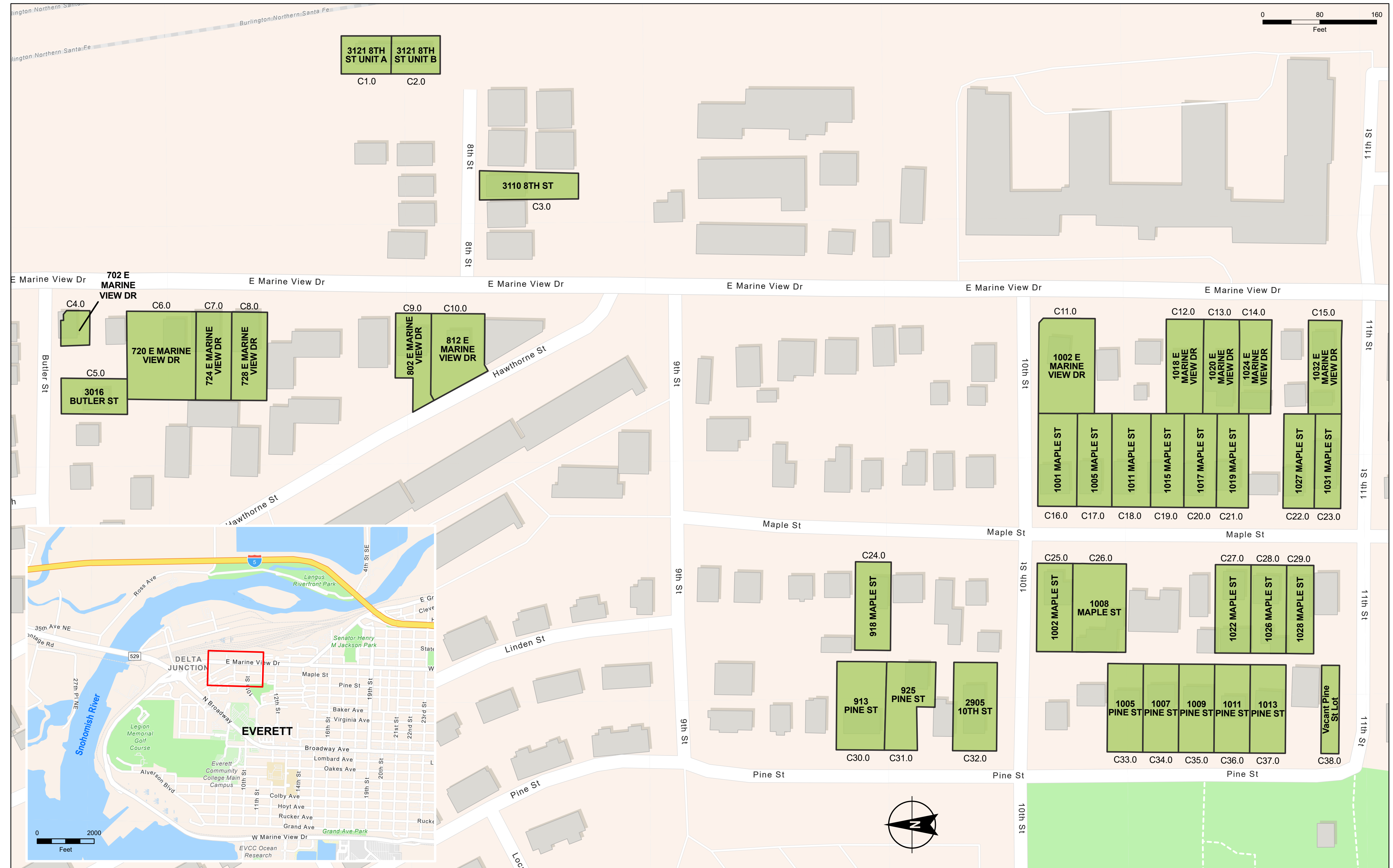


EVERETT SMELTER UPLANDS RESIDENTIAL 2020 CLEANUP GROUP EVERETT, WASHINGTON

DRAWING INDEX

- G1.0 COVER SHEET, KEY MAP, AND INDEX
G1.1 NOTES AND LEGEND
C1.0 3121 8TH ST UNIT A
C2.0 3121 8TH ST UNIT B
C3.0 3110 8TH ST
C4.0 702 E MARINE VIEW DR
C5.0 3016 BUTLER ST
C6.0 720 E MARINE VIEW DR
C7.0 724 E MARINE VIEW DR
C8.0 728 E MARINE VIEW DR
C9.0 802 E MARINE VIEW DR
C10.0 812 E MARINE VIEW DR
C11.0 1002 E MARINE VIEW DR
C12.0 1018 E MARINE VIEW DR
C13.0 1020 E MARINE VIEW DR
C14.0 1024 E MARINE VIEW DR
C15.0 1032 E MARINE VIEW DR
C16.0 1001 MAPLE ST
C17.0 1005 MAPLE ST
C18.0 1011 MAPLE ST
C19.0 1015 MAPLE ST
C20.0 1017 MAPLE ST
C21.0 1019 MAPLE ST
C22.0 1027 MAPLE ST
C23.0 1031 MAPLE ST
C24.0 918 MAPLE ST
C25.0 1002 MAPLE ST
C26.0 1008 MAPLE ST
C27.0 1022 MAPLE ST
C28.0 1026 MAPLE ST
C29.0 1028 MAPLE ST
C30.0 913 PINE ST
C31.0 925 PINE ST
C32.0 2905 10TH ST
C33.0 1005 PINE ST
C34.0 1007 PINE ST
C35.0 1009 PINE ST
C36.0 1011 PINE ST
C37.0 1013 PINE ST
C38.0 VACANT PINE ST LOT
C100.0 Excavation Typical Sections and Details

SITE LOCATION MAP



DATA REFERENCES

- 1. IMAGERY SOURCE ESRI
2. HORIZONTAL DATUM AND PROJECTION: NAD 1983/1991 STATE PLANE WA NORTH FIPS 4601
3. VERTICAL DATUM: NAVD88

Table with columns: MARK, DATE APPR, DESCRIPTION, DATE APPR, MARK

Table with columns: DESIGNED BY: SUB, DATE: 02/23, REV. 0, DRAWN BY: MSA, JOB NUMBER: 050406806, REVIEWED BY: ARJ, FILE NAME: Project\_050406806.dwg, PLOT SCALE: AS SHOWN



EVERETT SMELTER UPLANDS RESIDENTIAL 2020 CLEANUP GROUP EVERETT, WASHINGTON COVER SHEET, KEY MAP, AND INDEX

SHEET REFERENCE NUMBER: G1.0 SHEET 1 OF 41

**GENERAL CONSTRUCTION NOTES:**

1. PLANS, SECTIONS, AND DETAILS ARE BASED ON CURRENTLY AVAILABLE CITY OF EVERETT GIS INFORMATION. FIELD VERIFY ALL DIMENSIONS WHERE NEEDED TO ACCOMPLISH THE WORK AND CONTACT ECOLOGY OR ECOLOGY REPRESENTATIVE IF DISCREPANCIES ARE DISCOVERED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE WASHINGTON STATE LABOR AND INDUSTRIES STANDARDS, FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, AND OTHER APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. PROTECT EXISTING FEATURES THAT ARE TO REMAIN IN PLACE FROM DAMAGE. PROTECT ALL EXISTING BUILDINGS, STRUCTURES, FACILITIES, AND HARDSCAPES. ALL IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE EXPEDITIOUSLY REPAIRED OR RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE, WITHOUT ADDITIONAL COMPENSATION. THIS INCLUDES DAMAGE TO GRASS OR OTHER VEGETATION.
4. ALL SITE FEATURES ARE APPROXIMATE BASED ON VISUAL OBSERVATIONS FROM SITE VISIT AND LANDOWNER AGREEMENT INFORMATION PROVIDED BY ECOLOGY.
5. RESTORE OR REPLACE ALL SURVEY MONUMENTS THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION WITH EQUIVALENT MONUMENTS, PER SECTION 322-120-040 WAC AND CITY OF EVERETT DESIGN AND CONSTRUCTION STANDARDS, AT NO ADDITIONAL EXPENSE.
7. DO NOT ACCEPT DIRECTION OF WORK FROM PROPERTY OWNERS/TENANTS. PROMPTLY DIRECT PROPERTY OWNER OR TENANT TO CONTACT ECOLOGY, OR ECOLOGY REPRESENTATIVE IF PROPERTY OWNERS/TENANTS REQUESTS A CHANGE FROM THE PROJECT MANUAL. CHANGES MADE AT PROPERTY OWNERS AND/OR TENANTS REQUEST WITHOUT WRITTEN AUTHORIZATION FROM ECOLOGY MAY REQUIRE THE CONTRACTOR TO PERFORM THE WORK ACCORDING TO THE PROJECT MANUAL AT NO ADDITIONAL COST TO ECOLOGY.
8. SITE MAPS/PLANS REPRESENT APPROXIMATE SITE CONDITIONS WHEN CREATED AND MAY DIFFER FROM CONSTRUCTION CONDITIONS. SITE FEATURES, ESPECIALLY VEGETATION, MAY HAVE BEEN CHANGED OR REMOVED BY PROPERTY OWNERS/TENANTS. IF SITE EXISTING CONDITIONS ASSESSMENT (SECTION 02 22 00) CONDITIONS DIFFER FROM THOSE IN THE PROJECT MANUAL, OBTAIN GUIDANCE FROM ECOLOGY OR ECOLOGY REPRESENTATIVE VIA A REQUEST FOR INFORMATION (SECTION 01 26 13). SITE MAPS/PLANS WERE NOT PREPARED BY A LICENSED SURVEYOR AND ARE PROVIDED WITHOUT WARRANTY OF THEIR ACCURACY OR COMPLETENESS AND ARE ONLY A GENERAL REFERENCE TO PROBABLE SITE CONDITIONS.

