



## TECHNICAL MEMORANDUM

**Date:** April 20, 2023

**To:** Main Street Flats, Owner, LLC  
c/o Mr. David Ostrer  
10575 Main Street  
Bellevue, Washington 98004

**From:** Jerry Sawetz/Paul Riley  
The Riley Group, Inc.

**Subject:** **Main Street- Well Decommissioning Memorandum**  
**10575 Main Street**  
**Bellevue, Washington 98004**  
**RGI Project No. 2012-1070**

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## INTRODUCTION

The Riley Group, Inc. (RGI) is pleased to present this Technical Memorandum summarizing activities associated with the decommissioning of four groundwater monitoring wells associated with the Main Street Flats property located at 10575 Main Street in Bellevue, Washington (hereafter referred to as the Property). The general location of the Property is displayed in Figure 1.

The Property is currently owned by Main Street Owner, LLC (hereafter referred to as the Client). The Property is enrolled in the Voluntary Cleanup Program (VCP) and is identified by Ecology as the Alamo Manhattan Main Street project with VCP Project No. NW2811.

RGI completed a Remedial Action at the Property in 2013 and because of the successful cleanup of the Property Ecology issued a No Further Action with Environmental Covenant (NFA/EC) for the Property on June 17, 2017. At that time, the owner of the Property was Alamo Manhattan Bellevue, LLC. Ownership of the Property was transferred to Main Street Flats Owner, LLC (also referred to as the Grantor in the EC) on July 9, 2021. The EC stipulates that the EC "shall run with the land and be binding on all current and future owners of any portion of, or interest in, the Property." The EC included several restrictions and requirements for the Property. These requirements included annual inspections of the parking garage, which were recently revised to bi-annual by Ecology, and that groundwater sampling be completed approximately 5 years after the issuance of the EC.

On September 14, 2022, Ecology indicated that no further groundwater monitoring was required at the Property. Based on this information, RGI proceeded with decommissioning the four existing groundwater monitoring wells associated with the Property (MW-5, MW-6, RW-1, and RW-2). All work associated with the decommissioning of these wells is documented herein.

*Corporate Office*  
17522 Bothell Way Northeast  
Bothell, Washington 98011  
Phone 425.415.0551 ♦ Fax 425.415.0311

[www.riley-group.com](http://www.riley-group.com)

The work documented in this memorandum was performed in general accordance with the scope of work presented to the Client in the *Well Decommissioning & Inspection Services* proposal dated October 7, 2022 by RGI, which was authorized by the Client.

## BACKGROUND

Numerous environmental investigations have been completed for the Property and are described in the following documents:

- *Phase I Environmental Site Assessment Report (Phase I ESA); Aaron Bothers Retail Property* dated March 21, 2012 by RGI;
- *Phase II Subsurface Investigation Report (Phase II); Proposed Main Street Development* dated July 24, 2012 by RGI;
- *Additional Groundwater Monitoring Well Installation and Sampling Report (Well and Sampling Report) Proposed Main Street Development* dated June 19, 2013 by RGI;
- *Phase I Environmental Site Assessment Update Report (Phase I ESA Update) Main Street Development* dated June 26, 2013 by RGI;
- *Excavation Work Plan, Main Street Development (RA Work Plan)* dated July 17, 2013 by RGI;
- *Remedial Action Report (RA Report)* dated June 13, 2014 by RGI;
- *Groundwater Characterization Work Plan (GC Work Plan)* dated October 30, 2014 by RGI;
- *Groundwater Characterization Report (GC Report)* dated July 21, 2015 by RGI;
- *Further Action at the following Site: Alamo Manhattan Main Street (2016 Opinion Letter)* dated June 6, 2016 by Ecology;
- *Method B Groundwater Evaluation Technical Memorandum (GE Memorandum)* dated July 21, 2016 by RGI;
- *Supplemental Remedial Investigation Work Plan (2016 Work Plan)* dated August 11, 2016 by RGI;
- *Response to Ecology June 6, 2016 Opinion Letter Technical Memorandum (2016 Response Memorandum)* dated August 11, 2016;
- *Focused Feasibility and Disproportionate Cost Analysis* dated January 18, 2017 by RGI;
- *Supplemental Remedial Investigation Report* dated January 18, 2017 by RGI;
- *Groundwater Evaluation Technical Memorandum* dated May 12, 2017;
- *2018 Annual Inspection Summary Memorandum* dated July 3, 2018 by RGI;
- *2019 Annual Inspection Summary Memorandum* dated June 27, 2019 by RGI;
- *2020 Annual Inspection Summary Memorandum* dated August 11, 2020 by RGI;
- *2021 Annual Inspection Summary Memorandum* dated August 10, 2021 by RGI, and
- *Environmental Status Report (ES Report)* dated August 26, 2022 by RGI.

The reader is directed to refer to the above-mentioned documents for details pertaining to previous investigations.

The EC for the Property stipulated that groundwater sampling must be completed approximately 5 years after the EC was issued in June of 2017. Therefore, in June of 2022, RGI collected and analyzed groundwater samples obtained from wells RW-1 and RW-2 and monitored wells RW-1, RW-2, and MW-6 in accordance with the EC. This work was documented in detail in the ES Report dated August 26, 2022 by RGI. Groundwater analytical data obtained during this sampling event demonstrated that groundwater concentrations of COCs were in compliance with MTCA regulations. Therefore, Ecology indicated that no further groundwater sampling was required under the EC in September of 2022.

## WELL DECOMMISSIONING SCOPE OF WORK

The decommissioning of groundwater monitoring wells MW-5, MW-6, RW-1, and RW-2 was completed in March of 2023 and these activities are documented in the following sections. The locations where groundwater monitoring wells were decommissioned are displayed on Figure 2 and photographs of the decommissioning work are included in Attachment A.

### Permitting

Prior to commencing with well decommissioning, RGI obtained a Right of Way Commercial Development Permit No. 22 127452 TN from the City of Bellevue Development Services office. This included submitting a permit application and a Traffic Control Plan (TCP) to the City of Bellevue. The TCP outlined the plan for closing the northbound lane and directing traffic on the east side of 105<sup>th</sup> Avenue SE, which was required to decommission well MW-5. A copy of the permit approved by the City of Bellevue is included in Attachment B.

Throughout the course of the project, RGI complied with all permit requirements, which included notifications to the City of Bellevue, meeting with the City of Bellevue inspector, and paying associated fees.

### Well Decommissioning & Asphalt Restoration

On March 7, 2023, RGI, Ismael's Construction (Ismael's), and Altus Traffic Management, LLC (Altus) mobilized to the Property. Work commenced with Altus closing off the northbound lane on the east side of 105<sup>th</sup> Avenue Southeast and directing traffic around the work area where MW-5 was located.

The decommissioning work began at well MW-5, which consisted of a 2" well casing that extended to approximately 65' feet below the grade of the road. RGI decommissioned this well by backfilling the approximately 65' well casing with hydrated bentonite. Since asphalt restoration was required in this location, the surface was not patched to match the existing grade. RGI then moved into the parking garage of Main Street Flats to decommission MW-6, which was located in the north-central portion of the parking garage and consisted of a 2" well casing that extended to a depth of approximately 40' below the grade of the garage floor. This well was decommissioned using the same methodology as MW-5. Approximately 8" of ready mix concrete was applied at the surface to match the existing grade of the garage floor.

After RGI completed the decommissioning of well MW-5, Ismael's mobilized to the location of MW-5 to begin the asphalt restoration. The work started with saw cutting an approximately 4' x 4' area of asphalt around well MW-5. Ismael's then utilized a jackhammer to remove the asphalt within the saw cut area and the MW-5 well monument. Approximately 2" of crushed surfacing top course (CSTC) was then imported to bring the grade of the saw cut area up to approximately 6" below the road. The CSTC was then compacted with a jumping jack and plate compactor. Six inches of ½" hot mix asphalt (HMA) was then imported and placed into the saw cut area in two 3" lifts. Asphalt was compacted with an asphalt plate compactor during each lift. The asphalt restoration was completed by applying tack coat to all edges of the asphalt patch and heating the tack coat with a propane torch. Sealant was then applied to the edges of the asphalt patch and heated with the propane torch to create a uniform surface and seal the new asphalt to the existing asphalt.

RGI returned to the Main Street Flats parking garage on March 21, 2023 to decommission wells RW-1 and RW-2 which were situated in southwest corner of the parking garage. RW-1 and RW-2 both had a 4" well casing that extended to a depth of 41' below the garage floor. Both well casings

were backfilled with hydrated bentonite and approximately 8" of concrete was applied at the surface to match the grade of the garage floor.

Copies of Resource Protection Water Well Reports pertaining to well decommissioning was submitted to Ecology and are included in Attachment C.

