

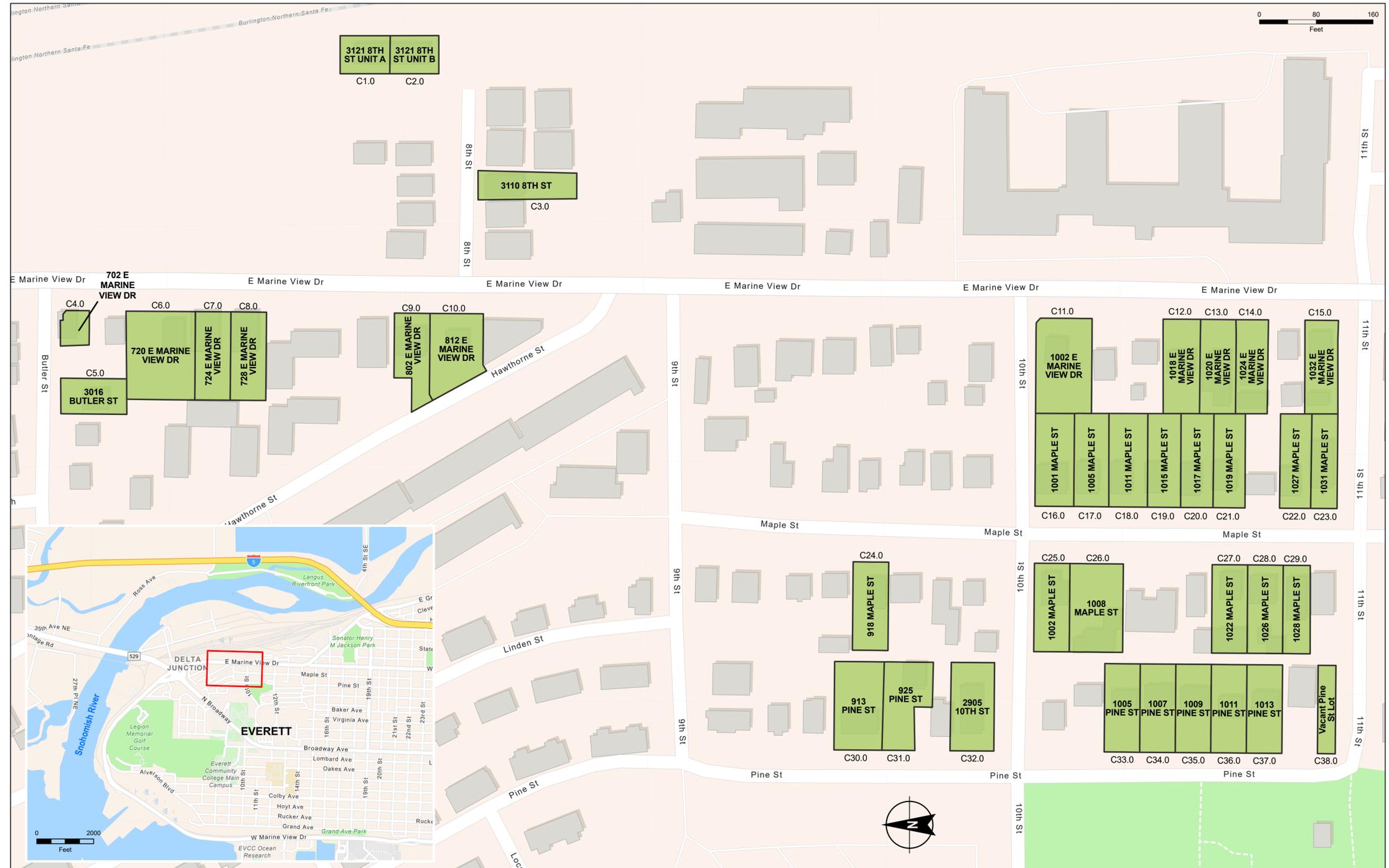


EVERETT SMELTER UPLANDS RESIDENTIAL 2020 CLEANUP GROUP EVERETT, WASHINGTON

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G1.1 NOTES AND LEGEND
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C2.0 3121 8TH ST UNIT B
C3.0 3110 8TH ST
C4.0 702 E MARINE VIEW DR
C5.0 3016 BUTLER ST
C6.0 720 E MARINE VIEW DR
C7.0 724 E MARINE VIEW DR
C8.0 728 E MARINE VIEW DR
C9.0 802 E MARINE VIEW DR
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C11.0 1002 E MARINE VIEW DR
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C100.0 Excavation Typical Sections and Details

SITE LOCATION MAP



DATA REFERENCES

- 1. IMAGERY SOURCE ESRI
2. HORIZONTAL DATUM AND PROJECTION: NAD 1983/1991 STATE PLANE WA NORTH FIPS 4601
3. VERTICAL DATUM: NAVD88

Table with columns: MARK, DATE APPR, DESCRIPTION, DATE APPR, MARK

Table with columns: DESIGNED BY: SUB, DATE: 02/23, REV. 0, DRAWN BY: CKD BY: MSA, JOB NUMBER: 050406806, REVIEWED BY: ARJ, SUBMITTED BY: GEOENGINEERS, FILE NAME: \\everett\project\lib\proj\10050406806\_021423.dwg, PLOT SCALE: AS SHOWN