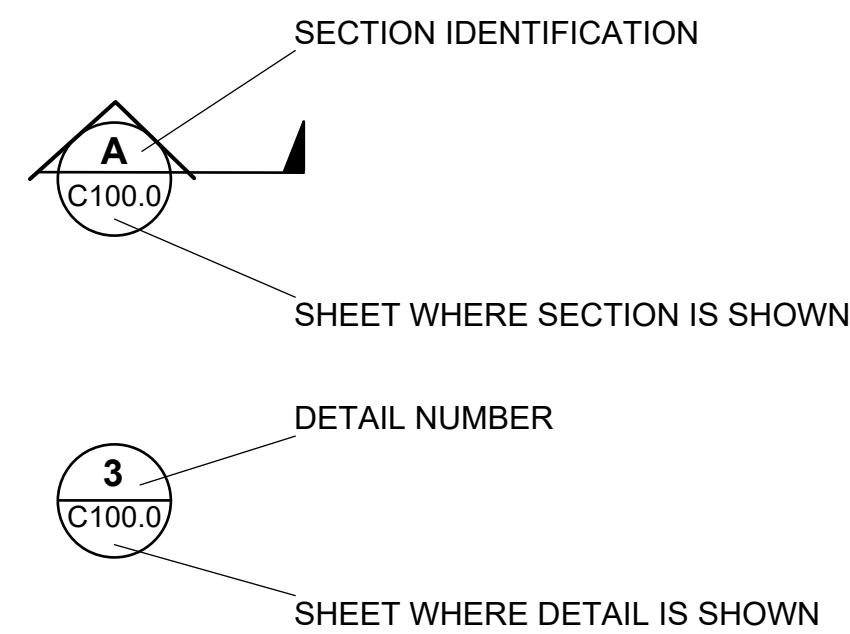
**UTILITIES:**

1. LOCATE ALL UNDERGROUND UTILITIES USING PUBLIC (1-800-424-5555, WWW.DIGSAFEWA.COM, WWW.WASHINGTON811.COM) AND PRIVATE UTILITY LOCATION SERVICES PRIOR TO START OF CONSTRUCTION. PUBLIC LOCATES ARE FOR PUBLIC ROW AND PRIVATE LOCATES ARE FOR PRIVATE PROPERTY. MAINTAIN SUCH UTILITY LOCATIONS THROUGHOUT PROJECT WORK, AS NEEDED, TO COMPLETE WORK.
2. PRIOR TO THE START OF CONSTRUCTION, LOCATE ALL EXISTING UTILITIES IN AND AROUND THE AREAS OF CONSTRUCTION. POTHOLE FOR EXISTING UTILITIES PRIOR TO SUBMITTAL OF SHOP DRAWINGS FOR POINTS OF CONNECTIONS.
3. PRIOR TO ANY EXCAVATION IN THE VICINITY OF ANY EXISTING UNDERGROUND FACILITIES (E.G., STREET LIGHTING, ROADWAY, ETC.), NOTIFY THE RESPECTIVE OWNERS OR AGENCIES RESPONSIBLE FOR SUCH FACILITIES NOT LESS THAN 3 DAYS OR MORE THAN 7 DAYS PRIOR TO EXCAVATION SO THEY CAN BE PRESENT DURING SUCH WORK.
4. PROTECT ALL EXISTING UTILITIES AND FACILITIES.
5. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND GIS FILES PROVIDED BY THE CITY OF EVERETT, BUT ARE NOT SURVEYED LOCATIONS. FIELD VERIFY ALL LOCATIONS AND ELEVATIONS AND TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT UTILITY LINES WHETHER SHOWN OR NOT SHOWN. ALL UTILITIES LOCATED AS PART OF THE WORK SHALL BE INCLUDED IN AS-BUILT DRAWINGS AS SPECIFIED.
6. PRIOR TO ANY CONNECTION TO AN EXISTING UTILITY, COORDINATE WITH THE UTILITY OWNER.

**ABBREVIATIONS**

APPROX	APPROXIMATE OR APPROXIMATELY
BMP	BEST MANAGEMENT PRACTICES
CRZ	CRITICAL ROOT ZONE (SEE DETAIL 3 ON SHEET C100.0 FOR DEFINITION)
CY	CUBIC YARD
dbh	TREE DIAMETER AT BREST HEIGHT IN INCHES (SEE DETAIL 3 ON SHEET C100.0 FOR DEFINITION)
DU	DECISION UNIT (SEE SECTION 01 42 00 REFERENCES, ARTICLE 1.0 FOR DEFINITION)
EL	ELEVATION/PEOS EQUIVALENT OPENING SIZE
LB	LANDSCAPE BED
ESC	EROSION/SEDIMENTATION CONTROL
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
MW	MONITORING WELL
NTS	NOT TO SCALE
OC	ON CENTER
REQ'D	REQUIRED
ROW	RIGHT OF WAY
SPECS	SPECIFICATIONS
ST	STREET
SWMMWW	STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON
SWPPP	STORMWATER POLLUTION PREVENTION PLAN
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UST	UNDERGROUND STORAGE TANK
VERT	VERTICAL
WAC	WASHINGTON ADMINISTRATIVE CODE
YD	YARD
" OR IN	INCHES
' OR FT	FEET