### **CONCLUSIONS**

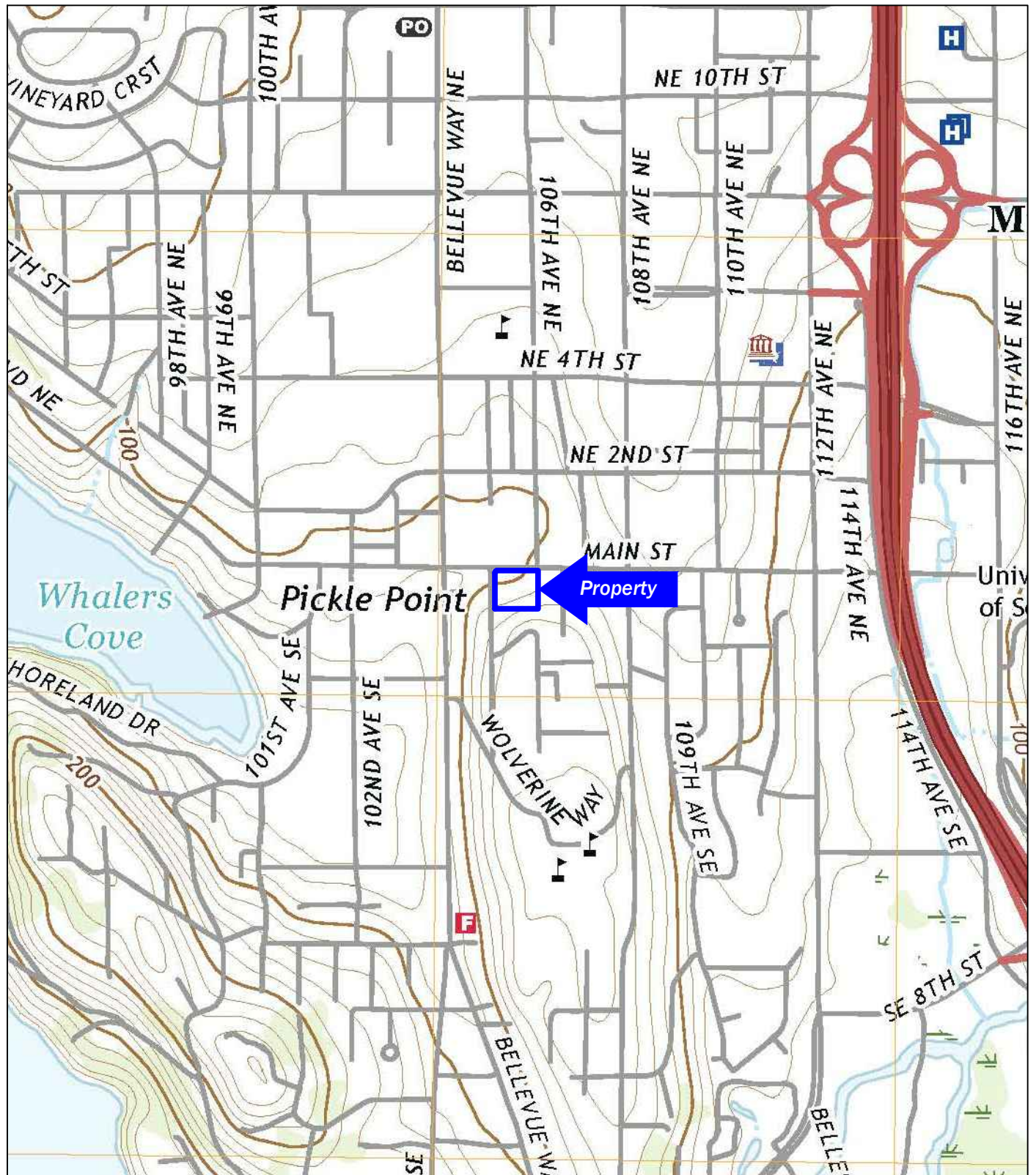
Groundwater monitoring wells RW-1, RW-2, MW-5, and MW-6 were decommissioned in accordance with Ecology well regulations. In addition, the asphalt in the location of former well MW-5, situated on 105th Avenue Southeast, was restored in accordance with City of Bellevue permit requirements. No further action is necessary.

RGI recommends submitting this Technical Memorandum to Ecology under the Voluntary Cleanup Program (VCP).

Please do not hesitate to contact us at 425-415-0551 with any questions regarding this Technical Memorandum.

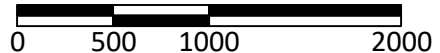
*Attachments: Figure 1: Property Vicinity Map  
Figure 2: Property Representation with Decommissioning Groundwater Monitoring Well Locations*

*Attachment A: Well Modification Photographs  
Attachment B: Right of Way Commercial Development Permit No. 22 127452 TN  
Attachment C: Resource Protection Well Reports for Wells RW-1, RW-2, MW-5, and MW-6*



USGS, 2020, Mercer Island, Washington  
7.5-Minute Quadrangle

Approximate Scale: 1"=1000'



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RGI Project Number  
2012-1070

Main Street Bellevue

Property Vicinity Map

Figure 1

Date Drawn:  
04/2023

Address: 10575 Main Street, Bellevue, Washington 98004

# DRAFT

Subway  
Allstate  
H&R Block

Radford & Co. Realtors

(10423 - 105th Avenue Southeast)

105th Avenue Southeast

Sidewalk

Sidewalk

## Main Street Flats

Former Pump Island  
RA Area 7

Former Asphalt Covered Area

MW6

MW-3

Former Pet Pros

Former Custom Ultra Cleaners

Former King and I

Former 500-Gallon Heating Oil UST

Former 500 Gallon UST

Former 660-Gallon UST

Former 900-Gallon UST

Former Oil-Water Separator

RA Area 1  
Former Dry-Cleaning Machine Location

Former Floor Drain

RA Area 2

RA Area 3

B-1A

Former Septic Tank

Former 280-Gallon UST RA Area 6

RW1

RW2

**INSPECTION AREA 2:** Diesel Range TPH and PCE Impacted Soil Remains in Place from Elevations 62 to 59'. Ground Floor of Parking Garage is Elevation 78'.

**INSPECTION AREA 1:** Diesel Range TPH Impacted Soil Remains in Place from Elevations 74' to 62'. Ground Floor of Parking Garage is Elevation 78'.

Planned Redevelopment

RAMP UP TO 102'-0"





VENT

STAIR

106TH AVE. SE

113'-9"

59'-2'-1/8"

-  = Area where soil was remediated during RA in 2013
-  = Groundwater monitoring well decommissioned by RGI in March of 2023
-  = Former groundwater monitoring well location
-  = Property boundary

Approximate Scale: 1"=30'





Photograph 1: View of well MW-5 looking north at 105th Ave Southeast prior to decommissioning.



Photograph 2: View of 4' x 4' area where asphalt was saw cut around well MW-5 after decommissioning was completed.



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Main Street Bellevue

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Well Decommissioning Photographs

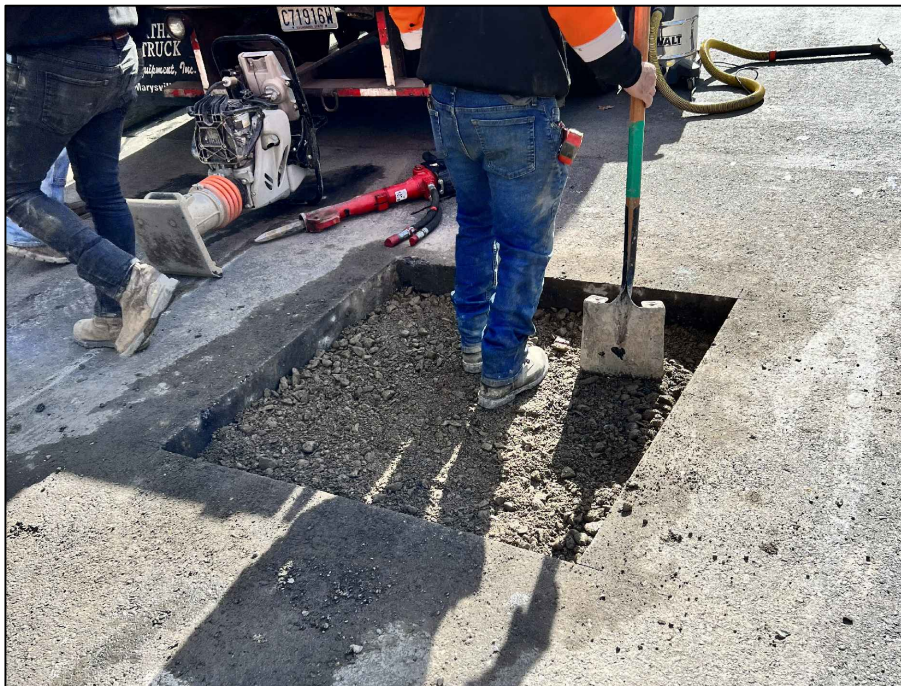
Figure A-1

Date Drawn:  
 04/2023

Address: 10575 Main Street, Bellevue, Washington 98004



Photograph 3: View of well MW-5 location after well monument was removed.



Photograph 4: View of well MW-5 location after area was backfilled with approximately 2 inches of crushed surfacing top course fill.



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Well Decommissioning Photographs

Figure A-2

Date Drawn:  
 04/2023

Address: 10575 Main Street, Bellevue, Washington 98004





Photograph 5: View of well MW-5 location after backfilling with 6 inches of hot mix asphalt and finishing asphalt with an asphalt plate compactor.



Photograph 6: Photo of well MW-6 facing northwest in the parking garage prior to decommissioning.



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Main Street Bellevue

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Well Decommissioning Photographs

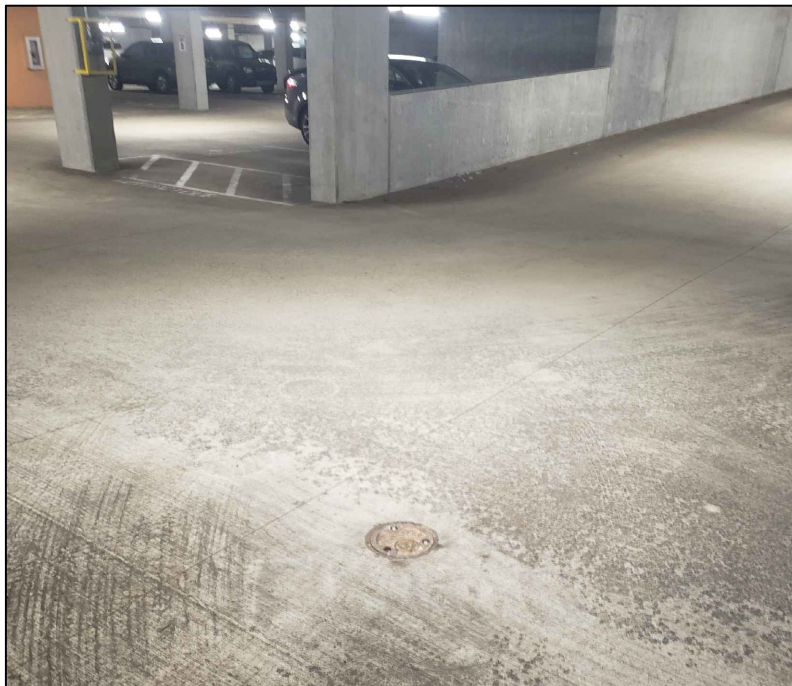
Figure A-3

Date Drawn:  
 04/2023

Address: 10575 Main Street, Bellevue, Washington 98004



Photograph 7: Photo of well MW-6 after decommissioning was completed.