EVERETT SMELTER UPLANDS RESIDENTIAL 2020 CLEANUP GROUP EVERETT, WASHINGTON COVER SHEET, KEY MAP, AND INDEX

SHEET REFERENCE NUMBER: G1.0 SHEET 1 OF 41





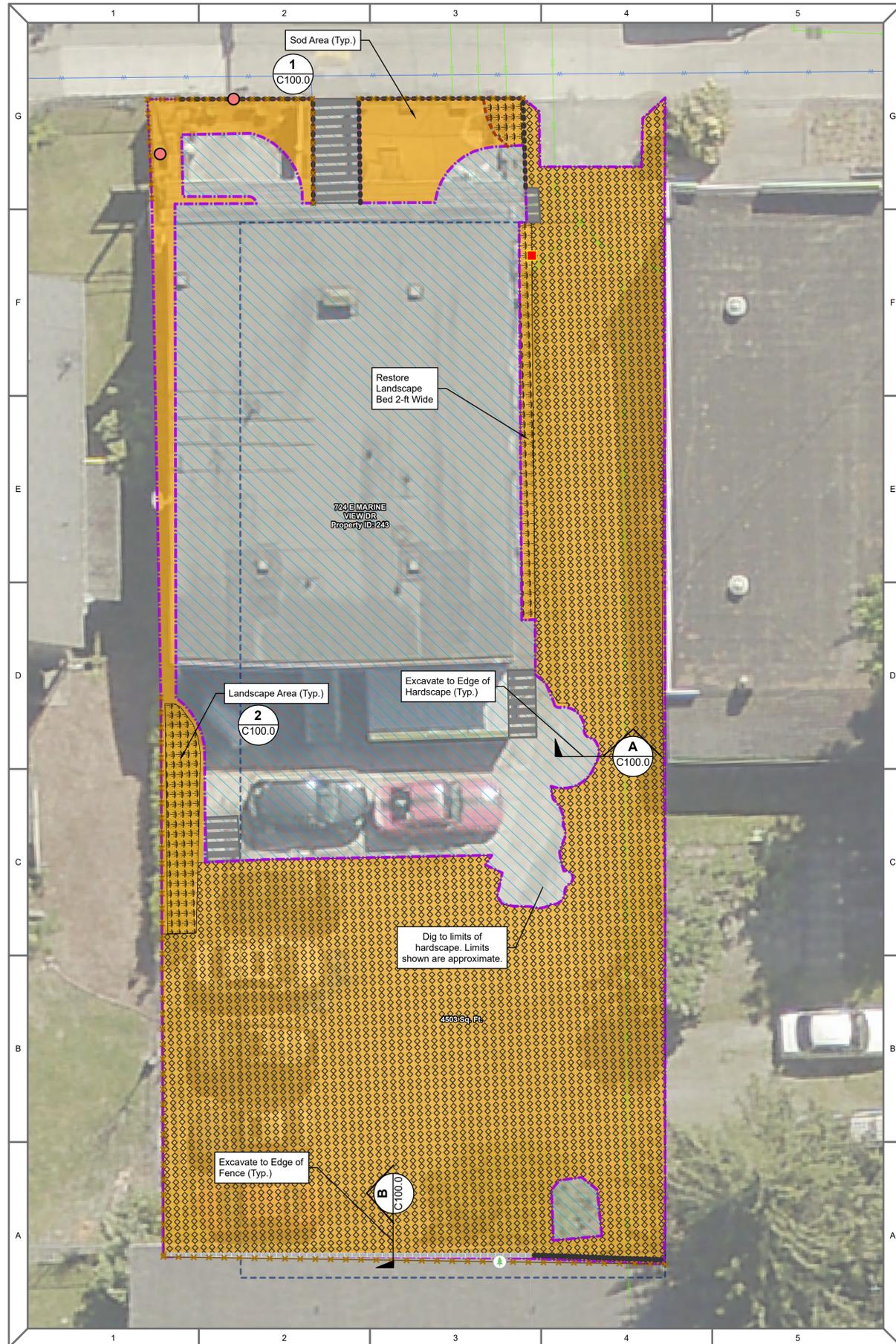












Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Laurel bushes (C1-D1), LB (D3-F3)	Cemented Block Borders (Entire DU)	Red Rhododendron (G3)	brick border and Cinder block steps (G3)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
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- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
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**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

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- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

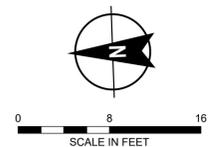
- Stairs
- Fence
- Retaining Wall
- Concrete Block Wall
- Rock Wall
- Cemented Brick Edging
- Tree
- Utility Pole
- Power Box
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SBJ	DATE: 02/23	REV. 0
DRAWN BY: MSA	CKD BY: KTF	JOB NUMBER: 050406806
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	PROJECT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 724 E Marine View Dr**  
**Parcel ID: 243**  
 Owner: Alan Pratt & Joseph Pratt