**SHEET SYMBOLS**



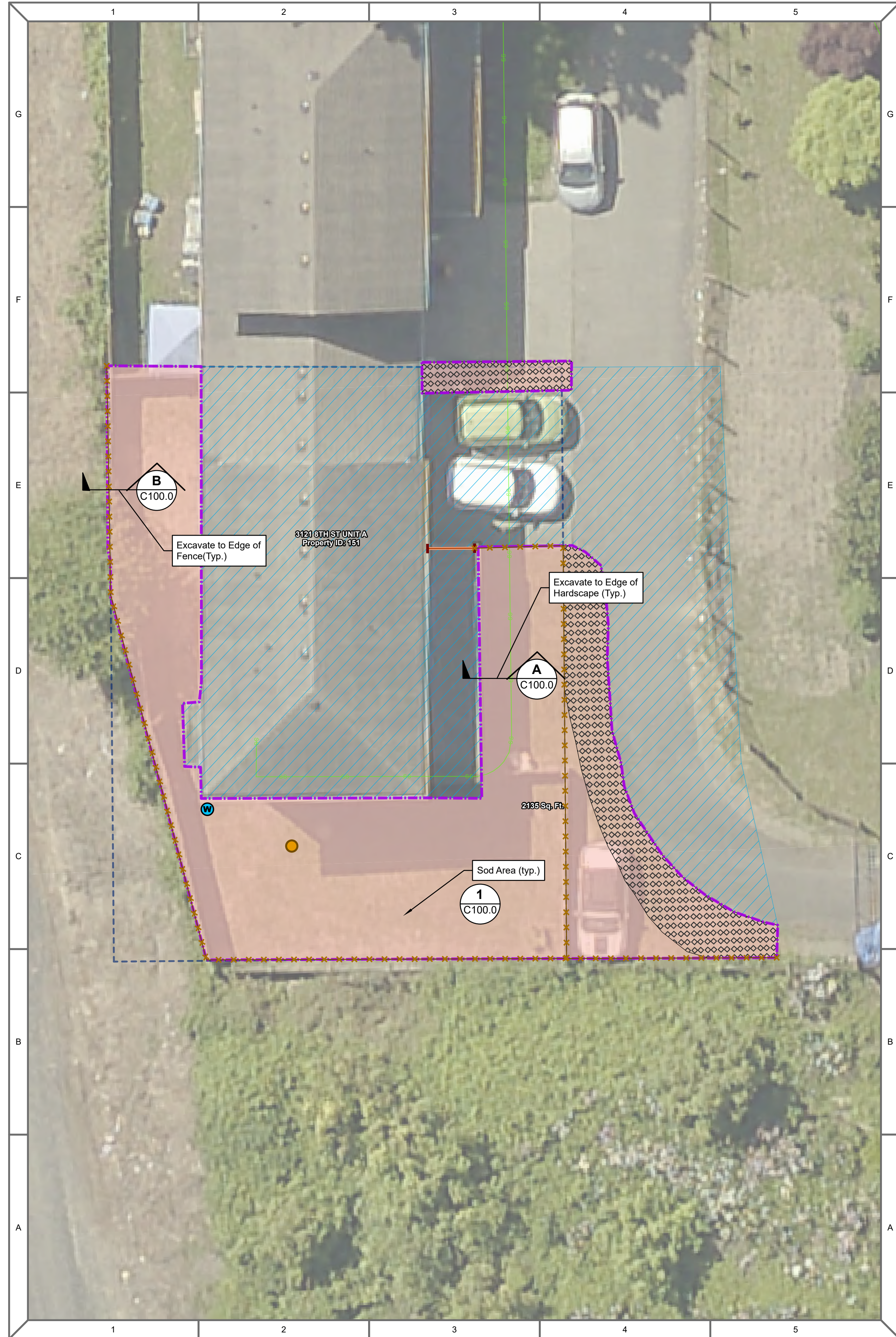
MARK	DESCRIPTION	DATE	APPR.	MARK

DESIGNED BY: SJB	DATE: 02/23	REV 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
	CKD BY: KTF	
	REVIEWED BY: ARJ	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_050406806.dwg	
	PLT SCALE: SEE DRAWING	

EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON

**NOTES AND LEGEND**

DRAWING  
REFERENCE  
NUMBER:  
**G1.1**  
SHEET 2 OF 41



No Table For This Property

### Notes

#### General

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

#### Demolition/Excavation

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

#### Restoration

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

#### Legend (Existing)

- ✕✕ Fence
- Sewer Pump
- Water
- Gate
- ▨ Hard Surface
- Gas
- ⊙ Water Meter
- ▭ Tax Parcel Boundary
- Electric
- Sewer
- Drain

#### Legend (Remediation)

- Dig to 24 Inches
- Decision Unit A

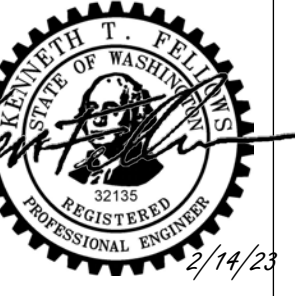
#### Legend (Restoration)

- ▨ Restore to Gravel



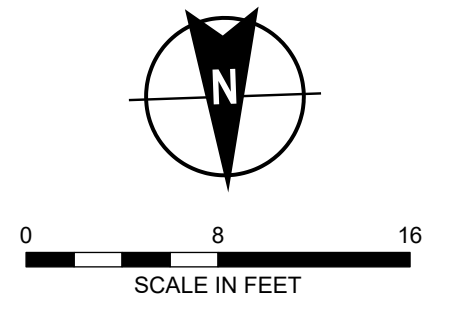
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

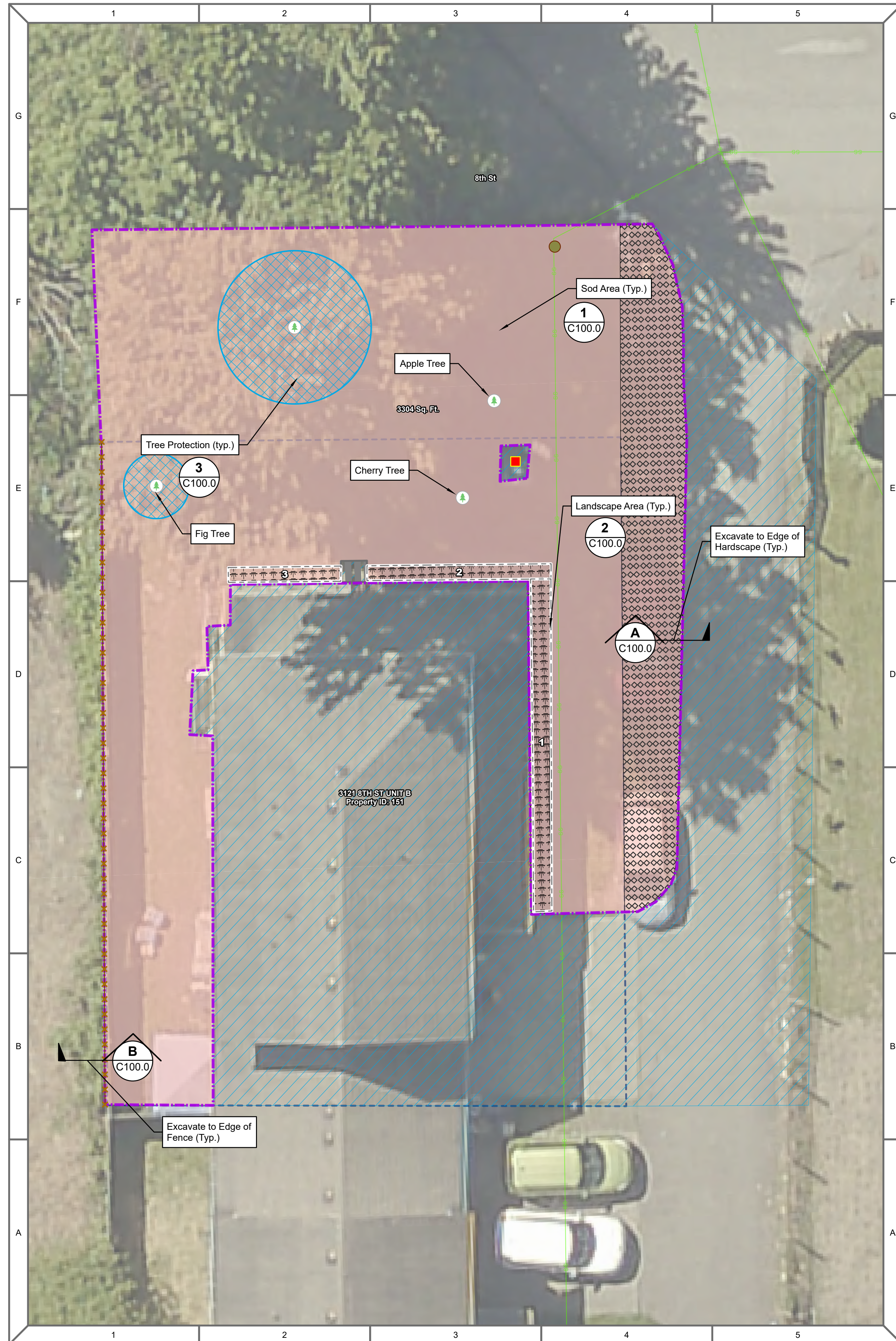
DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 3121 8th St Unit A**  
**Parcel ID: 151**  
 Owner: Matthew Ghingold & Joshua Shlemmer

DRAWING REFERENCE NUMBER:  
**C1.0**  
 SHEET 3 OF 41





Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Gladiola (E3)	Tree (F2), Fig Tree (E1)	Apple Tree (E3), Cherry Tree (E3)	
1			LB (C4-D4, restore 2 ft wide; 6 gladiolas, 8 crocosmia, 4 yellow dahlias, 1 red Mister Lincoln Rose, 1 pink promise rose)	
2			LB (D3-D4, restore 2 ft wide), Berry plants (D3-D4; grape, raspberry, blueberry)	
3	LB (E2, restore 2 ft wide LB)			

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Stairs
- Approximate
- Critical Root Zone
- Fence
- Tree
- Manhole
- Power Box
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 24 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed

MARK	DESCRIPTION	DATE APPR.	MARK	DATE APPR.	DESCRIPTION

DESIGNED BY: SUB  
DRAWN BY: CKD BY: JTF  
REVIEWED BY: ARJ  
SUBMITTED BY: GEOENGINEERS

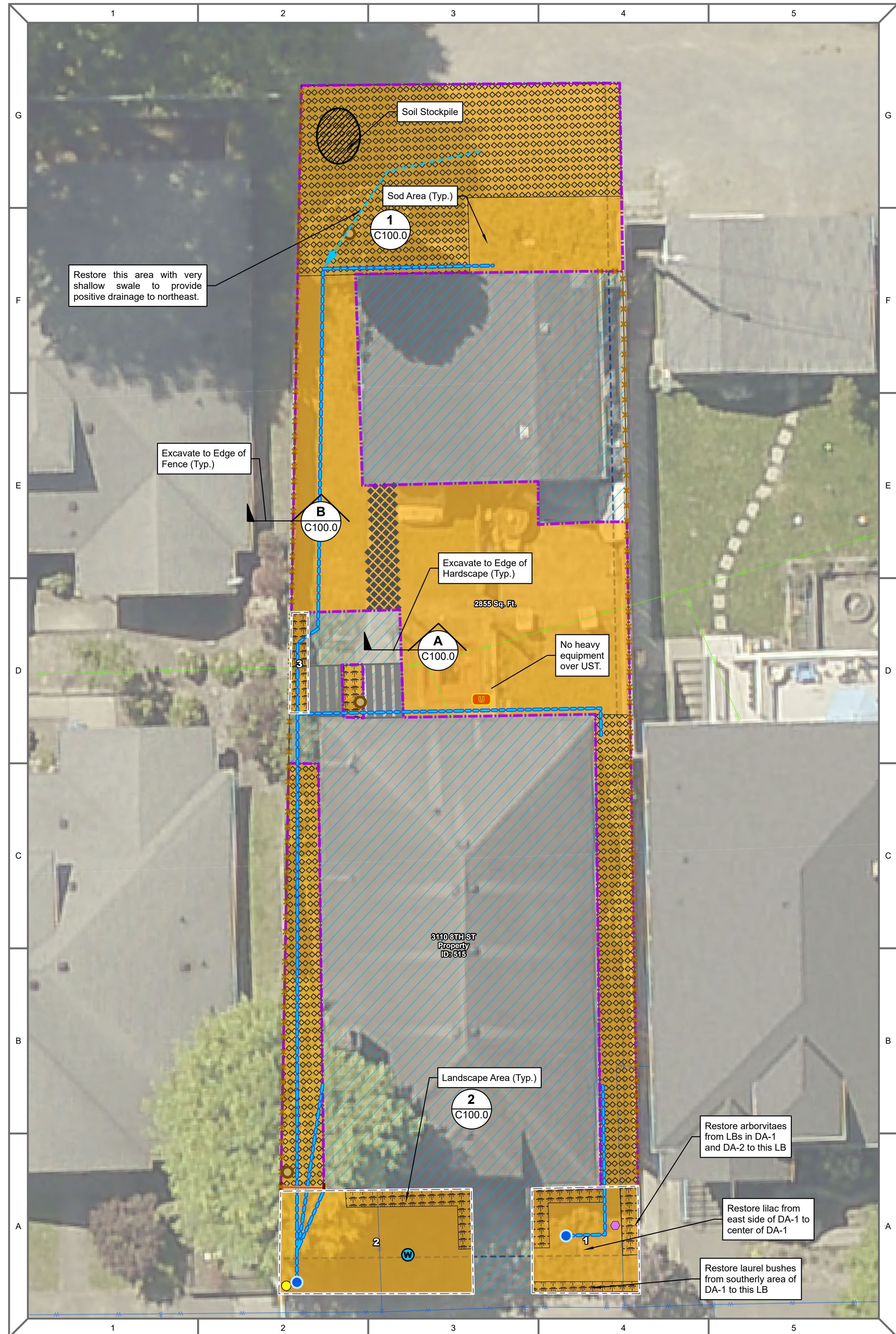
DATE: 02/23  
JOB NUMBER: 050406806

REV. 0

FILE NAME: 050406806\_Project\_60pcnt.aprx  
PLOT SCALE: SEE DRAWING

EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
**Address: 3121 8th St Unit B**  
**Parcel ID: 151**  
Owner: Krishna Yudha & Ina Khikmawati

DRAWING REFERENCE NUMBER:  
**C2.0**  
SHEET 4 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Soil stockpile (G2, estimated quantity 15 cubic yards), Bricks (A2)	Underground Storage Tank (D3, Contractor to locate and protect), Underground drainage piping/french drains (A2-F2, F3, D2-D4)		Pavers (D3-E3)
1	Plants (A4), LB (A4, restore 18" wide)		Lilac (A4), and arborvitae (A4). Specific planting locations to be provided.	
2	Plants (A2-A3), Non-mortared bricks (A2-A3), Raised LB (A2-A3, owners to remove rock wall and restore LB at grade with grass; restore 18" wide), LB (A2-A3, restore 18" wide)	Underground drainage piping and outlet (A2)	Provide replacement arborvitae for each arborvitae removed. Replacement arborvitae to be planted in Detail Area (DA) 1.	
3	LB (D2, restore 24" wide)			

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

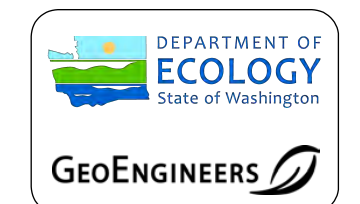
Pavers	French Drain/Drain Pipe	UST	Water
Stairs	Light Pole	Lilac	Gas
Soil Stockpile	Stump	Drainage Outlet	Electric
Fence	Water Meter	Hard Surface	Sewer
Gate	Tax Parcel Boundary	Water	Drain

**Legend (Remediation)**

Dig to 12 Inches
Decision Unit A
Detail Area (1,2,3, etc.)

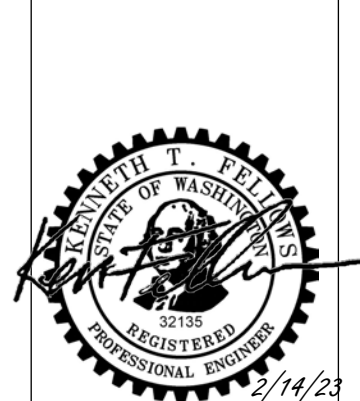
**Legend (Restoration)**

Restore to Gravel
Restore to Landscape Bed



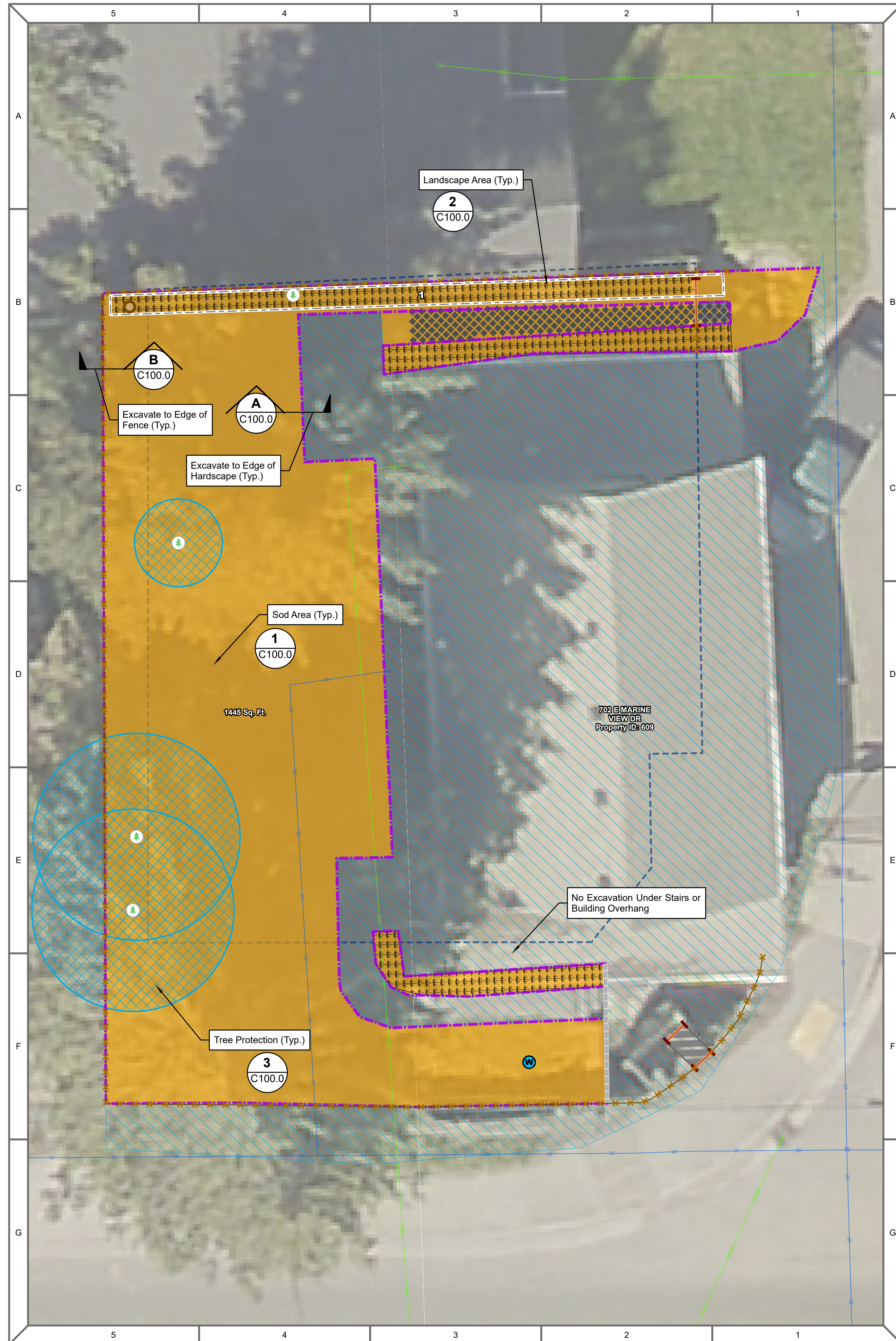
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SJB	DATE: 02/23	REV: 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Pt_01.dwg	PROJECT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 3110 8th St**  
**Parcel ID: 515**  
 Owner: Luis Hernandez-Guzman