Photograph 8: Photo of well RW-1 facing northeast in the parking garage prior to decommissioning.



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Main Street Bellevue

Figure A-4

RGI Project Number:  
 2012-1070

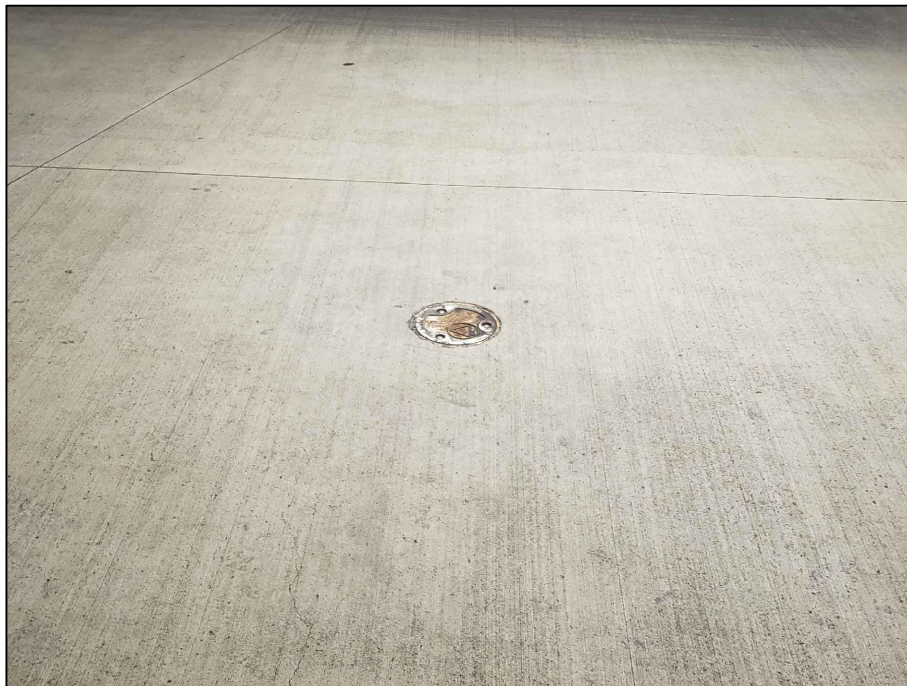
Well Decommissioning Photographs

Date Drawn:  
 04/2023

Address: 10575 Main Street, Bellevue, Washington 98004



Photograph 9: Photo of well RW-1 after decommissioning was completed.



Photograph 10: Photo of well RW-2 facing south in the parking garage prior to decommissioning.



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Main Street Bellevue

RGI Project Number:  
 2012-1070

Well Decommissioning Photographs

Figure A-5

Date Drawn:  
 04/2023

Address: 10575 Main Street, Bellevue, Washington 98004



Photograph 11: Photo of well RW-2 after decommissioning was completed.



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Main Street Bellevue

RGI Project Number:  
2012-1070

Well Decommissioning Photographs

Figure A-6

Date Drawn:  
04/2023

Address: 10575 Main Street, Bellevue, Washington 98004



# City of Bellevue

Development Services • 450 110th Ave NE • Bellevue 98004

## Permit and Inspection Record

**Job Address: 10575 Main St**

**Permit Number: 22 127452 TN**

**Issued: 01/13/2023**

**Start Work On: 12/02/2022**

**Expires: 08/30/2024**

Type: ROW Commercial Development      Occupancy Type: Nonresidential  
 Property Owner: c/o Mr. David Ostrer MAIN STRE    Applicant: Jerry Sawetz  
 Project Name: Main Street Flats Well Decommission Phone: **(425) 415-0551/ 325**  
 Description: Groundwater monitoring well MW5 is associated with the Main Street Flats Site located in the eastbound lane of 105th Ave. Well, MW5 extends to a depth of approximately 70" below the street grade. MW5 will be decommissioned by a licensed well driller in accordance with Ecology well regulations.

**Construction Lender: NONE**

Phone:

Imported in Versatile?	<b>No</b> Lease Start Days	<b>0.00</b> Lease End Days	<b>0.00</b>
Customer Survey?	<b>No</b> Billable?	<b>Yes</b> Pavements less than 60 Months?	<b>No</b>
ROW Cut/Square Feet (Calc =	<b>0.00</b> ROW Parcel Sq. Ft	<b>0.00</b> Start Work On	<b>12/02/2022</b>
Start Work Time	<b>See TCP</b> End Work By	<b>08/30/2024</b> End Work Time	<b>See TCP</b>

**Post this permit in a visible and accessible location at the job site and have the approved plans available for the inspector.**

### Inspection Scheduling Information

To schedule or cancel inspections by phone, call **425-452-6875**  
or go to **MyBuildingPermit.com**

To get an estimated inspection time after the inspection is scheduled, call the appropriate number below.

**\*\*\* Do not call the following number(s) to schedule inspections \*\*\***

- (425) 452-4570: **Building, Mechanical, Electrical, Plumbing, Clearing & Grading Inspections** - Call between 7 and 8 a.m. the morning of the inspection.
- (425) 452-4254: **Fire Department** - If a specific time is needed, please call at least one day in advance.
- (425) 452-4188: **Land Use Inspections** - After you schedule your inspection, a Planner will call to schedule an inspection time.
- (425) 452-6966: **Transportation Inspections** - Call between 7:30 and 8:30 a.m. the morning of the inspection.
- (425) 452-6977: **Utility Inspections**- After you schedule your inspection, a Utilities representative will call to set up an appointment time.

#### Permit Expiration This permit will expire if -

- Work is not started by n/a
- Work ceases for 180 days or more
- Final inspection approval is not obtained by 08/30/2024

There is no ability to extend the expiration date.

Call 425-452-2888, or 4617 if you have questions about permit expiration.

**You are responsible for obtaining all the required inspections.**



# City of Bellevue Inspection Record



MBP Inspection Scheduling

DS Inspection Survey

**Job Address: 10575 Main St**

**Permit Number: 22 127452 TN**

Related Job #:

Tenant:

Floor:

Suite:

Contractors:

ISMAEL'S CONSTRUCTION LLC ISMAEL SACAMITZIN License: ISMAECL901CQ Phone: (360) 243-3147

Construction Contact: ISMAEL'S CONSTRUCTION LLC Ismael Rodriguez Phone: (425) 770-1722

For each discipline, schedule inspections in order (read Left --> to --> Right, Top --> to --> Bottom).

Your project may not need all the listed inspections; ask your inspector.

All inspections must be approved or marked N/A by an inspector prior to requesting the final inspection.

Required Inspection	Inspector	Signoff Date	Required Inspection	Inspector	Signoff Date
900 ROW-Jobstart			902 ROW-Precon		
932 ROW-Oversized Loads			995 ROW-Final		
928 ROW-Restoration			903 ROW-General		

All permits and inspection disciplines associated with a building permit - including electrical, mechanical, plumbing, fire suppression, clearing & grading, right of way use, utilities, and any required land use surveys - must have final inspection approval before you schedule the final inspection on the building permit.



Development Services  
Right of Way Permit Cover Sheet

**VERY IMPORTANT**


**A PRINTED COPY OF ALL APPROVED DOCUMENTS MUST REMAIN ON THE JOB SITE AND BE AVAILABLE AT ALL TIMES FOR INSPECTORS.**

RIGHT OF WAY	CLEARING & GRADING
<div data-bbox="180 560 904 1185" style="border: 2px solid orange; padding: 10px;"> <p><b>CITY OF BELLEVUE</b> DEVELOPMENT SERVICES DEPARTMENT <b>TRANSPORTATION - ROW</b> <b>APPROVED AS CORRECTED</b> SUBJECT TO FIELD INSPECTION OVERSIGHT OR VIOLATIONS OF CITY ORDINANCES ARE NOT INCLUDED IN THIS APPROVAL. CALL 425-452-6875, TWO (2) BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION TO SCHEDULE REQUIRED PRE-CONSTRUCTION CONFERENCE.</p> </div> <div data-bbox="1072 641 1818 937" style="border: 2px solid orange; padding: 10px; margin-top: 20px;"> <p>Pre-Construction Meeting <b>REQUIRED</b> with Right of Way Inspector Phone: 425-452-6875</p> </div> <div data-bbox="1103 1159 1746 1467" style="border: 2px solid orange; padding: 10px; margin-top: 20px;"> <p>CALL for utility locates (dial 811) two (2) business days before the scheduled preconstruction meeting All utility locates must be available for review at the required preconstruction meeting.</p> </div> <div data-bbox="180 1199 699 1280" style="margin-top: 20px;"> <p>DATE APPROVED: 12/01/2022 APPROVED BY: MWallaia</p> </div>	<div data-bbox="2107 530 2505 614" style="border: 1px solid orange; padding: 5px; margin: 20px auto; width: fit-content;"> <p>Clear and Grade Review Not Required</p> </div>

**PERMIT NUMBER:** 22 127452 TN  
**PROJECT NAME:** Main Street Flats Well Decommissioning  
**SITE ADDRESS:** 10575 Main St