DRAWING REFERENCE NUMBER:  
**C7.0**  
 SHEET 9 OF 41





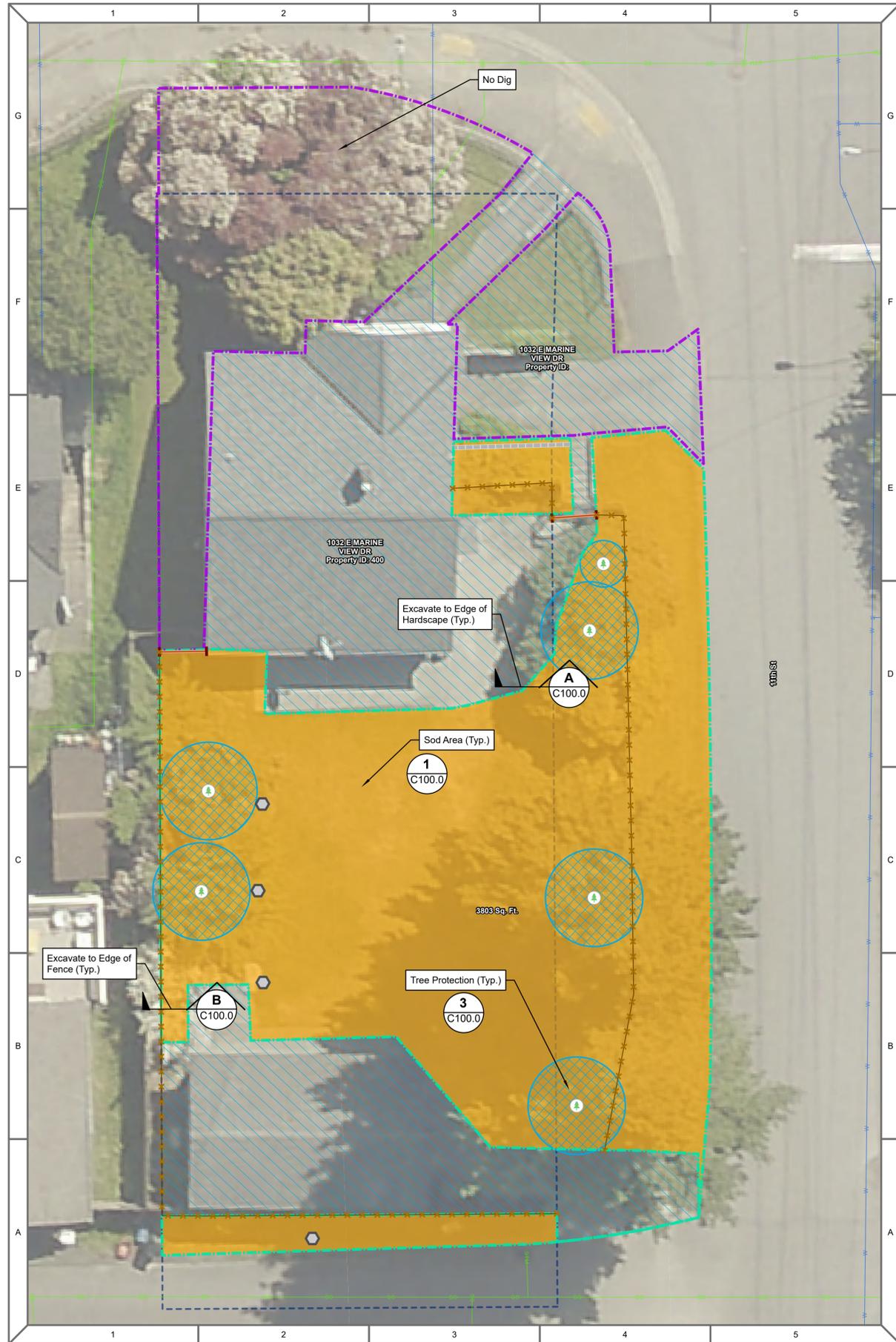












Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-B	Stones around tree (D4), Shrubs (C4-D4), Ring of stones around trees (B4-C4), Boulder (A2), Stones (B3-C3), Shrubs (B1-C1, replace with 3 arborvitae)	2 Trees (D4-E4), 2 Trees (B4-C4), 2 Plum trees (C1), Shrubs (B4)		Boulders (B2-C2), Drainage pipes (B2-D2, if identified reinstall to depth of 1-foot to drain away from house)

**Notes**

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- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

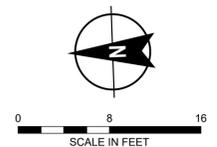
**Legend (Existing)**

- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Tree
- Boulder
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B

**Legend (Restoration)**



MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_Project_60pcent.aprx	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1032 E Marine View Dr**  
**Parcel ID: 400**  
 Owner: Donald Woods Jr. & Christa Woods