**DRAWING REFERENCE NUMBER:**  
**C3.0**  
 SHEET 5 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	All plants UNO	Holly Tree (C5), Tree (E5)	Pink rose (F2), Rhododendren (F2)	Paver walkway (B1-B3), Block edge wall (B1)
1	Bamboo (B4)	Double stump (B4)		

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Pavers
- Stairs
- Approximate Zone
- Critical Root
- Fence
- Gate
- Retaining Wall
- Stump
- Tree
- Water Meter
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

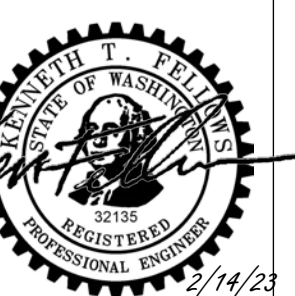
**Legend (Restoration)**

- Restore to Landscape Bed



MARK	DESCRIPTION	DATE	APPR.	MARK

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: KTJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P1_050406806.dwg	PROJECT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 702 E Marine View Dr**  
**Parcel ID: 609**  
 Owner: Pitaya Jaipean

DRAWING REFERENCE NUMBER:  
**C4.0**  
 SHEET 6 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	All plants UNO, Plastic Storage Shed (F3)	5 Trees (A4, B4, E4, G2, G4), Block edging (B4-C4, C3-C4)		Blocks (A4-D4), Crawl space access and brick pavers (F2), Window wells (D4, E4, F4)
1		Mailbox (A1)		

**Notes**

**General**  
 G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**


**Legend (Remediation)**


**Legend (Restoration)**

--

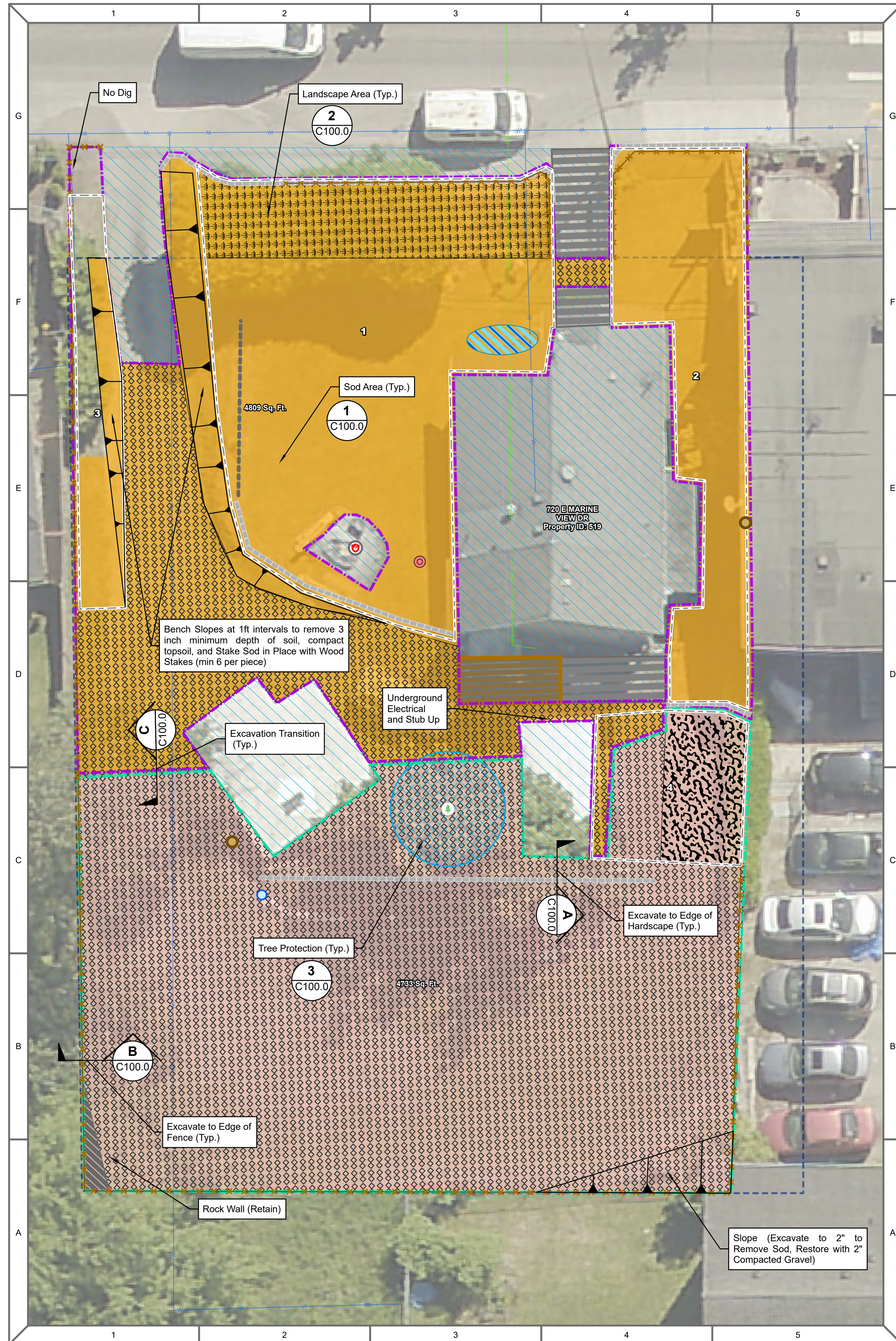
DATE APPR.	MARK	DESCRIPTION

DESIGNED BY: SJB	DATE: 02/23	REV: 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: KTF		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.aprx	PLT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 3016 Butler St**  
**Parcel ID: 516**  
 Owner: Taylor VanPutten

DRAWING REFERENCE NUMBER:  
**C5.0**  
 SHEET 7 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		Rock wall (A1)		Rocks (Entire DU)
1	Brick border (E2-F2), Large bushes (F1-F3)		LB (F1-F3, except do not replace plants in portion of existing LB extending to the northwest along the driveway, replace large shrubs with six small shrubs - species to be selected by owner), Evergreen shrub (F5)	Brick border (F1-F4)
2	Paving stones (D5-E5)			
3	Bushes (D1-F1)			
DU-B	Shrubs (C2-C4)			Brick edging (C4-C5)
4				

**Notes General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

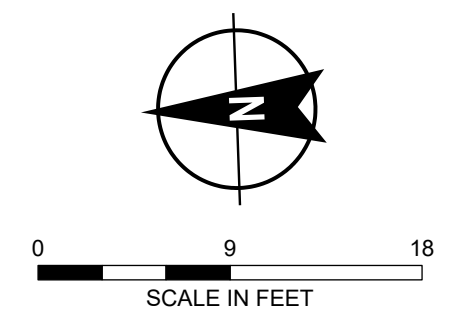
- Deck
- Pond
- Stairs
- Approximate Critical Root Zone
- Rock Wall
- Fence
- Retaining Wall
- Block Edging
- Stump
- Tree
- Fire Pit
- Storm Water Pipe
- Sewer Cleanout
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Dig to 24 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark



MARK	DESCRIPTION	DATE APPR.	MARK	DATE APPR.

