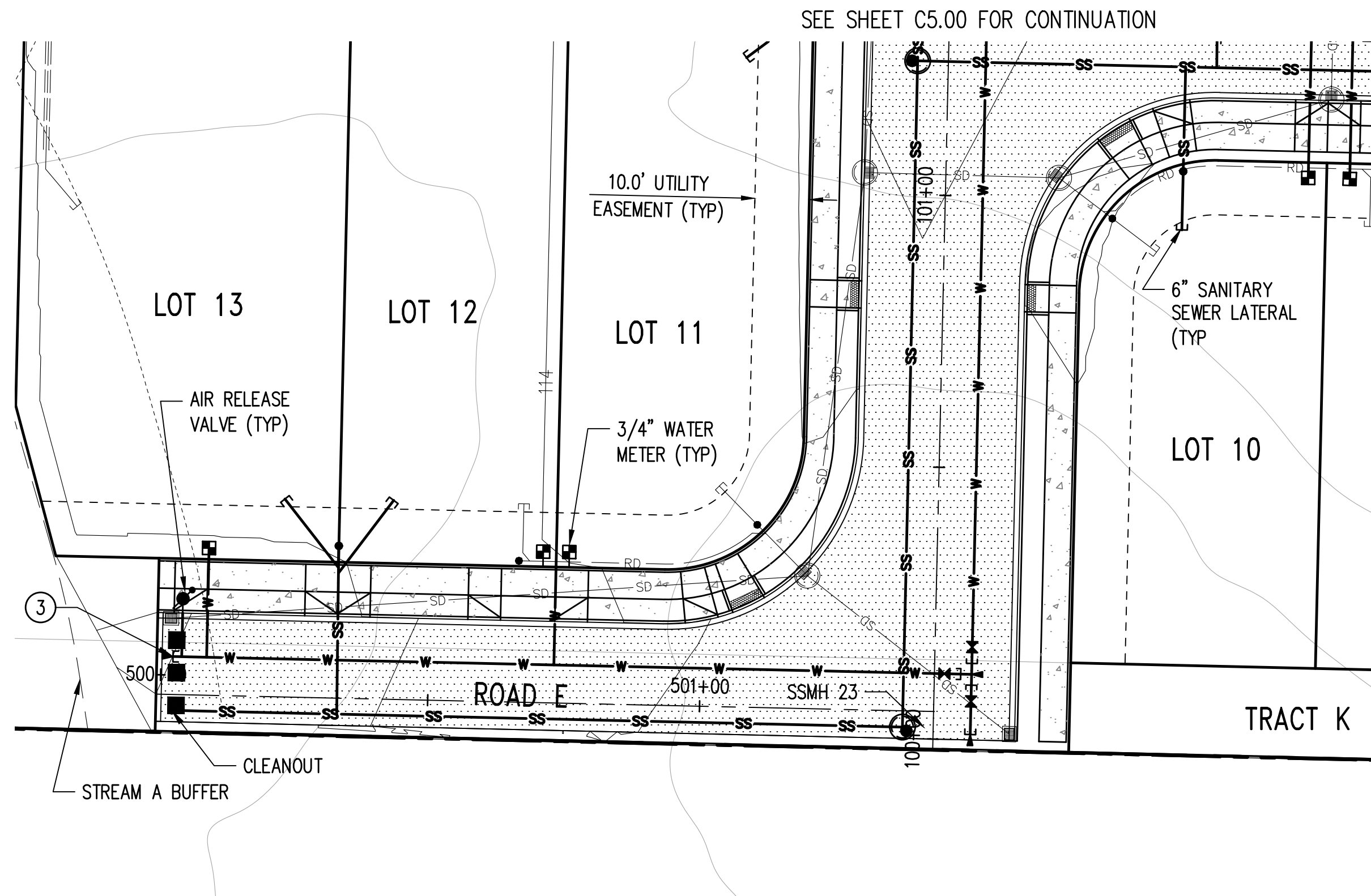
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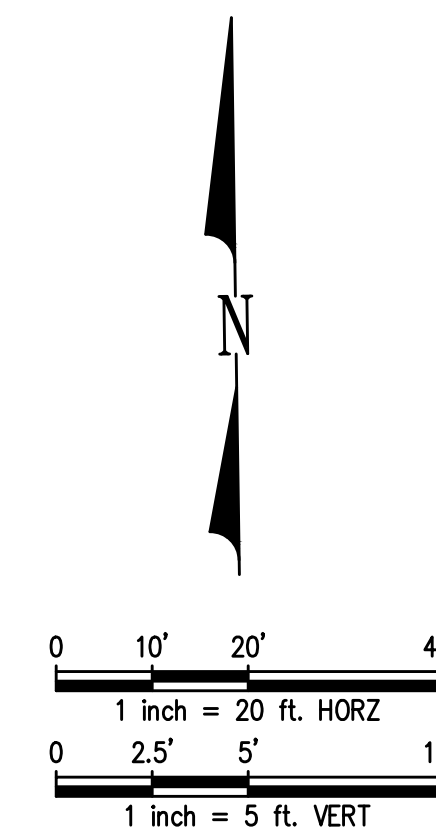
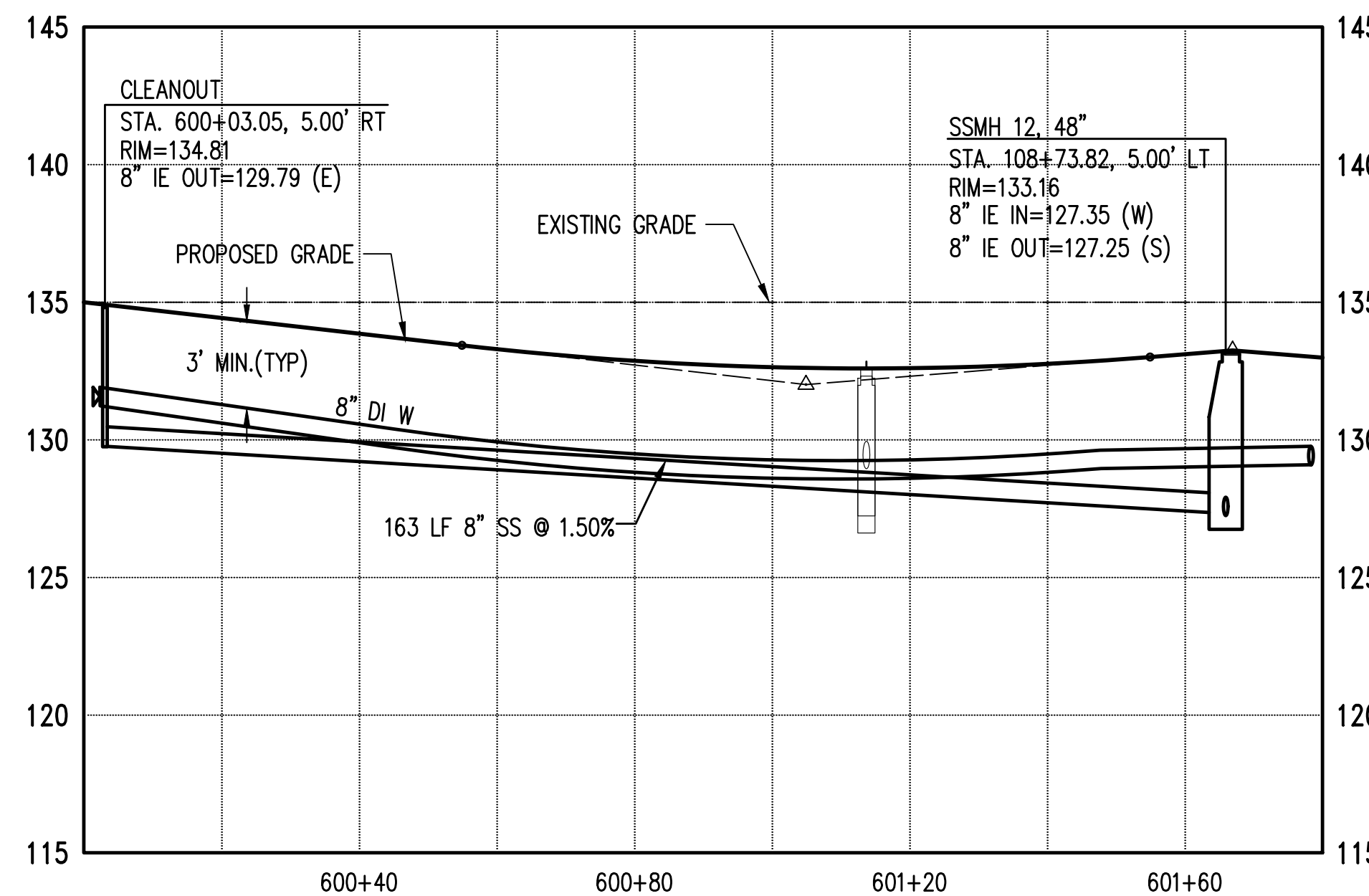
