



Integral Consulting Inc.  
719 2nd Avenue  
Suite 1450  
Seattle, WA 98104  
telephone: 206.230.9600  
facsimile: 206.230.9601  
www.integral-corp.com

## MEMORANDUM

---

---

**To:** Environmental Covenants Coordinator  
Washington State Department of Ecology Toxics Cleanup Program,  
Northwest Regional Office

**From:** Keith Brodock, Emily Guyer, and Olivia Hargrave, P.E. (Integral  
Consulting Inc.) on behalf of Bridge33 Capital

**Date:** December 21, 2022

**Subject:** Annual Inspection Summary  
Former Harbour Pointe Cleaners Lynnwood (Facility Site ID 41352598)

**Project No.:** C3163

---

---

Integral Consulting Inc. (Integral) performed an annual inspection of the Former Harbour Pointe Cleaners (13619 Mukilteo Speedway, Suite B6, Lynnwood, Washington [Property]), the adjacent-west tenant space (Suite B7), and the adjacent-east tenant space (Suite B5) in accordance with the environmental covenant (Recording Number 20150805000202) to assess potential exposure of subsurface tetrachloroethene (PCE) and trichloroethene (TCE) that remains above the soil cleanup levels for unrestricted land uses to air/water.

The Mukilteo Speedway Center was constructed in 1992 as a retail shopping center. Harbour Pointe Cleaners occupied tenant space Suite B6 (Attachment A) and operated as a dry-cleaning facility at the Property since its opening in 1992. From 1992 to 2007, the facility used chlorinated volatile organic compounds (CVOCs) such as PCE in its operations. Environmental assessment activities at the Property began in June 2006. PCE was detected in shallow, unsaturated soil and in soil vapor above Method A soil cleanup levels for unrestricted land uses under the Washington State Department of Ecology's (Ecology) Model Toxics Control Act (MTCA) Chapter 70A.305. Under the guidance of MTCA, Cardno ATC performed a feasibility study and selected natural attenuation with institutional controls as the cleanup approach, including a subsurface depressurization system (SSDS) and an environmental covenant. The SSDS was installed in 2017 and operated for 17 months. After the SSDS shutdown and the former dry-cleaning operation was vacated, two rounds of indoor air samples were collected from Suites B5 and B6. CVOC indoor air

concentrations were below the relevant cleanup levels in both events. Ecology issued a no further action (NFA)-likely opinion letter in May 2019, leaving the Property subject to an environmental covenant for PCE and TCE in soil that remains above the soil cleanup levels for unrestricted land uses within the remedial action area (Attachment A). The environmental covenant was recorded on June 16, 2022 (Recording Number 20150805000202). Ecology issued an NFA opinion letter on September 20, 2022.

The annual inspection and relevant interviews were performed on December 19, 2022, by Olivia Hargrave and Emily Guyer, specifically looking for the items listed in Exhibit E of the environmental covenant:

- Modifications to the facility
- New floor penetrations
- New cracks larger than ¼ inch in width
- Repairs made to floor slab over the past year
- Leaks of water from building roof drainage or stormwater drainage piping
- Leaks of water from piping associated with building plumbing
- Whether the HVAC/ventilation system is/has been operational
- Water infiltration through shallow soil.

The inspectors completed the *Annual Inspection Summary Report Form* (Attachment B), with input from interviews with John Taurinsky, the building manager, Richard Taylor, the property services technician/porter, and an employee of Moustache Milk Tea (tenant in Suite B5). Suites B6 and B7 were vacant. A tenant had moved restaurant equipment into the Suites B6 and B7 in 2022, but the restaurant was never constructed and the lease was terminated. The tenant will be moving the equipment out of Suites B6 and B7 by the end of the year, and these suites will remain unoccupied until a new tenant is found. During the inspection, the interior of each suite was visually assessed and photographed. The floor slabs in each space were visually inspected for new penetrations, cracks, or signs of water infiltration that may have occurred during the past year.