**Check Permit Status**

<https://PermitSearch.MyBuildingPermit.com>



**Share your feedback!**

On your plan review experience:  
<https://bellevuewa.gov/IssuedSurvey>

On your inspection experience:  
<https://bellevuewa.gov/InspectionSurvey>

**Request an Inspection**

By phone: (425) 452-6875

On line: <https://Inspection.MyBuildingPermit.com>





## City of Bellevue Right of Way Use

### GENERAL CONDITIONS

1. The term "Applicant" means both the Applicant and Applicant's employees, agents, contractors and subcontractors.
2. The term "City inspector" means the designated employee(s) of the department responsible for inspecting the installation of warning and safety devices in the public right-of-way and restoration of public rights-of-way disturbed by work. (BCC 14.30.050)
3. Applicant shall abide by all terms and conditions of this permit including associated costs/fees.
4. Applicant, for and on behalf of applicant and applicant's heirs, executors, administrators, successors, assigns, lessees, sub-lessees, tenants, and subtenants, does hereby covenant and agree to forever indemnify, defend, hold and save the City, its officers, officials, employees agents, and invitees, free and harmless from any and all claims, actions, or damages and costs, including attorneys' fees, of every kind and description, which may accrue to, or be suffered by, any person by reason of the use or occupation of the above-described right-of-way or public easement. To the extent permitted by RCW 4.24.115, Applicant's obligations under this indemnity shall not apply to the extent that any such claims, costs, liabilities and/or damages arise from the negligence of the City, or the City's employees, agents or contractors. For this purpose, Applicant waives with respect to the City any immunity that would otherwise be available under the industrial insurance provisions of Title 51 RCW against the claims to which this immunity extends.
5. It is Applicant's responsibility to ensure that any and all other permits required for the proposed construction are obtained prior to beginning construction. Right of Way permits are issued for right of way use purposes only and do not constitute approval required for issuance of any other permits which may be required for construction.
6. A printed hard copy of the valid Right of Way Use Permit, the general conditions, the site-specific conditions shall be available on site and a minimum of 8.5 inch x 11 inch in size. Approved traffic control plans and all approved plans a minimum of 11 inch x 17 inch in size, shall be available on site at all times.
7. Permit conditions may need to be modified in order to mitigate/resolve unforeseen impacts to the right of way due to activities authorized in the City Right of Way. Applicant shall comply with all modifications.
8. Applicant shall comply with all terms and conditions of any Stop Work Order posted by the City of Bellevue. A Stop Work Order may be posted on the project whenever the City of Bellevue has reasonable cause to believe that violation of the Right-of-Way Use Permit general and site-specific conditions has occurred, is about to occur, or that conditions exist that may constitute a hazard to persons or property. A Stop Work Order will necessitate an immediate shut down for a minimum of 24-hours and meeting with, and at the convenience of, appropriate City staff to review the corrective actions and resolve the issues leading to the issuance of the Order. The City of Bellevue will allow work to continue only at successful resolution of the issues. A shut down of the project initiated by the Police Department will be treated as a Stop Work Order.
9. Applicant shall contact the One Call Locator Service at 1-800-424-5555 (or 811) a minimum of two (2) business days but not more than ten (10) days before beginning of any excavation/disturbance of surface authorized by City of Bellevue permit. RCW 19.122, BCC 14.30.070. All locates must be marked prior to scheduling the preconstruction meeting.





10. All work, processes, and materials must meet the current requirements under the Standard Specifications for Road, Bridge, and Municipal Construction issued by the Washington State Department of Transportation, and City of Bellevue Special Provisions in effect at the time of permit issuance unless otherwise directed in the Transportation Department's Design Manual or otherwise approved by the City's Inspector assigned to the project.

**INSPECTION REQUIREMENTS:**

11. Use of the right of way authorized by a Right of Way permit is subject to on-site inspection by a City Inspector. Right of Way permits require a minimum of three inspections: 1. Pre-construction, 2. Job Start, and 3. Final. Additional inspections may be required for on-going work in the right of way. Applicant is required to schedule all required inspections through [www.inspection.mybuildingpermit.com](http://www.inspection.mybuildingpermit.com). The required pre-construction shall take place prior to beginning any activity in the right of way. Pre-construction meetings shall be arranged to meet the schedule of the assigned Inspector to this permit. At the discretion of the Inspector, some preconstruction meetings may be accomplished over the phone. The frequency and reporting requirements for additional inspections shall be determined by the Inspector.
12. Contractors shall check in on the "Right of Way Use Contractor Check-in" desktop or mobile app on the day of inspection and every day the contractor is working in the City of Bellevue's Right of Way. Instructions can be found on the "Right of Way Use Contractor Check-in" handout attached to the permit or available online on the City of Bellevue's website. Inspectors have the authority to ask contractors to secure and leave the site.
13. If the project impacts city landscaping or irrigation systems, the Applicant must contact the City of Bellevue Parks Department at 425-452-6855 to arrange an on-site meeting with Parks Department Staff and City Inspector prior to the beginning of work.

**VEHICULAR / PEDESTRIAN TRAFFIC CONTROL:**

14. Vehicular / Bicycle / Pedestrian traffic control for all phases of this project shall be administered in accordance with the "Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD), Part VI." the MUTCD-Washington State Modifications (M 24-01) and as adapted by the City of Bellevue Transportation and Police Departments. All warnings signs within the City of Bellevue controlled Right of Way shall be 36"x36" consistent with the "Conventional Road" sizing, specified in the MUTCD Table 6F-1.
15. The applicant shall provide appropriate flaggers, signing, coning, and barricades for any temporary lane closures, sidewalk closures, or construction activities. Access to businesses and residents (both local and through traffic) must remain available at all times unless a temporary traffic control plan allowing access to be closed is approved by City of Bellevue. All approved temporary traffic control must assure public safety and traffic flow as the first priority. Construction activity will be secondary. Undue traffic impacts will result in a shut-down of the applicants use of the right of way until plans to mitigate the situation are submitted and subsequently approved by the City of Bellevue.
16. Sidewalks, trails and pathways shall remain open at all times and shall meet current ADA requirements. Applicant shall request and obtain approval from the City of a temporary traffic control plan that includes temporary pedestrian facilities and/or pedestrian detours, if applicant expects or anticipates short duration sidewalk closures. At no time will pedestrian access on both sides of the street, within the same block, be closed at the same time, unless other legal crossings are available. Construction activities shall not affect access to pedestrian traffic signal equipment (pedestrian push buttons) or crosswalks without prior authorization through an approved temporary traffic control plan.
17. All requests for street closures and corresponding detours shall be submitted to the Traffic Engineer for review and approval 14 days prior to closure.
18. Two-way traffic must always be maintained unless specifically authorized through a city approved temporary traffic control plan.
19. The work zone is defined as the work area closed off to all public access through the use of cones, barricades, etc. Operators of unlicensed vehicles operating outside of the work zone will be subject to ticketing. Repeated offenses may cause the vehicle to be impounded and a Stop Work Order to be issued on the project. A legally licensed vehicle/equipment is defined by RCW in RCW46.16A.030

20. Applicant shall barricade off (and immediately notify the City inspector) if any portion of the Applicant's work or excavation: (a) affects or undermines the right of way; or (b) creates an unsafe condition or hazard to people, property or vehicles.

**CONSTRUCTION IMPACTS:**

21. As determined by the inspector, damage to any infrastructure in the Right of Way resulting from any work performed or associated with this permit will be repaired to as good as or better condition in a manner and with materials as approved by the City of Bellevue. Such repair may require a revision to the existing permit or may require obtaining a new Right of Way Use permit with appropriate cost.
22. The applicant is solely responsible for all construction and installation activity associated within the public right of way. Responsibility for this approved installation is not transferable.
23. Any damage to the existing signal equipment, detector loops, interconnect system and street lighting equipment, etc. shall be replaced per City Standards and to the satisfaction of the Signal Shop within seven calendar days. Applicant shall notify the Signal Shop at 425-452-6950 immediately if any loop detectors are cut or damaged. Applicant is responsible for permanent loops and shall grind and overlay the damaged loop area and replace the loops and appurtenances per City Standards. This work shall be performed by an electrical company certified by the State of Washington in accordance with RCW 19.28. Proof of certification shall be required upon request by the City. For information on loops, contact our Signal Technician at 425-452-5233 or 425-452-6950.
24. Trees and Landscaping. Applicant shall not damage, trim, remove, top, prune or kill any trees or landscaping without the express prior written approval of the City of Bellevue; and, any actions taken by Applicant without such express prior written approval may result in Applicant's liability for civil penalties/fines of up to 3 times the assessed value of the trees and, depending on the circumstances, may result in criminal charges against the Applicant. Any damaged trees, landscaping or irrigation shall be replaced by the Applicant per Parks Department Standards within 14 days. Contact the Parks Street Tree workgroup at 425-452-6855 prior to any activities that may impact Parks-maintained trees, landscaping, or irrigation.
25. Applicant shall comply with the requirements from the City of Bellevue Utilities Department. In the event of any damage, though not limited to an existing water structure, sewer structure or storm drainage structure, applicant shall immediately notify the Utilities Department at 425-452-7840 so that they can assess the damage and determine what repairs are needed. Applicant shall comply with all applicable codes and permits as required by other departments and/or agencies.
26. Vehicles are not allowed to park on sidewalks, multi-purpose pathways, bike facilities or medians at any time except as allowed by a temporary traffic control plan. If vehicles are found parked in any of these areas, the company and/or individual may be subject to ticketing, sidewalk reconstruction and/or repair.
27. If authorized by the city approved temporary traffic control plan, Applicant shall provide temporary no parking signs for the reservation of on-street parking stalls. Such signs must be mounted on Type II barricades and shall be placed immediately adjacent to the stalls to be reserved a minimum of 72 hours in advance of the authorized restriction period. The signs must display the dates and hours of the restriction and the permit number authorizing the restriction. The signs shall be completely removed from the public right of way when the restriction is no longer applicable. The signs shall include the Company's name, the company's employee contact, and a phone number for the company.
28. At least 48 hours prior to the start of activity in the right of way, Applicant shall inform all adjacent property/business owners of the scope and schedule of their project. Applicant's work shall be performed in a manner which interferes or limits driveway access, pedestrian and vehicular ingress/egress, as little as is reasonably possible in consideration of the work being performed. Driveway access, pedestrian and vehicular ingress/egress shall be available and maintained at all driveway entrances except where prior arrangements (which are acceptable to the City) between the applicant and the property owner have been made. All driveways, pedestrian and vehicular ingress/egress points shall be open during non- construction hours unless agreements have been made with the property/business owner.