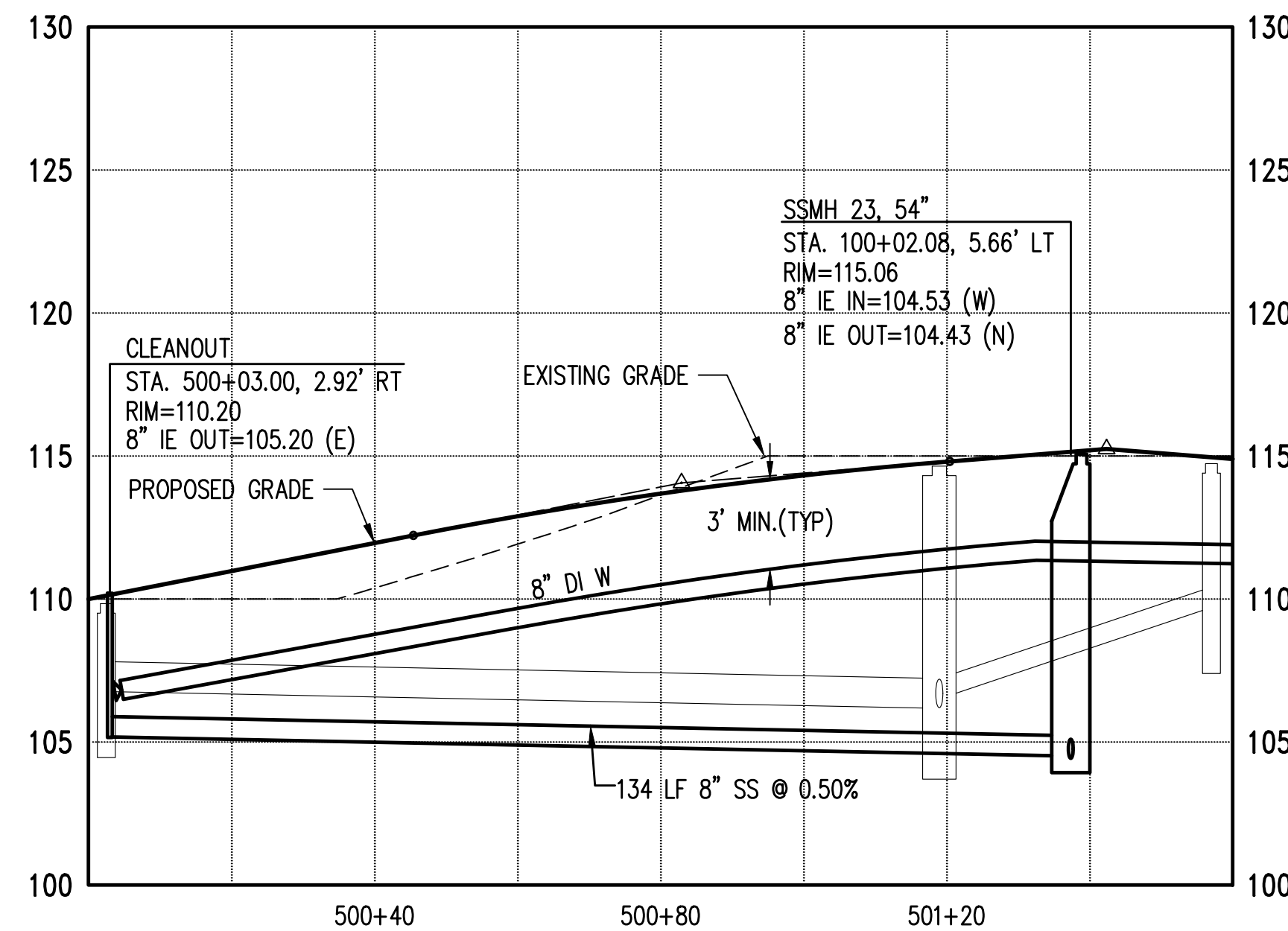
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- AIR RELEASE VALVE
- BLOW OFF VALVE
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR

NOTES

- GIS DATA AND CITY RECORDS ARE SHOWN FOR EXISTING CONDITIONS. FULL SURVEY WILL BE PROVIDED AND USED FOR EXISTING CONDITIONS FOR CONSTRUCTION DOCUMENT PREPARATION.
- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- CAP WATER AT END OF ROAD FOR POTENTIAL FUTURE EXTENSION.
- 5-FOOT DEEP SEWER AT ROAD END FOR POTENTIAL FUTURE EXTENSION. CLEANOUT LOCATED AT END OF ROAD.
- SEE ROAD AND STORM DRAINAGE PLAN AND PROFILE SHEETS FOR 25 FOOT STREAM BUFFER BSBL AND 15 FOOT WETLAND BUFFER BSBL.



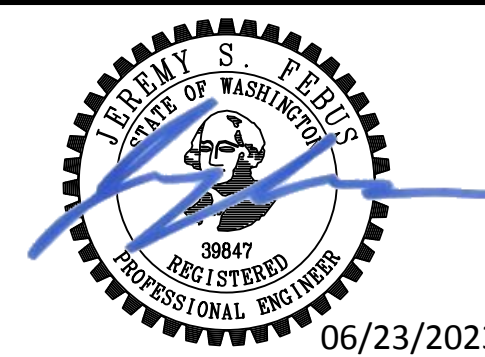
1	01/2023	EKC	EKC	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY EKC
2	06/2023	EKC	EKC	JSF	SECOND PRELIMINARY PLAT SUBMITTAL	CHECKED BY EKC	APPROVED BY JSF
				DATE JUNE 23, 2023			
				J O B No. :2000505			
NO.	DATE	BY	CHD.	APPR.	REVISION		

CALL TWO BUSINESS
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206.622.5822
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THE PLATEAU AT LIBERTY BAY PRD / ENTITLE FUND TWO, LLC
POULSBORO, WASHINGTON