During the inspection and interviews, no modifications to the floor slab, floor penetrations, or cracks greater than ¼-inch were identified. There were no signs of water infiltration into the slab or leaks from roof drainage, stormwater drainage, or plumbing. The HVAC system was operational in Suite B5 and not operational in unoccupied Suites B6 and B7. Inspection findings are detailed in the inspection checklist (adapted from the environmental covenant) in Attachment B. A photograph log is provided in Attachment C.

Based on the results of the inspection, contingency actions (Exhibit F of the environmental covenant), such as repair of the floor slab, are not needed. Integral will again evaluate the condition of the slab during the Year 1 wintertime air monitoring in 2023 (after the tenant removes its equipment). Should we observe a change to the slab condition at that time, we will notify Ecology.

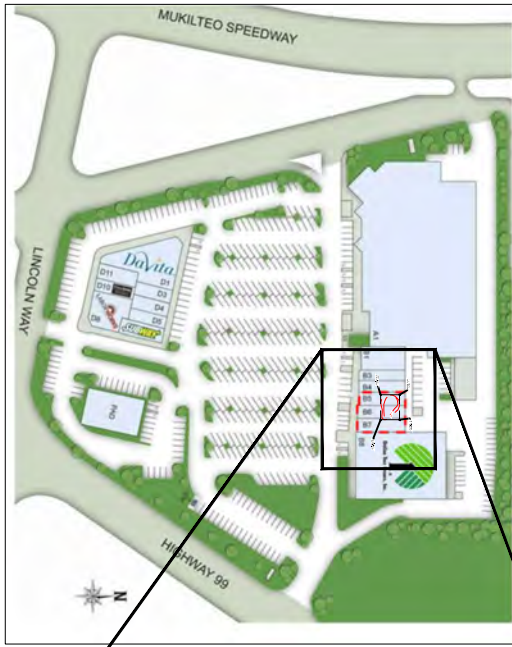
Attachments:

- Attachment A. Property Map with Remedial Action Area
- Attachment B. Annual Inspection Summary Report Form
- Attachment C. Photograph Log