29. Any removal or damage to existing pavement markings, traffic control signs and / or parking signs shall be replaced with temporary marking or signs prior to site access being re-opened to the public. Temporary signs or pavement markings shall remain until the restoration is complete, at which point permanent signs, and/or markings shall be installed per City Standards.
30. Any use of steel plates by Applicant shall be for overnight purposes only and shall not be used over weekends without prior approval by the City or its inspector. The steel plates may only be used for distances of less than 200 feet and must have asphalt ramps/wedges around the plates and a non-skid surface at all times. They may not be used on steep grades of 8 percent or greater. All plates must be pinned down and the City of Bellevue may require combinations of plates to be welded together. Warning signs must be appropriately placed to caution motorists of upcoming steel plates. Steel plates are not allowed if snow is expected or if there is a potential for snow. The City Inspector must review and approve all steel plate placements prior to leaving the job site. Movement of plates or changes in site conditions for any plates that necessitates the call-out of City staff will cause a Stop Work Order to be issued to the project.
31. Utility pole installation requires use of a vacuum truck to excavate the hole. Augering may be done only when field locates of existing utilities show at least 5' of horizontal clearance, measured from the outside edge of the auger, to any existing utility.

**OTHER DEPARTMENTS:**

32. Un-locatable Underground Facilities - if a water main has been field marked as unlocatable and cannot be located by hand-digging, the City Inspector and the Utility Department Personnel must be contacted at (425) 452-7840 to arrange for an onsite meeting prior to commencement or continuation of work.
33. A Hydrant Use Permit is required for use of any City of Bellevue hydrant. Hydrant Use Permits are issued at the Bellevue Service Center, 2901 - 115th Avenue NE, Bellevue, WA 98004 / (425) 452-7840. Current Hydrant Use Permits are not renewable. All equipment (i.e. wrenches, adapters, and meters) must be returned to the Bellevue Service Center.
34. The work area shall comply with all applicable provisions of the Bellevue City Code, chapter 23.76 Clearing and Grading ordinances to prevent hazards to public safety, health and welfare. Streets shall be kept free of dirt and debris on a continuous basis per Bellevue City Code 23.76.095. Vacuum sweepers with dust suppression shall be used as frequently as deemed necessary by the Engineer/Project Manager or City Inspector. The Contractor shall install catch basin filters in all catch basins (existing and New) per Bellevue City Code 23.76.090.
35. The Washington State Department of Ecology may identify sites within Bellevue as potentially being contaminated and/or hazardous. Applicant must verify the location of their underground work against the Department of Ecology Site List and take any necessary steps to protect the safety of their staff, the public, and the environment from disturbance of any contaminated materials. More about the sites can be found here(<https://fortress.wa.gov/ecy/publications/documents/1709042a.pdf>).
36. **FOR WIRELESS ONLY** Any communication, broadcast and/or relay facility must comply with City of Bellevue Ordinance 5460 that states, "The minimum size necessary to support facility operation; and placed in accessory structures where located on lots in residential land use districts, or when located in public rights of way in residential land use districts, either constructed no higher than 30 inches above finished grade, or located underground."

**WORK FOR / BY UTILITY COMPANIES:**

37. Any permitted work or activity by a utility company, its contractors or subcontractors in the right of way shall provide temporary construction notification signs. The signs shall include the Company's name and logo, the company's employee contact, name of the project and a phone number for the company. Construction signing shall not obstruct travel lanes or the pedestrian system.
38. The Applicant shall provide as-built drawings to the City showing the location and depth of the conduit, the size and location of all junction boxes and vaults.

**DEVELOPMENT CONDITIONS:**

39. On-street construction parking is not allowed at any time. Upon request, the contractor shall provide the Transportation Department written proof of the parking plan for construction employees for the duration of the project.
40. All walking surfaces must remain free of dirt and debris at all times. It is the responsibility of the contractor to maintain all sidewalks and pedestrian walking surfaces adjacent to the construction site. All pedestrian walking surfaces must be inspected by the contractor regularly and repaired immediately upon discovery of any defect

**HOLIDAY RESTRICTIONS:**

41. Work in the right of way will not be allowed from noon the day prior to a holiday or holiday weekend through 7:00am the day following a holiday or holiday weekend, except with prior exemption from the Right of Way Manager. Holidays that occur on Friday, Saturday, Sunday or Monday are considered holiday weekends.
42. State identified holiday work restrictions: Holidays are defined in RCW 1.16.050 "Legal holidays and legislatively recognized days." The holidays are as follows: January 1 (New Years Day); the third Monday of January (Martin Luther King, Jr. Day); the third Monday of February (Presidents Day); the last Monday of May (Memorial Day); July 4<sup>th</sup> (Independence Day); the first Monday of September (Labor Day); November 11<sup>th</sup> (Veterans Day); the fourth Thursday in November (Thanksgiving Day); the day immediately following Thanksgiving Day; and December, 25<sup>th</sup> (Christmas).



**SPECIAL CONDITIONS FOR PERMIT**

**22 127452 TN**

**10575 Main St. Bellevue, WA 98004**

**11/23/2022**

**PROJECT SCOPE:** Groundwater monitoring well MW5 is associated with the Main Street Flats Site located in the eastbound lane of 105th Ave. Well, MW5 extends to a depth of approximately 70" below the street grade. MW5 will be decommissioned by a licensed well driller in accordance with Ecology well regulations.

**TRAFFIC CONTROL**

The applicant shall employ a Washington State Certified Traffic Control Supervisor for the duration of this project. See attachment for role and responsibility requirements.

**DISTURBANCE OF SURFACE:**

This permit authorizes the disturbance of surface in the Public Right of Way in the location and manner described in the approved drawings.

Asphalt restoration on 105<sup>th</sup> St. SE shall be by standard trench restoration according to City of Bellevue Design Manual Drawing RC-190-1

**DAILY WORK HOURS, HOLIDAY, AND EVENT WORKDAY RESTRICTIONS:**

Right of way work hours: The hours for construction activity, lane closures or activities that impede or may potentially impede traffic shall be established through the approval process for each individual temporary traffic control plan for each specific activity. The work hours shall be stated on the temporary traffic control plan or shall be communicated by the Inspector assigned to this project. The hours for construction activity in the right of way that does not impede traffic shall be Monday through Friday, 7:00am to 6:00pm. As necessary and appropriate, this permit shall grant an exemption to the City of Bellevue Noise Control BCC 9.18.20 (C-1) for the weekday and work hours specified on the approved temporary traffic control plan. Each exemption shall be specific to the work activity identified on the approved plan only. Those hours, the planned activity and the exemption shall be stated in the permit revision associated with each approved temporary traffic control plan. The inspector assigned to this project may change these work hours to a more suitable time following approval by the ROW Use Office. Further, any work outside the above stated hours shall have prior written approval from the Transportation Department, unless the change is mandated by the inspector. The applicant is required to notify Construction Inspection at 425-452-6966, 48 hours prior to any lane closures.

Special event workday restrictions: There may be city-approved special events occurring near this work area. Please check <https://parks.bellevuewa.gov/special-events/special-events-committee> for the annual list of events, and contact the event organizer if scheduled work days conflict with an approved special event. Event impacts may include increased parking demand, increased vehicle, bicycle, and/or pedestrian traffic, as well as possible lane or road closures.

Holiday Season Corridor and Hourly Restrictions will apply in the following commercial/retail areas between Thanksgiving and the first week of January: Downtown, Wilburton, Bel-Red, Overlake, Crossroads, and Factoria. Restrictions will be consistent with approved policy and will apply uniquely to the specific location and nature of the permitted work.

State identified holiday work restrictions: Holidays are defined in RCW 1.16.050 "Legal holidays and legislatively recognized days." The holidays are as follows: January 1 (New Year's Day); the third Monday of January (Martin Luther King, Jr. Day); the third Monday of February (Presidents Day); the last Monday of May (Memorial Day); July 4<sup>th</sup> (Independence Day); the first Monday of September (Labor Day); November 11<sup>th</sup> (Veterans Day); the fourth Thursday in November (Thanksgiving Day); the day immediately following Thanksgiving Day; and December, 25<sup>th</sup> (Christmas).



Issued 01/13/2023

Work in the right of way will not be allowed from noon the day prior to a holiday or holiday weekend through 7:00am the day following a holiday or holiday weekend, except with prior exemption from the Right of Way Manager. Holidays that occur on Friday, Saturday, Sunday or Monday are considered holiday weekends.

Contact the Transportation Inspector assigned to this permit for specific details associated with each of the above listed restrictions.