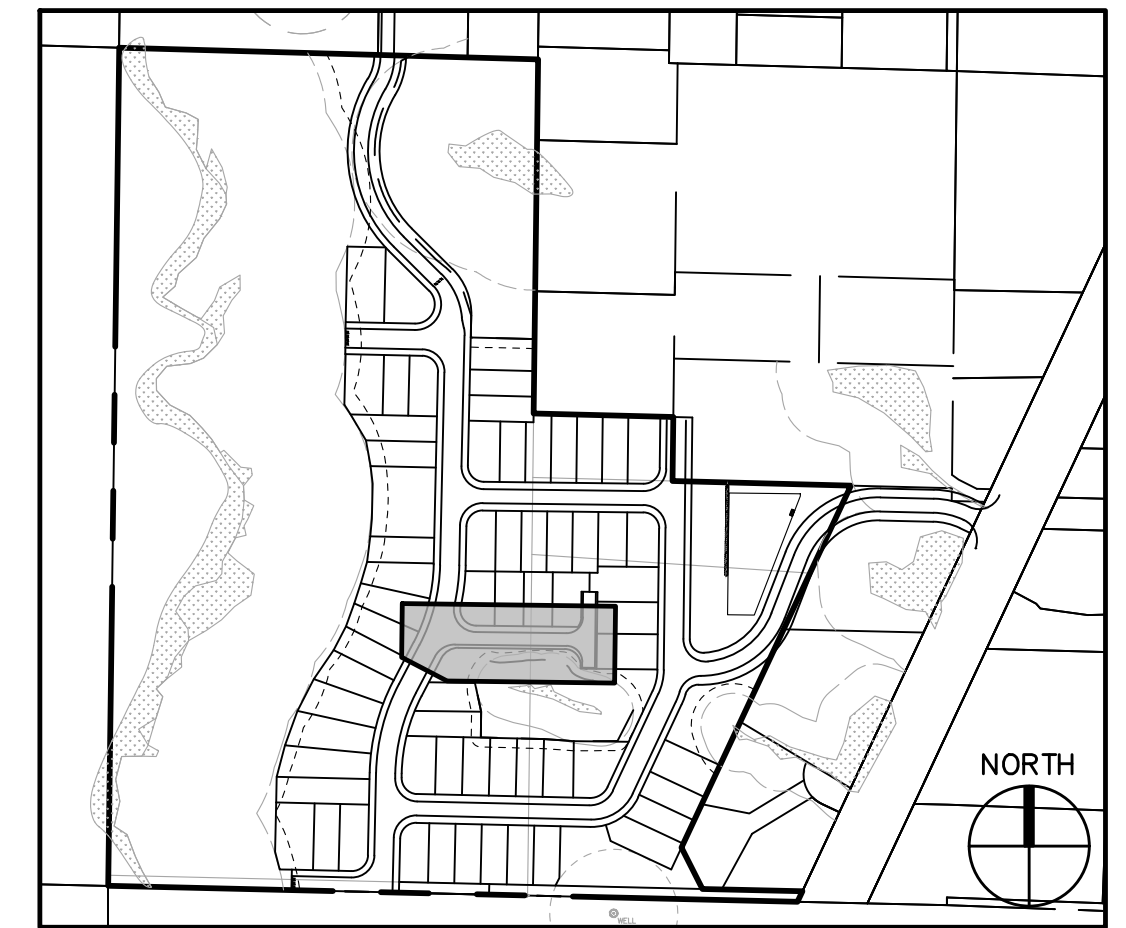
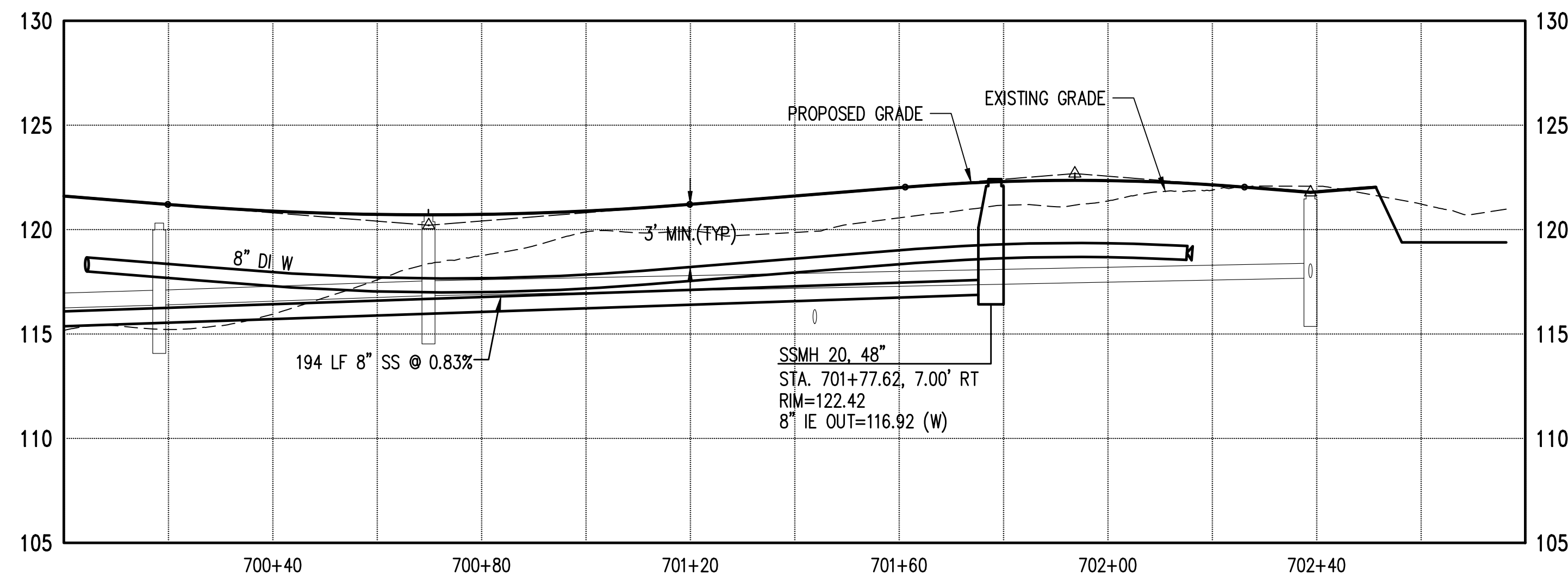