## **Attachment A**

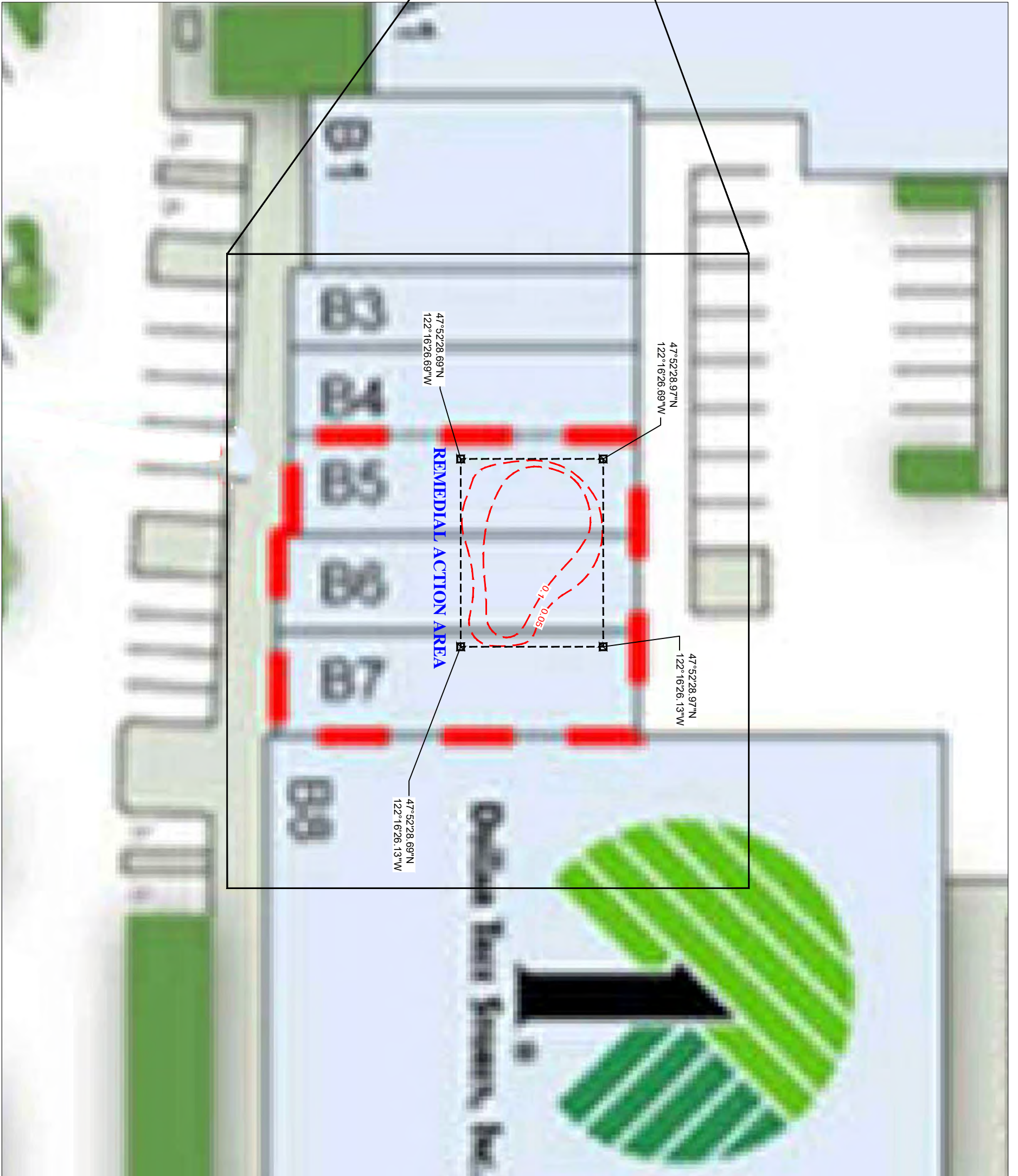
---

Property Map with Remedial  
Action Area



**LEGEND**  
 47°52'28.97"N  
 122°16'26.69"W  GPS COORDINATES  
 PCE ISOCONTOUR, mg/kg

NOT TO SCALE  
 NOTE: ALL LOCATIONS ARE APPROXIMATE



**PROPERTY MAP WITH REMEDIAL ACTION AREA**

FORMER HARBOUR POINT CLEANERS  
 13619 MUKILTEO SPEEDWAY  
 LYNNWOOD, WA

PROJECT NUMBER: NPWR18001	DATE: 11/20/20	FIGURE
APPROVED BY: ES	DRAWN BY: BK	

**ATC** 6347 Seaview Avenue NW  
 Seattle, Washington 98107  
 Ph: (206) 781-1449 \*\*\* Fax: (206) 781-1543

## **Attachment B**

---

### Annual Inspection Summary Report Form

## Annual Inspection Summary Report Form

### INSPECTION CHECKLIST (Adapted from the Environmental Covenant Exhibit E “Operations and Maintenance Plan and Annual Inspection Form”)

**1. Have there been any modifications to the facility during the past year? Yes or No? If “Yes,” please describe:**

Suite B6 (Former Harbour Point Cleaners), B7 (adjacent-west tenant space): Yes. The tenant of Suite B6 cut two holes into the drywall between suites B6 and B7, and removed the ceiling tiles from the ceiling. They also removed floor tiles on a portion of the slab, but did not modify the slab itself. No other modifications were made. Both B6 and B7 are unoccupied. Tenant placed equipment in the spaces during 2022, but terminated the lease.

Suite B5 (Moustache Milk Tea): No. Tenant has been in the unit for 3 to 4 years. Tile was installed in the bathroom over one year ago. The floor slab was painted in the past and superficial paint chipping was noted, but no modifications or repairs have been made.