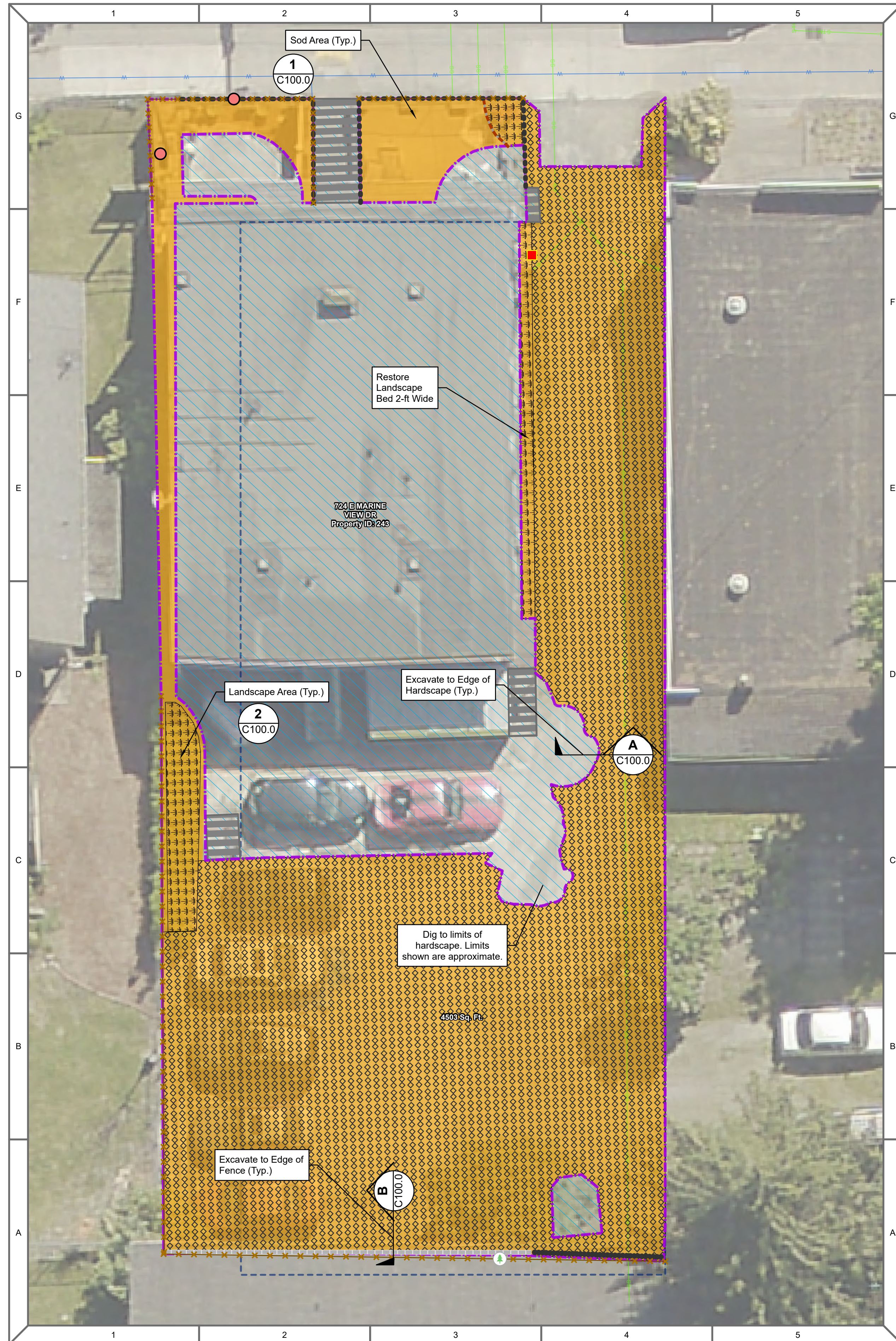
DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 720 E Marine View Dr**  
**Parcel ID: 519**  
 Owner: Alan Pratt + Joseph Pratt

DRAWING REFERENCE NUMBER:  
**C6.0**  
 SHEET 8 OF 41





Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Laurel bushes (C1-D1), LB (D3-F3)	Cemented Block Borders (Entire DU)	Red Rhododendron (G3)	brick border and Cinder block steps (G3)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

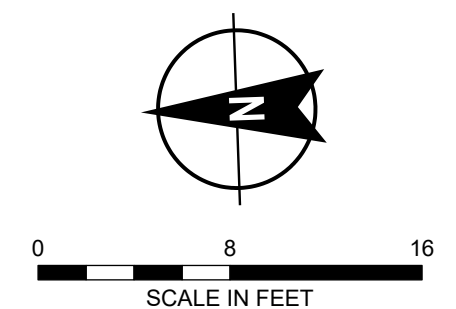
- Stairs
- Fence
- Retaining Wall
- Concrete Block Wall
- Rock Wall
- Cemented Brick Edging
- Tree
- Utility Pole
- Power Box
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



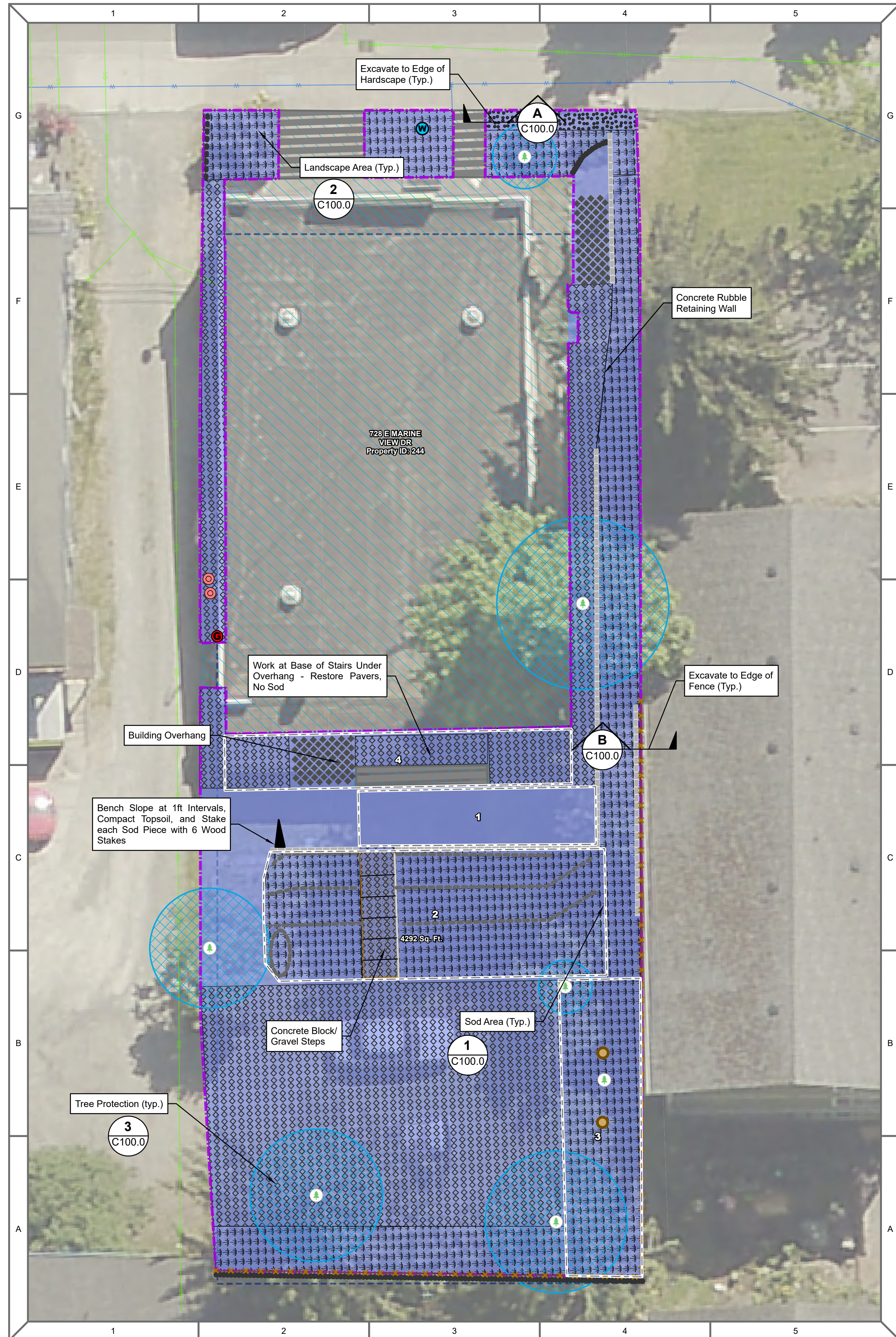
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SBJ	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P\10\0504068\GIS\050406806_Project_60pct.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 724 E Marine View Dr  
Parcel ID: 243  
Owner: Alan Pratt & Joseph Pratt

DRAWING REFERENCE NUMBER:  
**C7.0**  
SHEET 9 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall	Remove and Salvage
DU-A	All plants UNO, shrubs (C4)	Japanese Maple (G3-G4), Large tree (B4)	LB (G2; 3 boxwood shrubs, 1 shrub to be identified), Tree (B4), LB (G3)	Rocks (G4), Pavers (F4-G4)	Brick patio (C3, stack on hardscape for owner)
1					Pavers (C2-C4, stack on hardscape for owner use)
2		Lowest level of concrete block wall (C2-C4)	Tiered LB (B2-C2; 6 trees), Tiered LB (B3-C3, B4-C4)	Rocks in Tiered LB (B3-C3, B4-C4), Block steps and hand rail (B3-C3)	
3	LB (A4-D4, retain trees larger than 3" dbh along fence, remove other plants, restore as LB)				
4				Paver patio (C3-C4, install in same pattern)	

### Notes

#### General

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.

G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.

G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.

G4. UNO, owner must remove debris and objects from work areas before construction work starts.

G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

#### Demolition/Excavation

D1. Protect existing features not indicated to be removed.