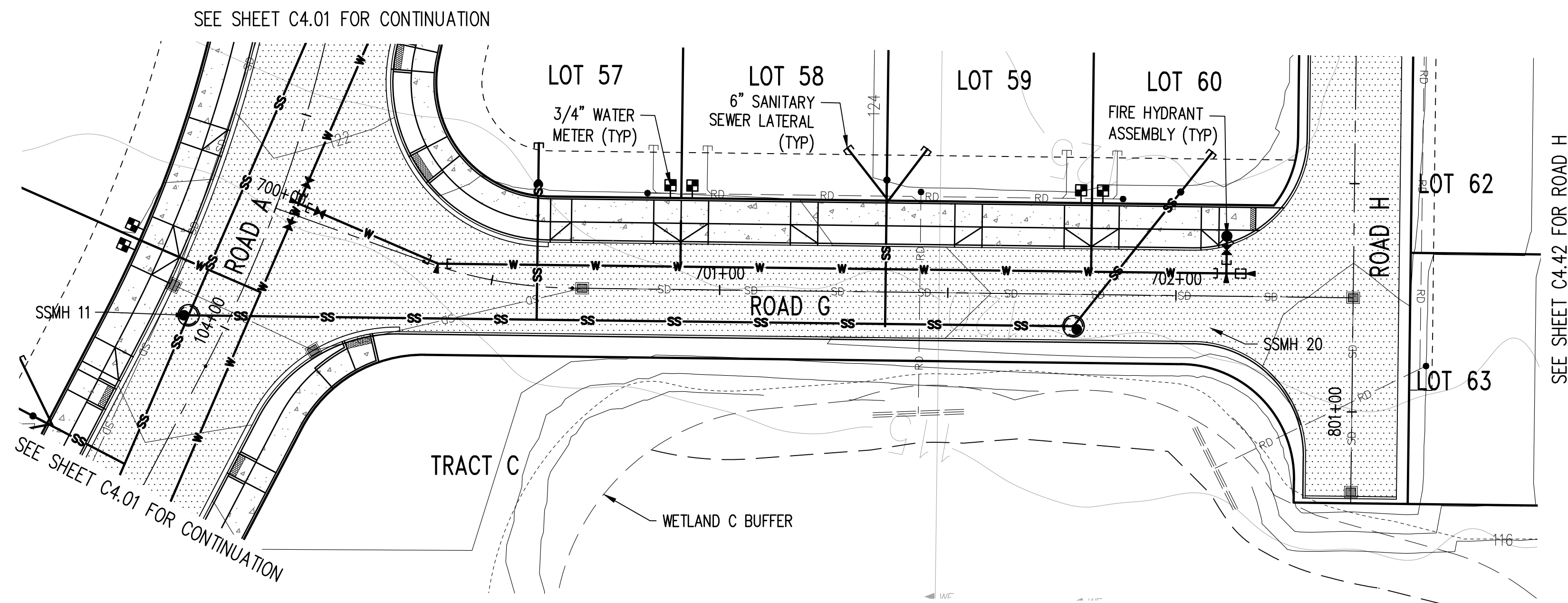
ROAD E & F WATER AND SEWER PLAN AND PROFILE