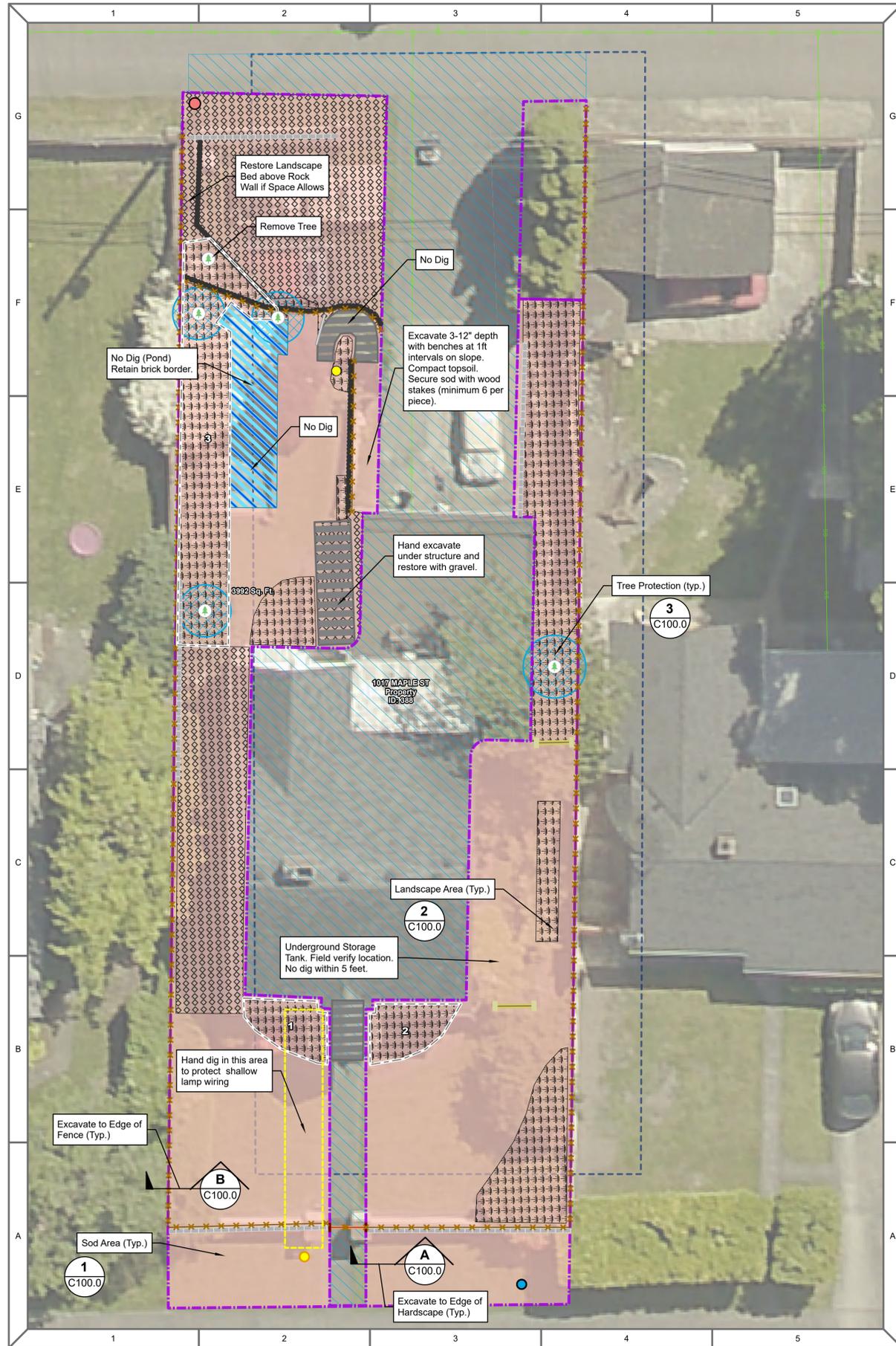
DRAWING REFERENCE NUMBER:  
**C15.0**  
 SHEET 17 OF 41











Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Brick edging (entire front yard), Stepping stones (C2-D2), Tree (F2, verify before removal), Hedge (A1-B1)	Underground Heating oil tank (C3; contractor to locate and protect, excavate surface layer only within 3 feet of tank perimeter), Tree (D1), Tree (D4), Clematis (C3), Wisteria vine (C3), 7 Arborvitae (E4-F4)	LB (A3, A4-B4; 2 red rhododendron), LB (D4-E4; 2 sword ferns, 3 bracken ferns), LB (D2-E2; 1 sword fern), LB (F2; 1 red rose bush), LB (E2; 1 lily, 1 bracken fern), LB (C3-C4; 5 blueberry bushes)	Bird Feeder (D1), Garden Arbor (D3)
1	Stones (B2)		LB (B2; 1 red rhododendron)	
2		Clematis Vine (B3)	LB (B3; 2 sword ferns)	
3		Japanese Maple and Red Tree (F2), Tree (D1)	LB (E2-F2; 1 lily, 1 fuschia, 3 small flowering plants)	

**Notes**

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**Demolition/Excavation**

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**Restoration**

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- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

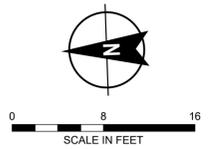
- Pond
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Garden Arbor
- Rock Wall
- Handrail
- Light Pole
- Tree
- Utility Pole
- Water Cleanout
- Lamp
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 24 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