**ADDITIONAL CODES, POLICIES, AND STANDARDS**

The applicant is responsible for reading and understanding the approved drawings/plans for this permit (which may include traffic control plans), as well as all other applicable City of Bellevue codes, standards, and policies available on the City's website. These include, but are not limited to, the following links:

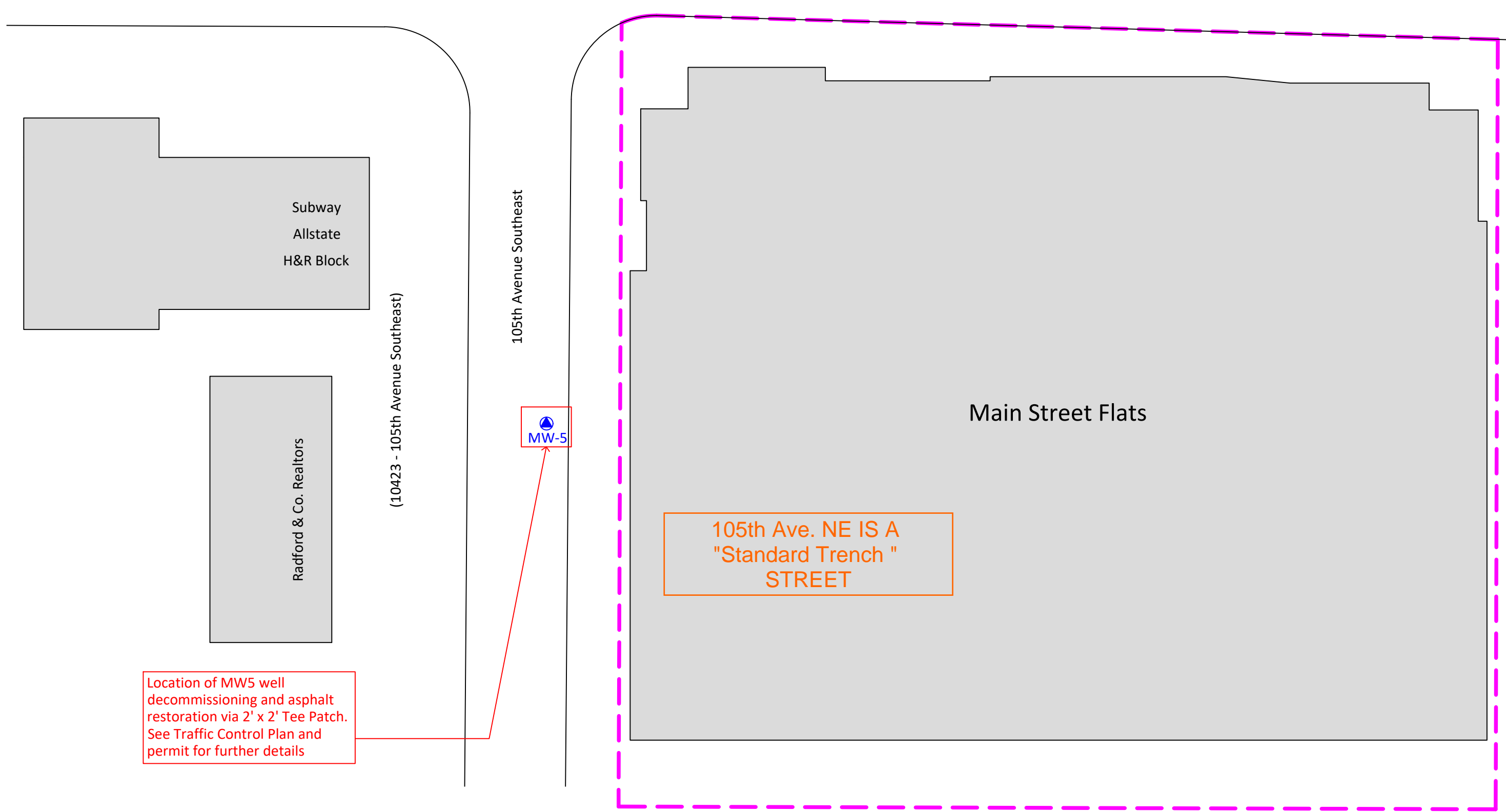
[Right of Way Resources](#)

[City of Bellevue Design Manual](#)

[COB Water, Sewer, and Surface Water Engineering Standards](#)

[Bellevue City Code](#)





Location of MW5 well decommissioning and asphalt restoration via 2' x 2' Tee Patch. See Traffic Control Plan and permit for further details

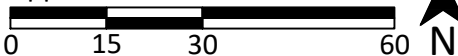
105th Ave. NE IS A "Standard Trench" STREET

- = Existing Groundwater Monitoring Well
- (in blue) = Proposed Groundwater Monitoring Well Location.

MW-3 and MW-4 were installed by RGI prior to redevelopment.  
 B-1A was a temporary monitoring well installed by RGI and decommissioned during redevelopment.

— (in pink) = Property Boundary

Approximate Scale: 1"=30'



Drawn from Bush, Roed & Hitchings, Inc., ALTA/ACSM Land Title Survey, dated 03/2012.

**RILEYGROUP**  
 Corporate Office  
 17522 Bothell Way Northeast  
 Bothell, Washington 98011  
 Phone: 425.415.0551  
 Fax: 425.415.0311

















Main Street Apartments Development		Figure 1
RGI Project Number	2012-1070	Date Drawn: 10/2022
Site Plan		
Address: 10505 Main Street, Bellevue, Washington 98004		



Issued 01/13/2023

Project Name: <b>Main Street Apartments Development</b>	 Boring/Well No.: <b>MW5</b> Sheet 1 of 2
Project Number: <b>2012-107K</b>	
Client: <b>Alamo Manhattan</b>	

Date(s) Drilled: <b>12/11/14</b>	Logged By: <b>SL</b>	Surface Conditions: <b>Asphalt 6"</b>
Drilling Method(s): <b>Hollow Stem Auger</b>	Drill Bit Size/Type: <b>4" Inner Diameter</b>	Total Depth of Borehole: <b>66.5 feet bgs</b>
Drill Rig Type: <b>Truck-Mounted</b>	Drilling Contractor: <b>Holocene</b>	Approximate Surface Elevation (feet amsl): <b>101.44</b>
Groundwater Level and Date Measured: <b>51.59' on 12/12/14</b>	Sampling Method(s): <b>SPT</b>	Hammer Data : <b>140 lb, 30 in drop, auto trip</b>
Borehole Backfill: <b>Monitoring Well</b>	Location: <b>East side of 105th Avenue Southeast</b>	

Elevation (feet)	Depth (feet)	Sample Type	Sample ID	Sampling Resistance, blows/ft	PID Reading, ppm	Recovery (%)	USCS Symbol	Graphic Log	MATERIAL DESCRIPTION	Well Log	REMARKS AND OTHER TESTS
101.44	0						Asphalt SP		Asphalt Light brown, fine to medium SAND, based on observations of soil cuttings		Asphalt 0 - 3.5" Concrete 3.5 - 6" Blank 2" PVC 0 - 50 0.5 - 48' Bentonite
96.44	5										
91.44	10										
86.44	15										
81.44	20										
76.44	25										
71.44	30										
66.44	35										



Project Name: **Main Street Apartments Development**  
 Project Number: **2012-107K**  
 Client: **Alamo Manhattan**



Boring/Well No.: **MW5**  
 Sheet 2 of 2

Elevation (feet)	Depth (feet)	Sample Type	Sample ID	Sampling Resistance, blows/ft	PID Reading, ppm	Recovery (%)	USCS Symbol	Graphic Log	MATERIAL DESCRIPTION	Well Log	REMARKS AND OTHER TESTS
66.44	35						SP		Light brown, fine to medium SAND, based on observations of soil cuttings		
61.44	40										
56.44	45										
51.44	50			42	0.3						Silica Sand 48 - 65' 2" Well Screen 50 - 65'
46.44	55			69	0.1		SM		Light brown, silty, medium SAND, moist to wet, no odor, no sheen		
41.44	60			31	0.2		ML		Light brown, sandy SILT, moist to wet, no odor, no sheen		
36.44	65			49	0.2						
31.44	70								Boring terminated at 66.5 feet bgs		
26.44	75										



Project Name: **Main Street Apartments Development**

Project Number: **2012-107K**

Client: **Alamo Manhattan**



Boring Log Key

Sheet 1 of 1

Elevation (feet)	Depth (feet)	Sample Type	Sample ID	Sampling Resistance, blows/ft	PID Reading, ppm	Recovery (%)	USCS Symbol	Graphic Log	MATERIAL DESCRIPTION	Well Log	REMARKS AND OTHER TESTS
1	2	3	4	5	6	7	8	9	10	11	12

**COLUMN DESCRIPTIONS**

- 1** Elevation (feet): Elevation (MSL, feet).
- 2** Depth (feet): Depth in feet below the ground surface.
- 3** Sample Type: Type of soil sample collected at the depth interval shown.
- 4** Sample ID: Sample identification number.
- 5** Sampling Resistance, blows/ft: Number of blows to advance driven sampler one foot (or distance shown) beyond seating interval using the hammer identified on the boring log.
- 6** PID Reading, ppm: The reading from a photo-ionization detector, in parts per million.
- 7** Recovery (%): Core Recovery Percentage is determined based on a ratio of the length of core sample recovered compared to the cored interval length.
- 8** USCS Symbol: USCS symbol of the subsurface material.
- 9** Graphic Log: Graphic depiction of the subsurface material encountered.
- 10** MATERIAL DESCRIPTION: Description of material encountered. May include consistency, moisture, color, and other descriptive text.
- 11** Well Log: Graphical representation of well installed upon completion of drilling and sampling.
- 12** REMARKS AND OTHER TESTS: Comments and observations regarding drilling or sampling made by driller or field personnel.