SHEET

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Jun 23, 2023 - 9:51 am
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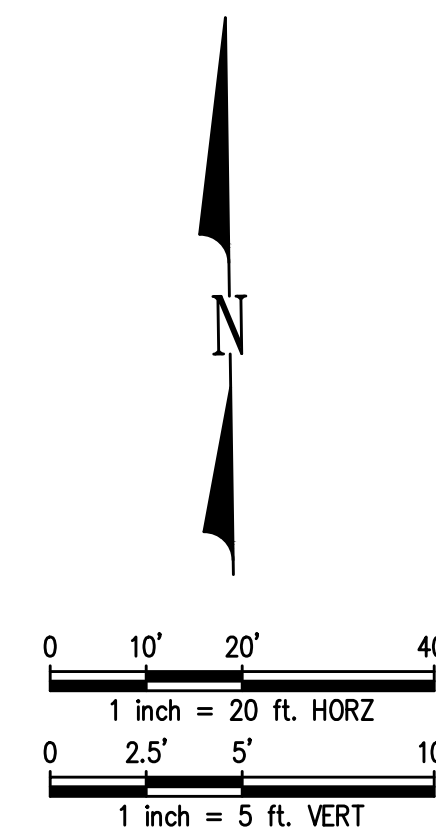
KEY MAP

LEGEND

	PROPOSED LOT LINE
	PROPERTY LINE
	CENTERLINE
	PROPOSED UTILITY EASEMENT
	WATER MAIN
	SEWER MAIN
	CLEANOUT
	SANITARY SEWER MANHOLE
	WATER METER
	FIRE HYDRANT
	AIR RELEASE VALVE
	BLOW OFF VALVE
	FINISHED GRADE CONTOUR
	EXISTING GRADE CONTOUR

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POULSB0, WASHINGTON

ROAD G WATER AND SEWER PLAN AND PROFILE

SHEET

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