**2. Have there been any new floor penetrations during the past year? Yes or No? If “Yes,” please describe:**

Suites B6, B7: No.

Suite B5: No.

**3. Have any new cracks larger than ¼ inch in width been observed during the past year? Yes or No? If “Yes,” please describe:**

Suites B6, B7: No. Some tenant equipment covered floors. Approximately 80% of floor space was inspected; there was no indication of cracks originating beneath equipment. In addition, Integral and Bridge33 have been communicating with the tenant and the tenant was aware of the restrictions on slab penetrations. While we concluded based on our observations and communications that the floor slab has not been altered, we will again evaluate the condition of the slab during the Year 1 wintertime air monitoring in 2023 (after the tenant removes its equipment). Should we observe a change to the slab condition at that time, we will notify Ecology.

Suite B5: No.

**4. Have any repairs been made to floor slab over the past year? Yes or No? If “Yes,” please describe:**

Suites B6, B7: No.

Suite B5: No.

**5. Have any leaks of water from building roof drainage or storm water drainage piping been observed over the past year? Yes or No? If “Yes,” please describe:**

Suites B6, B7: No.

Suite B5: No.

- 6. Have any leaks of water from piping associated with building plumbing been observed over the past year? Yes or No? If "Yes," please describe:**

Suites B6, B7: No.

Suite B5: No.

- 7. Is the HVAC/Ventilation system operational? Yes or No? If "No", please describe. If "No," when will it be operational?**

Suites B6, B7: No. Tenant spaces are unoccupied. HVAC will need to be made operational when a new tenant is found.

Suite B5: Yes.

- 8. Is there evidence of water infiltration through shallow impacted soil? Yes or No? If "Yes," please describe:**

Suites B6, B7: No.

Suite B5: No.



## **Attachment C**

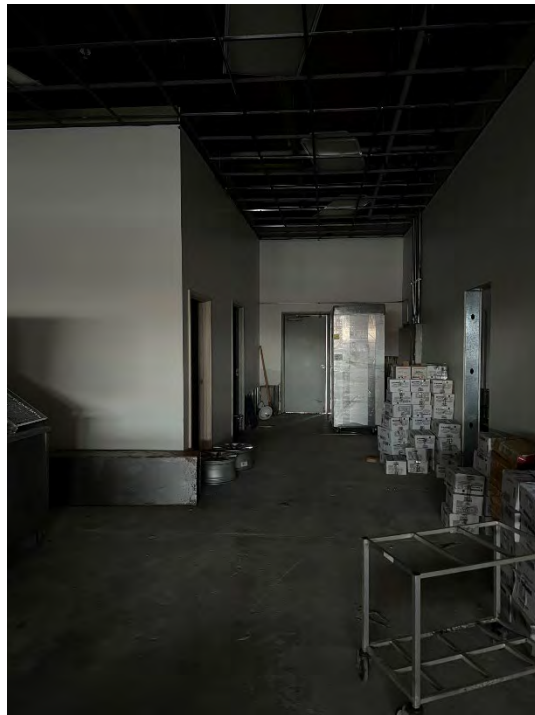
---

### Photograph Log

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 1. Floor Slab in Former Harbour Pointe Cleaners (Suite B6)  
(December 19, 2022)



Photograph 2. Floor Slab in Rear of Former Harbour Pointe Cleaners (Suite B6)  
(December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph3. Floor Slab in Rear of Former Harbour Pointe Cleaners, Looking Toward Suite B7 (Suite B6) (December 19, 2022)