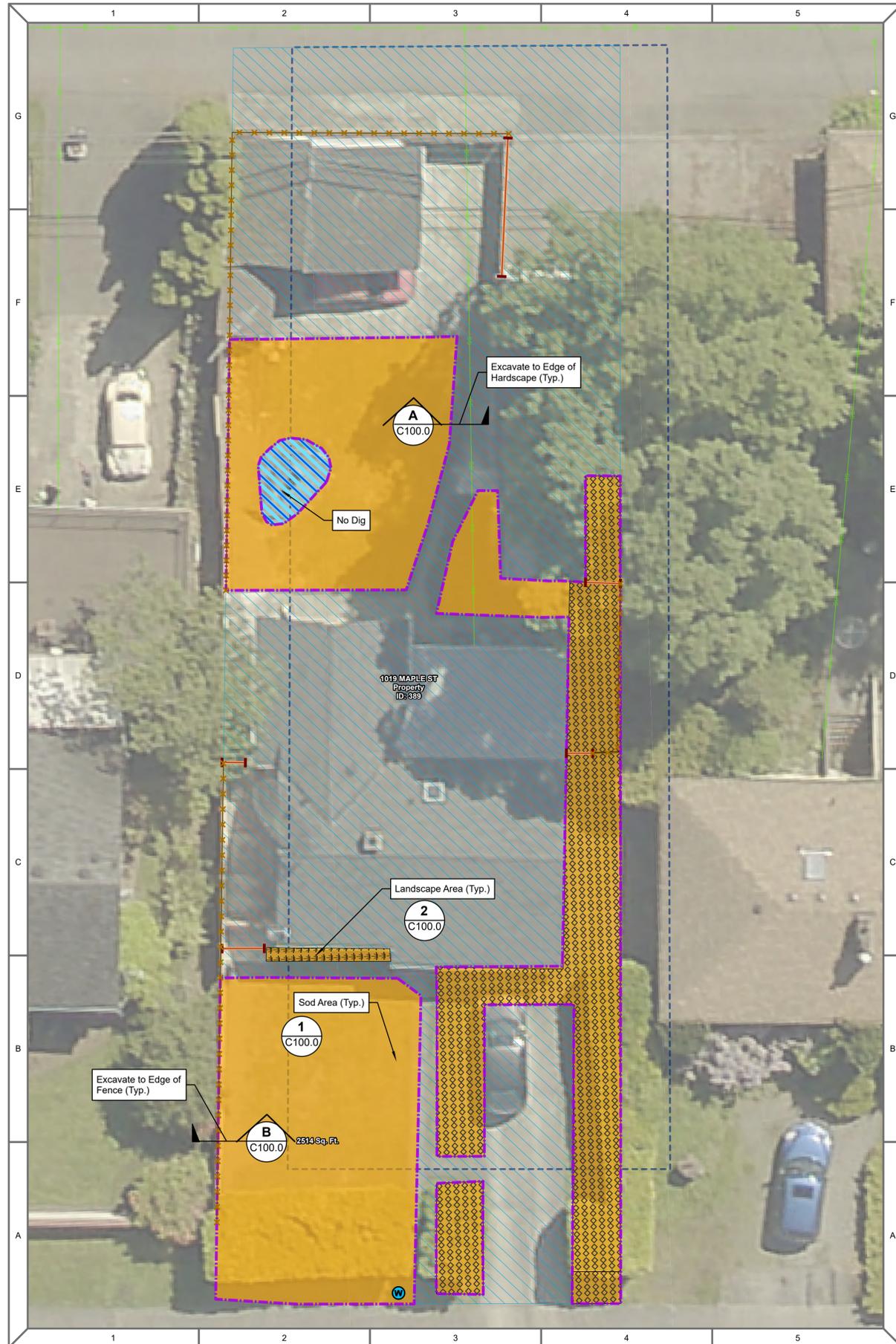
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DESIGNED BY: SUB	DATE: 02/23	REV: 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P101050406806_Project_60pct.dwg	PLT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1017 Maple St**  
**Parcel ID: 388**  
 Owner: Randie James and Steve James

DRAWING REFERENCE NUMBER:  
**C20.0**  
 SHEET 22 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Area east of gate to backyard (D4-E4, restore with gravel to 2 inches below hardscape elevation)		LB (C2)	

**Notes**

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**Restoration**

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- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Pond
- Fence
- Gate
- Water Meter
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



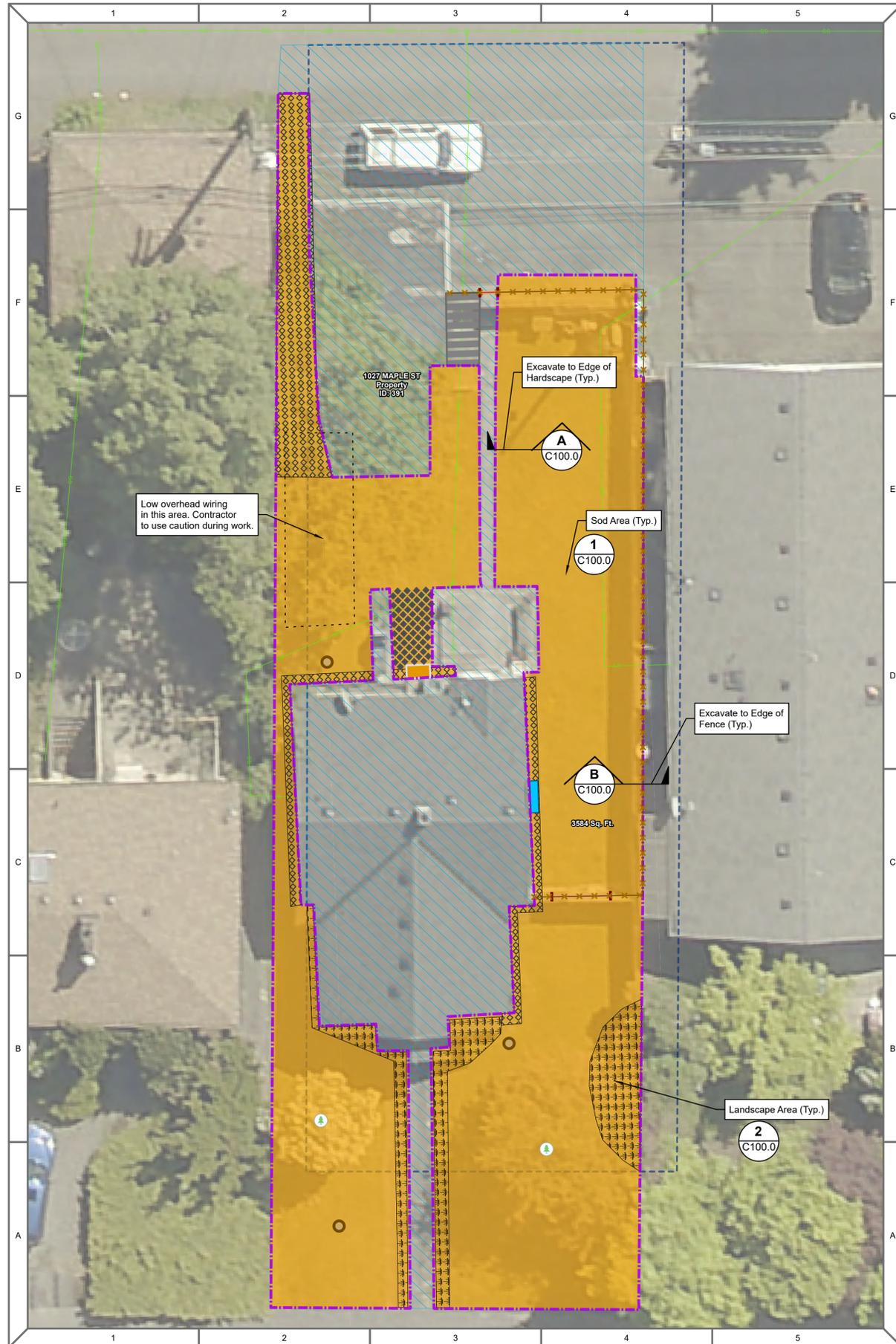
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pcent.aprx	PLT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1019 Maple St**  
**Parcel ID: 389**  
 Owner: Nicolas Pina-Perez