**FIELD AND LABORATORY TEST ABBREVIATIONS**

- CHEM: Chemical tests to assess corrosivity
- COMP: Compaction test
- CONS: One-dimensional consolidation test
- LL: Liquid Limit, percent
- PI: Plasticity Index, percent
- SA: Sieve analysis (percent passing No. 200 Sieve)
- UC: Unconfined compressive strength test, Qu, in ksf
- WA: Wash sieve (percent passing No. 200 Sieve)

**MATERIAL GRAPHIC SYMBOLS**

- Asphaltic Concrete (AC)
- Bentonite
- Portland Cement Concrete
- SILT, SILT w/SAND, SANDY SILT (ML)
- Silty SAND (SM)
- Poorly graded SAND (SP)

**TYPICAL SAMPLER GRAPHIC SYMBOLS**

- Auger sampler
- Bulk Sample
- 3-inch-OD California w/ brass rings
- CME Sampler
- Continuous
- Grab Sample
- 2.5-inch-OD Modified California w/ brass liners
- Pitcher Sample

**OTHER GRAPHIC SYMBOLS**

- Water level (at time of drilling, ATD)
- Water level (after waiting)
- Minor change in material properties within a stratum
- Inferred/gradational contact between strata
- Queried contact between strata

**GENERAL NOTES**

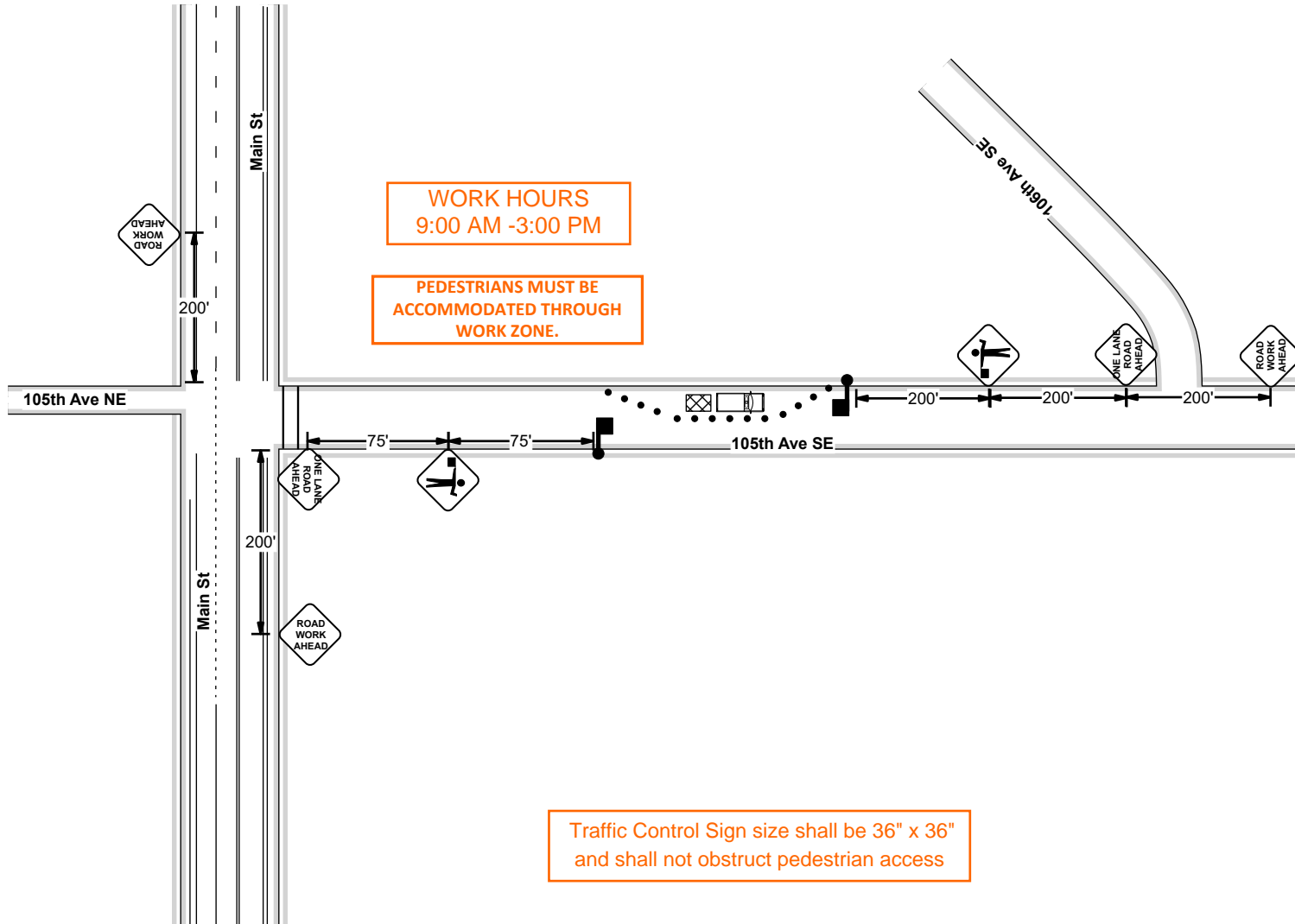
- 1: Soil classifications are based on the Unified Soil Classification System. Descriptions and stratum lines are interpretive, and actual lithologic changes may be gradual. Field descriptions may have been modified to reflect results of lab tests.
- 2: Descriptions on these logs apply only at the specific boring locations and at the time the borings were advanced. They are not warranted to be representative of subsurface conditions at other locations or times.



REQUESTED DATES: \_\_\_\_\_  
 WORK HOURS: \_\_\_\_\_

ADDRESS:  
 11 105th Ave SE Bellevue, WA 98004

PERMIT: \_\_\_\_\_



**STATEWIDE SAFETY SYSTEMS**  
 (206) 878-0221

**ATSSA** AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION  
 This is to affirm that Amanda Piotrowski has satisfied the requirements to be designated as a Traffic Control Supervisor  
 Cert. # 815619 Issue Date: 9/18/2020 Expiration Date: 9/14/2024

**NOT DRAWN TO SCALE**

**LEGEND**

	Sign		Delimitation Device with lights
	Cones		Delimitation Device
	Trailer Mounted Warning Arrow Board		Truck Mounted Attenuator
	Type 3 Barricade		Traffic Flow
	No Parking		Portable Demarcation Storage Sign (PDS)
	Flagger		Advance Warning Sign

**Traffic Control Plan # 1**  
**Flagging Operation**

**\*\* ALL DEVICES SHALL CONFORM TO CURRENT MUTCD \*\***

Plan only valid under certification if work is performed by preparing contractor

**LEGEND**

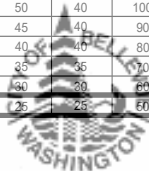
Speed	Taper Length In Feet				CHANNELIZATION DEVICE SPACING			SIGN SPACING	
	Merging	Shifting	Shoulder	Buffer	MPH	TAPER	TANGENT	MPH	"X"
25 or less	125'	63'	42'	155'	65	40	130	45+	500'
30	180'	90'	60'	200'	60	40	120	40	350'
35	245'	123'	82'	250'	55	40	110	35	350'
40	320'	160'	107'	305'	50	40	100	30	200'
45	540'	270'	180'	360'	45	40	90	30	200'
50	600'	300'	200'	425'	40	40	80	30	200'
55	660'	330'	220'	495'	35	35	70	30	200'
60	720'	360'	240'	570'	30	30	60	30	200'
65	780'	390'	260'	645'	25	25	50	30	200'
70	840'	420'	280'	730'	25	25	50	30	200'
75	900'	450'	300'	820'	25	25	50	30	200'

**Job Summary:**

PO/IB# \_\_\_\_\_  
 Location: 11 105th Ave SE  
 Bellevue, WA 98004

For: \_\_\_\_\_  
 Name: Jerry Sawetz  
 Date: October 24, 2022  
 Drawn By: Amanda Piotrowski  
 ATSSA Cert# 813619

Issued 01/13/2023



# Resource Protection Well Report

Submit one well report per well installed. See page two for instructions.

**Type of Work:**

- Construction  
 Decommission  $\Rightarrow$  Original NOI No. R59671

Ecology Well ID Tag No. BHN 108

Site Well Name RW1

Consulting Firm The Riley Group, Inc. (RGI)

Was a variance approved for this well/boring?  Yes  No

If yes, what was the variance for? \_\_\_\_\_

**WELL CONSTRUCTION CERTIFICATION:** I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported are true to my best knowledge and belief.

Driller  Trainee  Engineer  
 Name (Print Last, First Name) Riley, Paul  
 Driller/Engineer/Trainee Signature *Paul Riley*  
 License No. 2247  
 Company Name The Riley Group, Inc. (RGI)

If trainee box is checked, sponsor's license number: \_\_\_\_\_

Sponsor's signature \_\_\_\_\_

Notice of Intent No. AE76473

**Type of Well:**

- Resource Protection Well  Injection Point  
 Remediation Well  Grounding Well  
 Geotechnical Soil Boring  Ground Source Heat Pump  
 Environmental Boring  Other \_\_\_\_\_

$\hookrightarrow$   Soil-  Vapor-  Water-sampling

Property Owner Main Street Flats Owner, LLC

Well Street Address 10505 Main Street

City Bellevue County King

Tax Parcel No. 5223300005

Location (see instructions): \_\_\_\_\_ WWM  or EWM

SW  $\frac{1}{4}$ - $\frac{1}{4}$  SW  $\frac{1}{4}$ , Section 32 Town 2N Range 5E

Latitude (Example: 47.12345) 47.60964

Longitude (Example: -120.12345) -122.19998

(WGS 84 Coordinate System)

Borehole diameter 9 inches Casing diameter 4 inches

Static water level 27 ft below top of casing Date 03/20/23

Above-ground completion with bollards  Flush monument

$\hookrightarrow$  Stick-up of top of well casing \_\_\_\_\_ ft above ground surface

Start Date 03/20/23 Completed Date 03/20/23

Construction Design	Well Data	Driller's Log
	8X12 Monument	
	Hydrated Bentonite 1 ft. - 17 ft.	Steel Monument 0 - 1 ft.
Decommissioned - Hydrated Bentonite 0 - 41 ft.	2 inch SCH40 PVC Casing 0.5 ft.- 21 ft.	Sand with some silt 1 ft - 41 ft.
	Sand Pack approx. 17 ft. - 41 ft.	
	4 inch SCH40 PVC Screen 21 ft.- 41 ft.	
	Well depth = 41 ft. Below underground parking garage	Terminated at 41 ft.

## Resource Protection Well Report

Submit one well report per well installed. See page two for instructions.

### Type of Work:

- Construction  
 Decommission ⇒ Original NOI No. R59671

Ecology Well ID Tag No. BHN 194

Site Well Name RW2

Consulting Firm The Riley Group, Inc. (RGI)

Was a variance approved for this well/boring?  Yes  No

If yes, what was the variance for? \_\_\_\_\_

**WELL CONSTRUCTION CERTIFICATION:** I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported are true to my best knowledge and belief.