D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

#### Restoration

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.

R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.

R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.

R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.

R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

#### Legend (Existing)

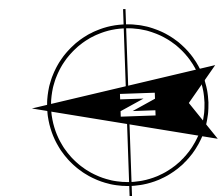
- Pavers
- Concrete Block/Gravel Steps
- Stairs
- Approximate Critical Root Zone
- Fence
- Retaining Wall
- Concrete Block Wall
- Block Edging
- Rock Wall
- Handrail
- Stump
- Tree
- Water Meter
- Gas
- Sewer Cleanout
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain
- Hard Surface

#### Legend (Remediation)

- Dig to 18 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

#### Legend (Restoration)

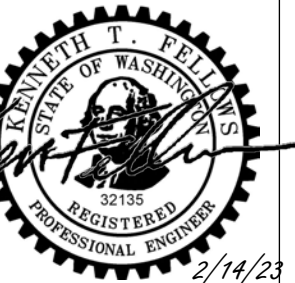
- Restore to Gravel
- Restore to Landscape Bed
- Restore to Rounded Rock



0 8 16  
SCALE IN FEET

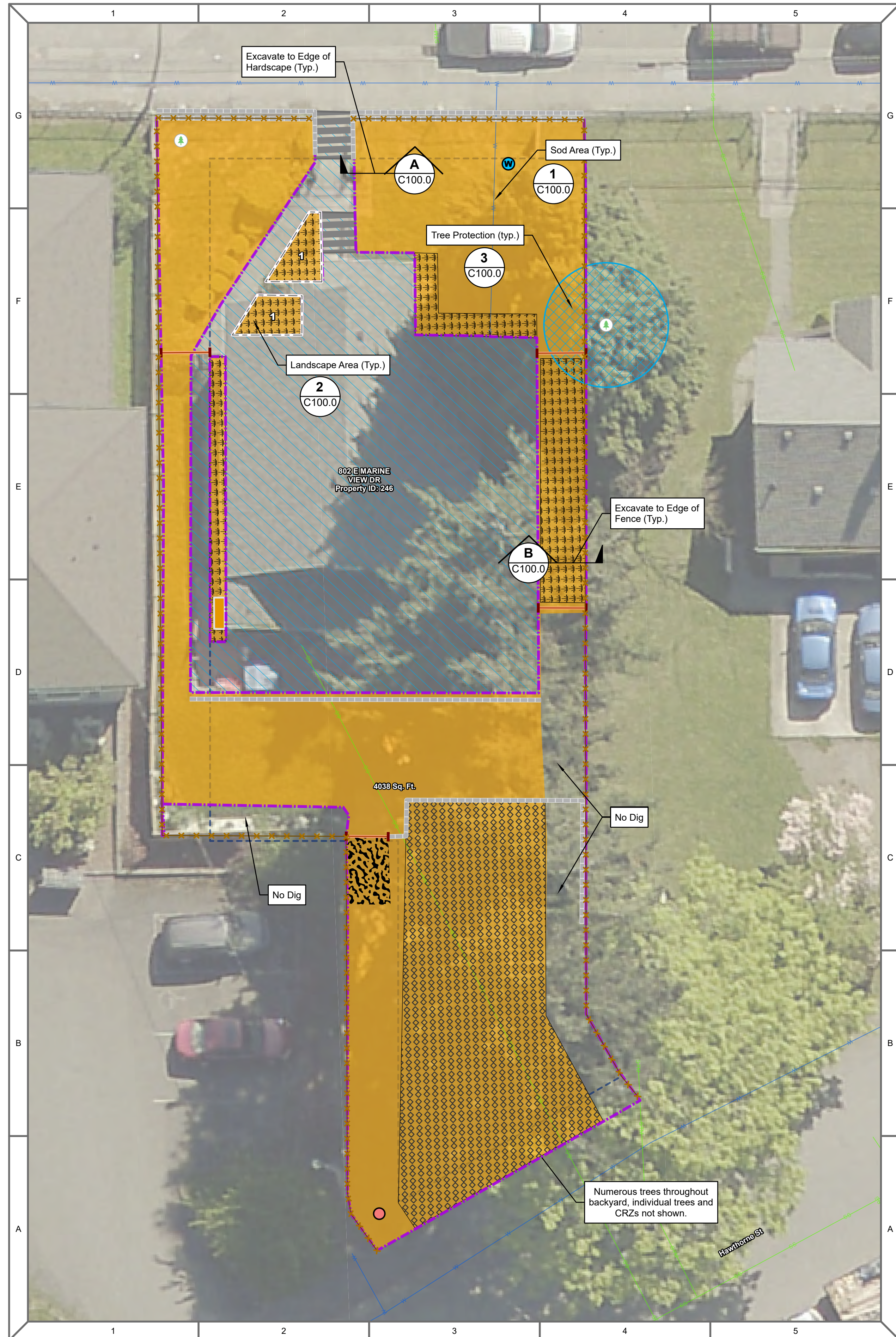
MARK	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SJB	DATE: 02/23	REV 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	PROJECT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 728 E Marine View Dr  
Parcel ID: 244  
Owner: Alan Pratt & Joseph Pratt

DRAWING REFERENCE NUMBER:  
**C8.0**  
SHEET 10 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Boxwood (F3), rose bush (C1)	Large Tree (F4), Wisteria (F2)	Red stemmed dogwood (F2), Frost Peach Tree (G1)	
1			LB (F2: dill, rosemary, bay leaf, lavender, mint, parsley, 1 blueberry bush)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Stairs
- Gate
- Utility Pole
- Water
- Approximate Retaining Wall
- Critical Root Zone
- Hard Surface
- Tax Parcel Boundary
- Crawlspace Access
- Tree
- Water Meter
- Fence
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark

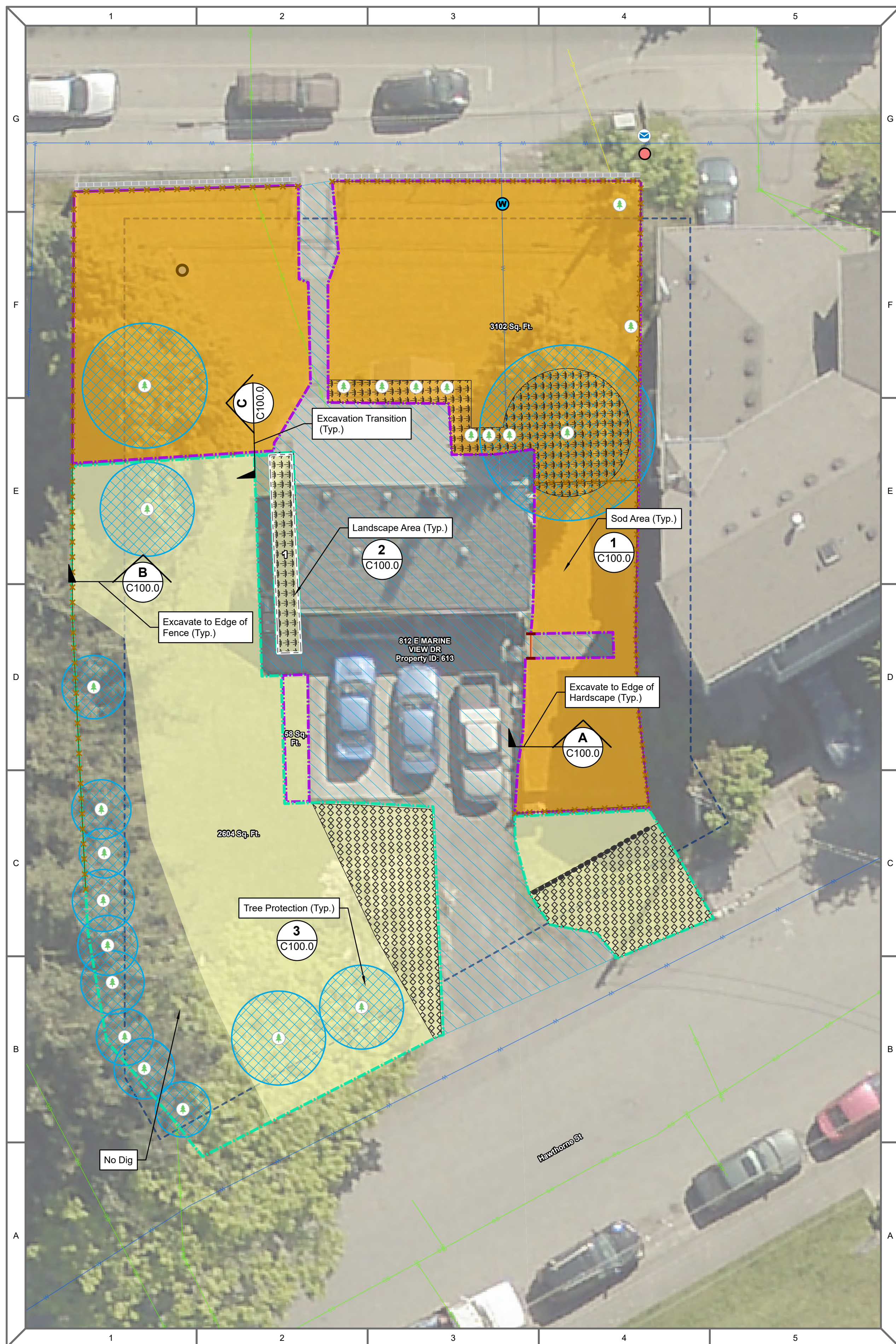
DATE APPR.	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SBJ	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P\Project_60pnt.aprx	
	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
**Address: 802 E Marine View Dr**  
**Parcel ID: 246**  
Owner: Aaron & Kimberly Kanikberg