DRAWING REFERENCE NUMBER:  
**C21.0**  
 SHEET 23 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Tree (B2), Perimeter of house (B2-D2, D3-D4, B4-C4, restore with 1-foot wide gravel buffer)	Compressor (C4, maintain 1-ft buffer around compressor then slope dig area 1H:1V), Railroad Ties (D2)	LB (B3-B4), Shrub (B4), Hawthorne Tree (B4), LB (B3; 1 laurel bush, 1 yucca plant), 2 LBs (A3-B3), LB (B2-B3; 1 laurel bush)	Pavers (D3)

**Notes**

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**Demolition/Excavation**

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- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

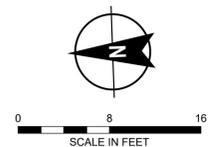
- Pavers
- Stairs
- Crawlspace Access
- Compressor
- Fence
- Gate
- Stump
- Tree
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



MARK	DESCRIPTION	DATE	APPR.	MARK	DESCRIPTION	DATE	APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1027 Maple St**  
**Parcel ID: 391**  
 Owner: Yamykh Vasily

DRAWING REFERENCE NUMBER:  
**C22.0**  
 SHEET 24 OF 41



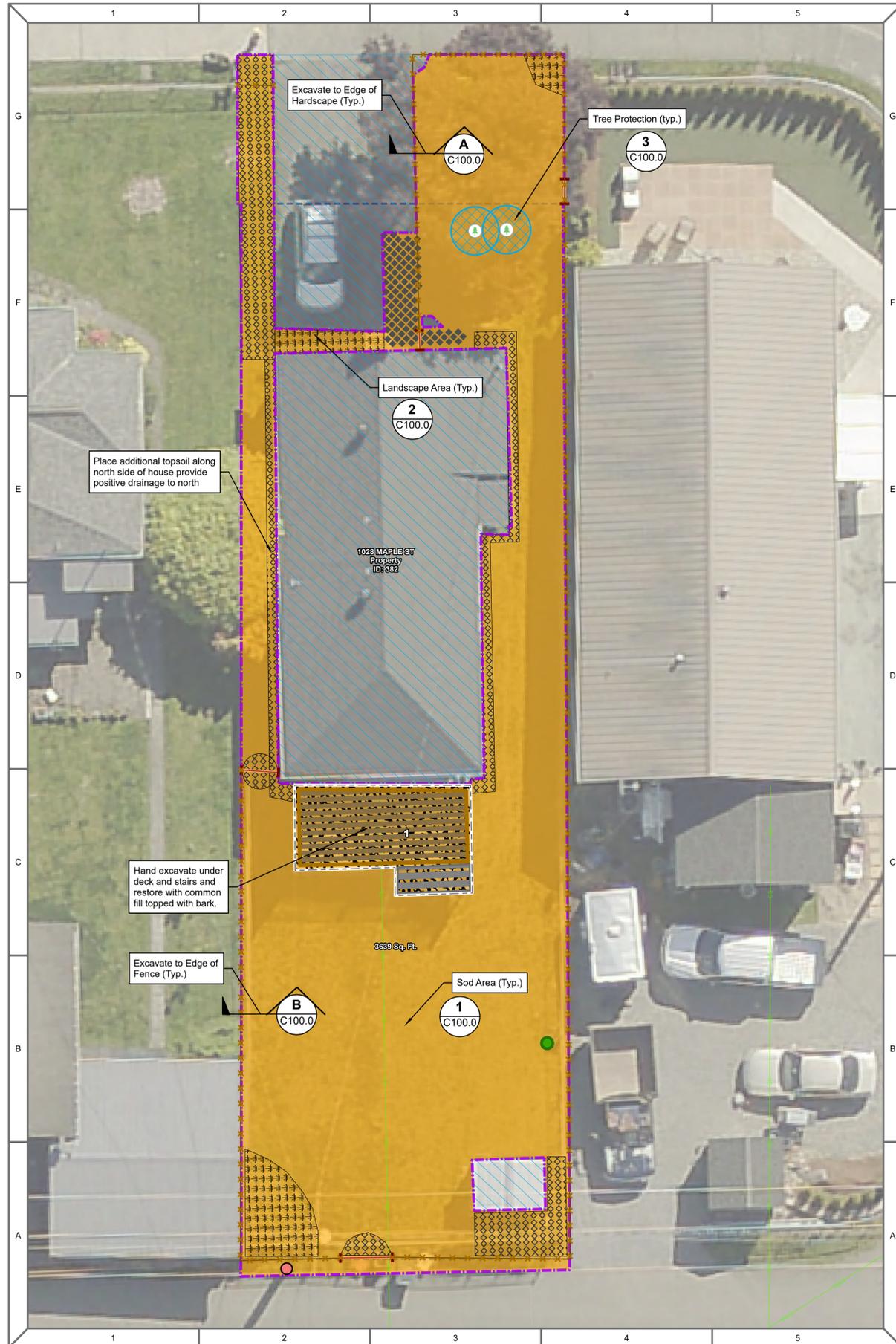












Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Perimeter of house (C2-F2, C3-F3, restore with 1-ft wide gravel buffer)	2 Trees (F3, F4)	3 LBs (A2, F2, G4), Bush (B4)	Pavers (F3)

**Notes**

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**Legend (Existing)**

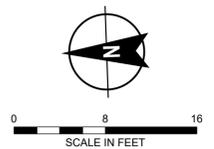
- Deck
- Gate
- Tax Parcel Boundary
- Pavers
- Tree
- Water
- Stairs
- Utility Pole
- Gas
- Approximate
- Bush
- Electric
- Critical Root Zone
- Hard Surface
- Sewer
- Fence
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark



MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV: 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: KTF		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	
	PROJECT SCALE: SEE DRAWING	

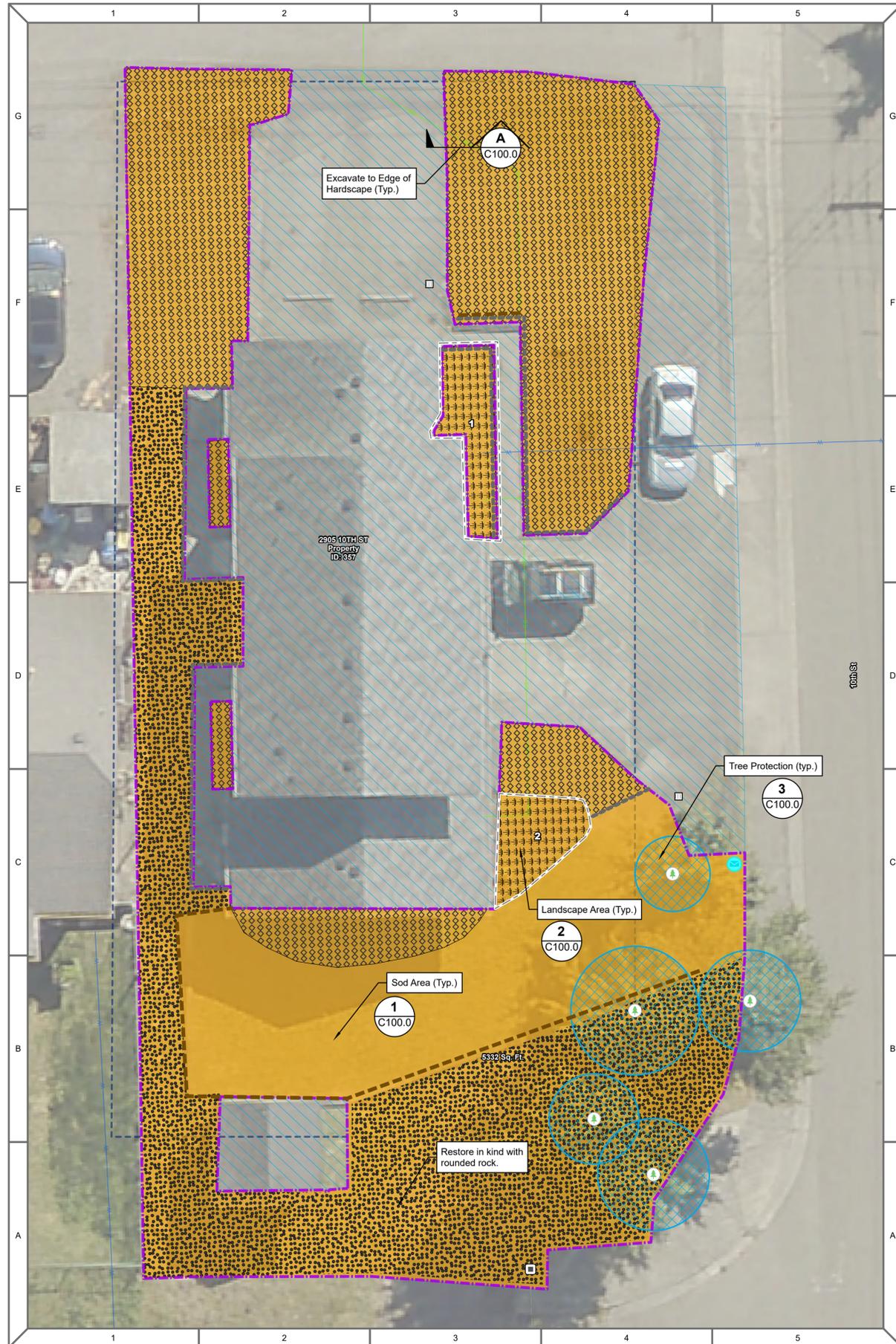


EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1028 Maple St**  
**Parcel ID: 382**  
 Owner: Lauren & Colby White