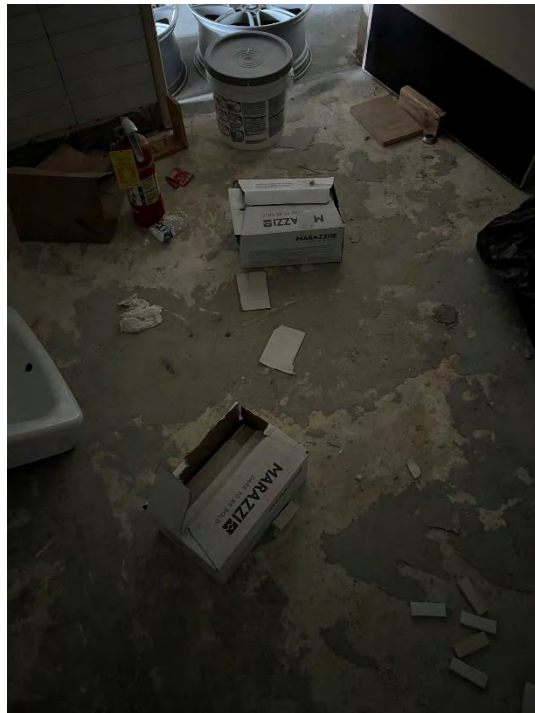


Photograph 4. Floor Slab in Front of Former Harbour Pointe Cleaners (Suite B6) (December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 5. Floor Slab in Front of Former Harbour Pointe Cleaners, Looking Toward Suite B7 (Suite B6) (December 19, 2022)



Photograph 6. Floor Slab in Bathroom of Former Harbour Pointe Cleaners (Suite B6) (December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 7. Dismantled HVAC system of Former Harbour Pointe Cleaners (Suite B6) (December 19, 2022)



Photograph 8. Floor Slab in Adjacent-West Tenant Space (Suite B7) (December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 9. Floor Slab in Adjacent-West Tenant Space (Suite B7)  
(December 19, 2022)



Photograph 10. Floor Slab in Adjacent-West Tenant Space (Suite B7)  
(December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 11. Floor Slab in Adjacent-West Tenant Space (Suite B7)  
(December 19, 2022)

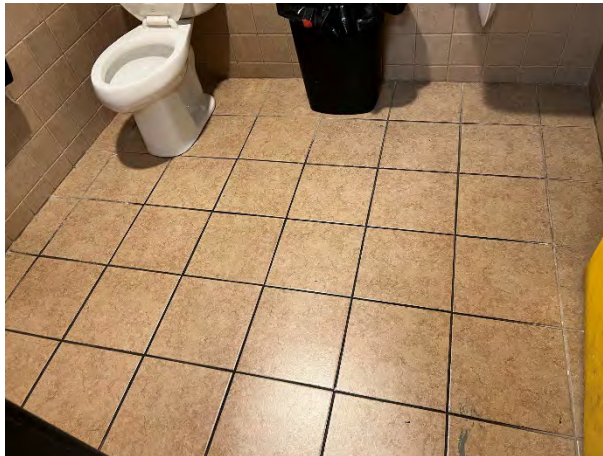


Photograph 12. Floor Slab in Kitchen of Adjacent-West Tenant Space (Suite B7)  
(December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 13. Floor Slab in Hallway of Adjacent-West Tenant Space (Suite B7)  
(December 19, 2022)



Photograph 14. Floor Slab in Bathroom of Adjacent-West Tenant Space  
(Suite B7) (December 19, 2022)



**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 15. Floor Slab in Bathroom of Adjacent-West Tenant Space (Suite B7) (December 19, 2022)



Photograph 16. Floor Slab in Suite B5, Looking into Former Harbour Pointe Cleaners (December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 17. Floor Slab in Suite B5, Along Shared Wall with Former Harbour Pointe Cleaners (December 19, 2022)



Photograph 18. Floor Slab in Suite B5, Along Shared Wall with Former Harbour Pointe Cleaners (December 19, 2022)

**Former Harbour Pointe Cleaners Lynnwood  
13619 Mukilteo Speedway, Lynnwood, WA 98037  
Photographs from 2022 Annual Inspection**



Photograph 19. Floor Slab in Suite B5 (December 19, 2022)