- Driller  Trainee  Engineer

Name (Print Last, First Name) Riley, Paul

Driller/Engineer/Trainee Signature *Paul Riley*

License No. 2247

Company Name The Riley Group, Inc. (RGI)

If trainee box is checked, sponsor's license number: \_\_\_\_\_

Sponsor's signature \_\_\_\_\_

Notice of Intent No. AE76473

### Type of Well:

- Resource Protection Well  Injection Point  
 Remediation Well  Grounding Well  
 Geotechnical Soil Boring  Ground Source Heat Pump  
 Environmental Boring  Other \_\_\_\_\_

↳  Soil-  Vapor-  Water-sampling

Property Owner Main Street Flats Owner, LLC

Well Street Address 10505 Main Street

City Bellevue County King

Tax Parcel No. 5223300005

Location (see instructions): \_\_\_\_\_ WWM  or EWM

SW 1/4-1/4 SW 1/4, Section 32 Town 2N Range 5E

Latitude (Example: 47.12345) 47.60964

Longitude (Example: -120.12345) -122.19996

(WGS 84 Coordinate System)

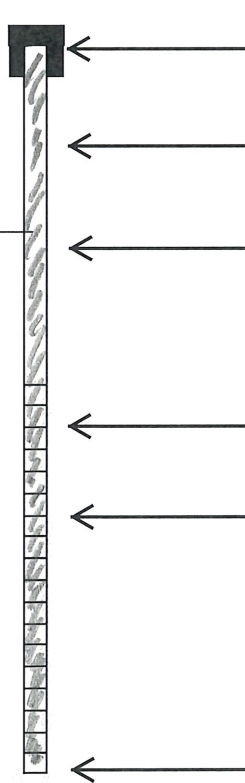
Borehole diameter 9 inches Casing diameter 4 inches

Static water level 30 ft below top of casing Date 03/20/23

- Above-ground completion with bollards  Flush monument

↳ Stick-up of top of well casing \_\_\_\_\_ ft above ground surface

Start Date 03/20/23 Completed Date 03/20/23

Construction Design	Well Data	Driller's Log
 <p>Decommissioned - Hydrated Bentonite 0 - 41 ft.</p>	<p>8X12 Monument</p> <p>Hydrated Bentonite 1 ft. - 18 ft.</p> <p>2 inch SCH40 PVC Casing 0.5 ft.- 22 ft.</p> <p>Sand Pack approx. 18 ft. - 41 ft.</p> <p>4 inch SCH40 PVC Screen 22 ft.- 41 ft.</p> <p>Well depth = 41 ft. Below underground parking garage</p>	<p>Steel Monument 0 - 1 ft.</p> <p>Sand with some silt 1 ft - 41 ft.</p> <p>Terminated at 41 ft.</p>

## Resource Protection Well Report

Submit one well report per well installed. See page two for instructions.

**Type of Work:**

- Construction  
 Decommission ⇒ Original NOI No. RE10736

Ecology Well ID Tag No. BIP588

Site Well Name MW5

Consulting Firm The Riley Group, Inc. (RGI)

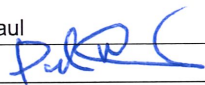
Was a variance approved for this well/boring?  Yes  No

If yes, what was the variance for? \_\_\_\_\_

**WELL CONSTRUCTION CERTIFICATION:** I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported are true to my best knowledge and belief.

Driller  Trainee  Engineer

Name (Print Last, First Name) Riley, Paul

Driller/Engineer/Trainee Signature 

License No. 2247

Company Name The Riley Group, Inc. (RGI)

If trainee box is checked, sponsor's license number: \_\_\_\_\_

Sponsor's signature \_\_\_\_\_

Notice of Intent No. AE76473

**Type of Well:**

- Resource Protection Well  Injection Point  
 Remediation Well  Grounding Well  
 Geotechnical Soil Boring  Ground Source Heat Pump  
 Environmental Boring  Other \_\_\_\_\_

↳  Soil-  Vapor-  Water-sampling

Property Owner Main Street Flats Owner, LLC

Well Street Address 10505 Main Street

City Bellevue County King

Tax Parcel No. 5223300005

Location (see instructions): \_\_\_\_\_ WWM  or EWM

SW 1/4-1/4 SW 1/4, Section 32 Town 2N Range 5E

Latitude (Example: 47.12345) 47.60977

Longitude (Example: -120.12345) -122.20016

(WGS 84 Coordinate System)

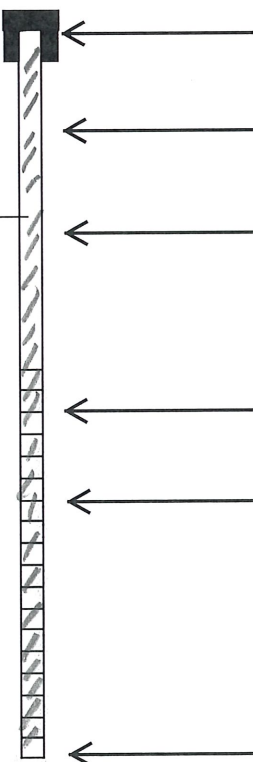
Borehole diameter 9 inches Casing diameter 2 inches

Static water level 51 ft below top of casing Date 03/7/23

Above-ground completion with bollards  Flush monument

↳ Stick-up of top of well casing \_\_\_\_\_ ft above ground surface

Start Date 03/7/23 Completed Date 03/7/23

Construction Design	Well Data	Driller's Log
 <p>Decommissioned - Hydrated Bentonite 0 - 65 ft.</p>	<p>8X12 Monument</p> <p>Hydrated Bentonite 1 ft. - 48 ft.</p> <p>2 inch SCH40 PVC Casing approx. 1 ft.- 50 ft.</p> <p>Sand Pack approx. 48 ft. - 65 ft.</p> <p>2 inch SCH40 PVC Screen approx. 50 ft.- 65 ft.</p> <p>Well depth = 65 ft.</p>	<p>Vault 0 - 1 ft.</p> <p>Sand with some silt 1 ft - 65 ft.</p> <p>Terminated at 65 ft.</p>

## Resource Protection Well Report

Submit one well report per well installed. See page two for instructions.

**Type of Work:**

- Construction  
 Decommission ⇒ Original NOI No. RE13232

Ecology Well ID Tag No. BJY188

Site Well Name MW6

Consulting Firm The Riley Group, Inc. (RGI)


Was a variance approved for this well/boring?  Yes  No

If yes, what was the variance for? \_\_\_\_\_

**WELL CONSTRUCTION CERTIFICATION:** I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported are true to my best knowledge and belief.

- Driller  Trainee  Engineer

Name (Print Last, First Name) Riley, Paul

Driller/Engineer/Trainee Signature 

License No. 2247

Company Name The Riley Group, Inc. (RGI)

If trainee box is checked, sponsor's license number: \_\_\_\_\_

Sponsor's signature \_\_\_\_\_

Notice of Intent No. AE76473

**Type of Well:**

- Resource Protection Well  Injection Point  
 Remediation Well  Grounding Well  
 Geotechnical Soil Boring  Ground Source Heat Pump  
 Environmental Boring  Other \_\_\_\_\_  
 Soil-  Vapor-  Water-sampling

Property Owner Main Street Flats Owner, LLC

Well Street Address 10505 Main Street

City Bellevue County King

Tax Parcel No. 5223300005

Location (see instructions): WWM  or EWM

SW ¼-¼ SW ¼, Section 32 Town 2N Range 5E

Latitude (Example: 47.12345) 47.60983

Longitude (Example: -120.12345) -122.19981

(WGS 84 Coordinate System)

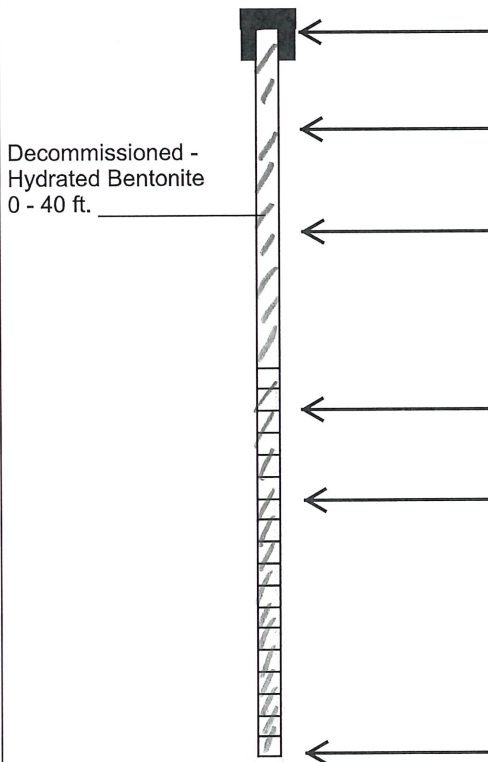
Borehole diameter 9 inches Casing diameter 2 inches

Static water level 29 ft below top of casing Date 03/7/23

Above-ground completion with bollards  Flush monument

Stick-up of top of well casing \_\_\_\_\_ ft above ground surface

Start Date 03/7/23 Completed Date 03/7/23

Construction Design	Well Data	Driller's Log
 <p>Decommissioned - Hydrated Bentonite 0 - 40 ft.</p>	<p>8X12 Monument</p> <p>Hydrated Bentonite 1 ft. - 23 ft.</p> <p>2 inch SCH40 PVC Casing approx. 1 ft.- 25 ft.</p> <p>Sand Pack approx. 23 ft. - 40 ft.</p> <p>2 inch SCH40 PVC Screen 25 ft.- 40 ft.</p> <p>Well depth = 40 ft. Below underground parking garage</p>	<p>Steel Monument 0 - 1 ft.</p> <p>Sand with some silt 1 ft - 40 ft.</p> <p>Terminated at 40 ft.</p>