DRAWING REFERENCE NUMBER:  
**C29.0**  
 SHEET 31 OF 41







Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Brick edging (C4), brick edging (E3-E4, F3-F4), brick edging (B2, C1-C3)	Five Large trees (A4, B4, C4-C5), Railroad ties (B1-B4, C1, F3)		
1			LB (E3-F3; 2 heather plants)	Brick edging (E3-F3)
2			LB (C3-C4; 2 shrubs, 1 pink rose, 1 rhododendron)	Brick edging (C3-C4)

**Notes**

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**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

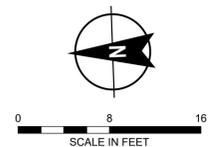
- Approximate Critical Root Zone
- Block Edging
- Railroad Tie Edge
- Tree
- Catch Basin
- Mailbox
- Speed Limit Sign
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Rounded Rock



MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pcent.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 2905 10th St**  
**Parcel ID: 357**  
 Owner: Yasmeen & Abdul Habib

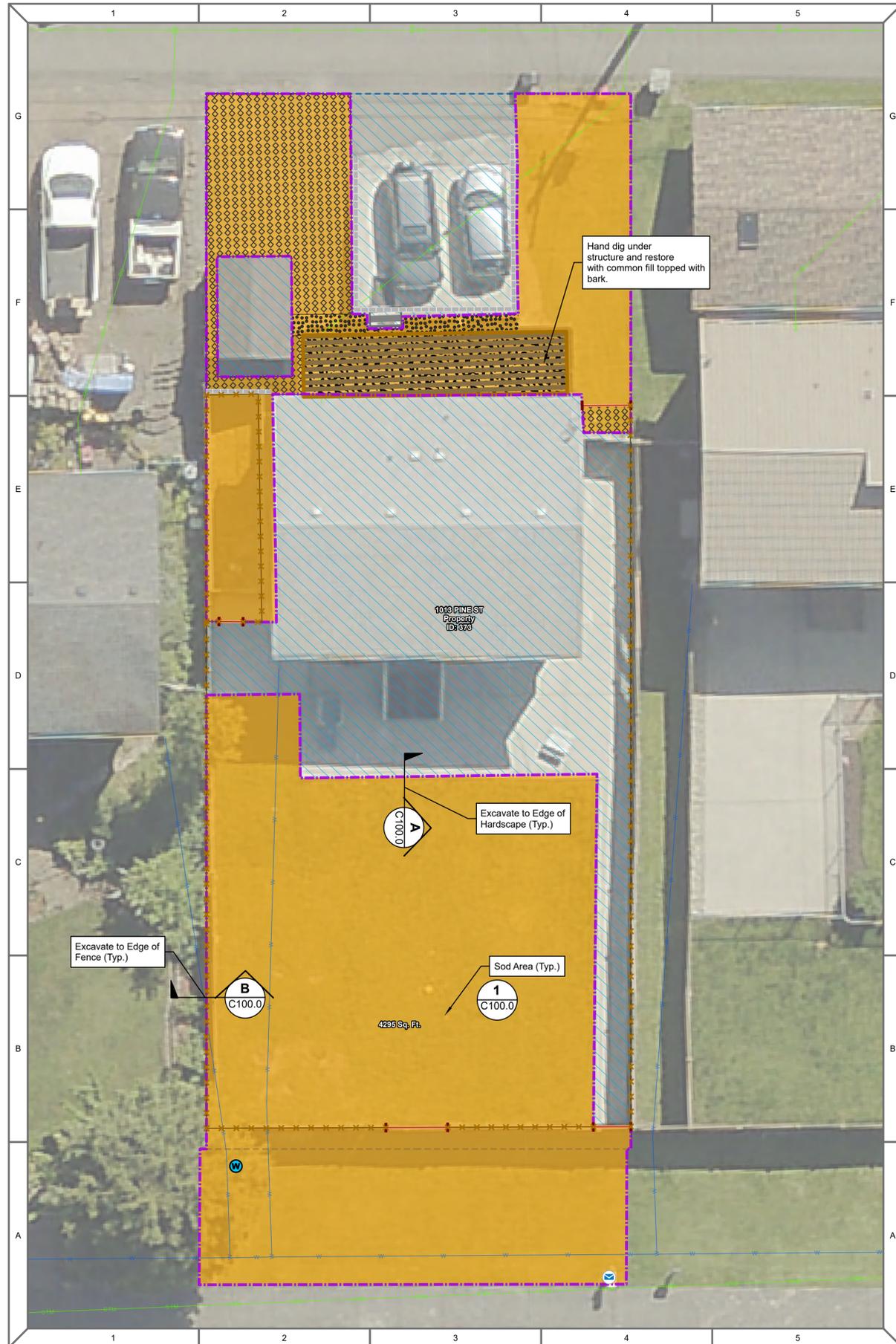
DRAWING REFERENCE NUMBER:  
**C32.0**  
 SHEET 34 OF 41











Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		Water meter (A2, re-grade area to drain toward street)		River rock (F3-F4; wash prior to reinstall)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

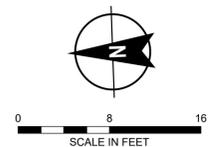
- Deck
- Stairs
- Fence
- Gate
- Retaining Wall
- Water Meter
- Mailbox
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Bark
- Restore to Rounded Rock



MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P101050406806_Project_60pct.dwg	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1013 Pine St**  
**Parcel ID: 373**  
 Owner: Loretta & Robert Kahlor

DRAWING REFERENCE NUMBER:  
**C37.0**  
 SHEET 39 OF 41