DRAWING REFERENCE NUMBER:  
**C9.0**  
SHEET 11 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	All plants UNO, 2 Trees (F4, G4)		LB (E2-E4, restore 3 ft wide), 7 arborvitae (E2-E4, F2-F4)	
DU-B		Trees (B1-D1, B2, B3, E1, E4, F1), Berry Shrubs (D1)		
1			LB (D2-E2, restore 2 ft wide), LB (D2, restore 2 ft x 2 ft, restore as level as possible)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

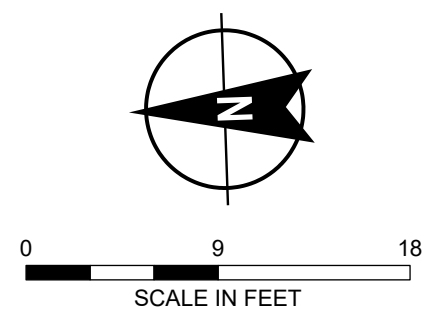
- Stairs
- Approximate
- Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Concrete Block Wall
- Stump
- Tree
- Water Meter
- Utility Pole
- Mailbox
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 6 Inches
- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



MARK	DESCRIPTION	DATE	APPR.	DATE	APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: KTF		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pcent_02.14.23.dwg	
	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 812 E Marine View Dr**  
**Parcel ID: 613**  
 Owner: Eric Reyes

DRAWING REFERENCE NUMBER:  
**C10.0**  
 SHEET 12 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	South Perimeter of house (D3-E3; 1-ft wide gravel buffer)	French drain (D2-E2, D3-E3, 3-4 foot deep), Tree (F2)	LB (E2-E3, restore curved into front walkway)	Front walkway, stone pavers and wood edging (E2-F2, reinstall in existing design)
1	Shrubs (E4-F4), Dead tree (E4)	Large Tree (D4)		
DU-B		Large Tree (C5)		4x4 at end of driveway (C2-C3)

**Notes**

- General**  
 G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Pavers
- Approximate
- Critical Root Zone
- Retaining Wall
- French Drain/Drain Pipe
- Light Pole
- Stump
- Tree
- Water Meter
- French Drain
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark

MARK	DESCRIPTION	DATE APPR.	MARK	DATE APPR.	DESCRIPTION

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_1002 E Marine View DR.dwg	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1002 E MARINE VIEW DR**  
**Parcel ID: 393**  
 Owner: Woolbridge Living Trust, Gary Woolbridge

DRAWING REFERENCE NUMBER:  
**C11.0**  
 SHEET 13 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Tree (G4), Lilac bush (C4), Concrete fence footers where fence is no longer present, as practicable (entire DUA). LB (D4-G4, G2-G4, restore LB extending 2-ft from base of arborvitae)	Tree (E4), Arborvitae (D4-G4, G4-G2)	LB (E4), LB (A3-A4, B3-B4; hydrangea and camellia; Restore plants centered and spaced in this bed)	LB edging (E3-E4), LB edging (E3-E4), LB edging (C1-C2), LB edging (B3), LB edging (A3-A4, B3-B4)
1	2 Shrubs (E1, F1), LB (F1-G1, restore LB extending 2-ft from base of arborvitae)	Line of arborvitae (F1-G1), Maple Tree (F2)		

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

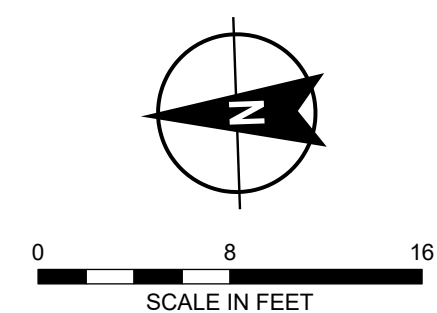
- Deck
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Block Edging
- Tree
- Catch Basin
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

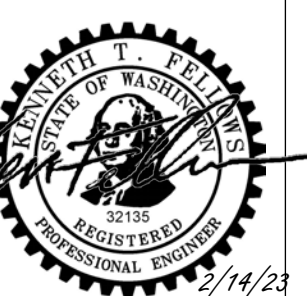
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark



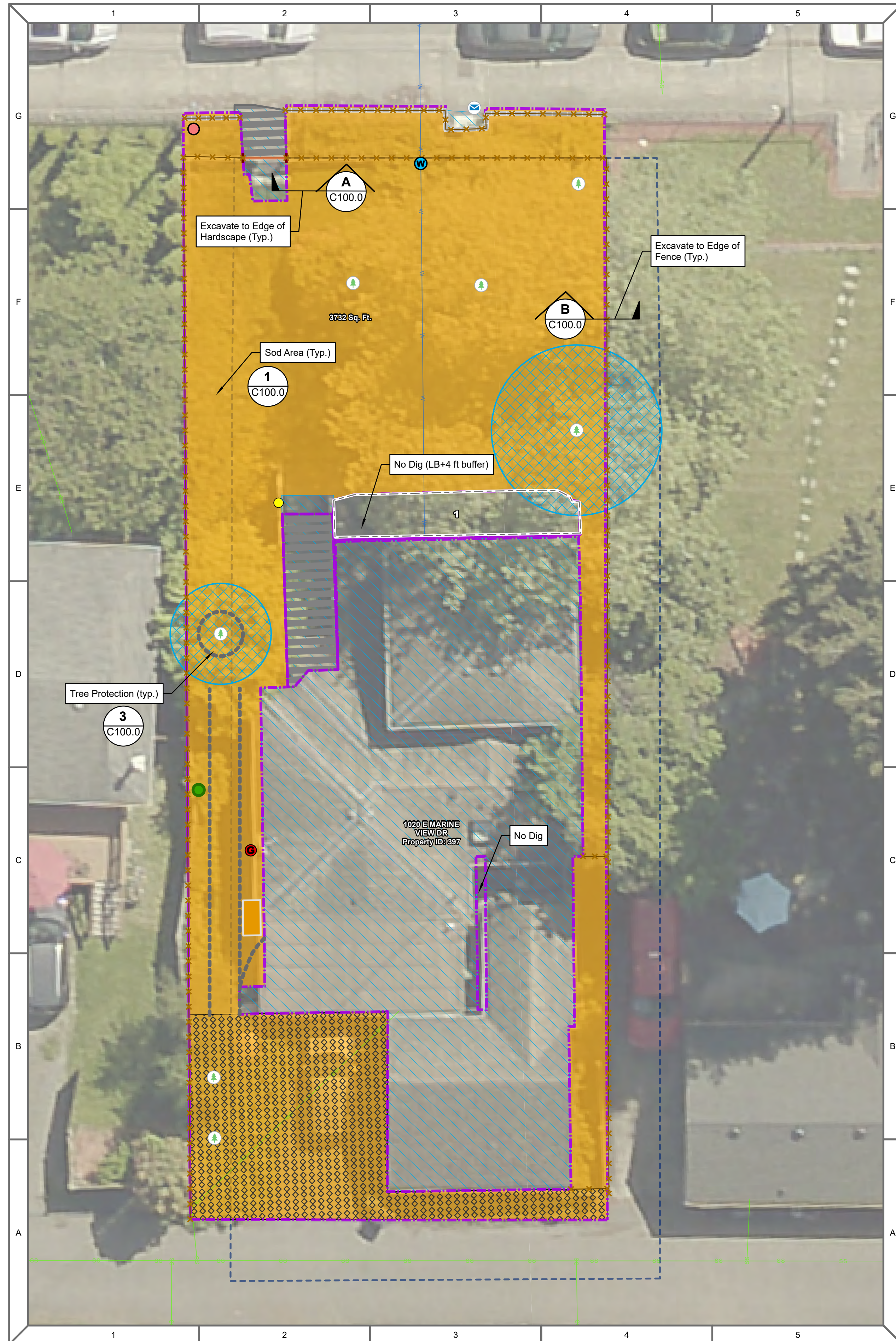
REV. NO.	DATE	DESCRIPTION	MARK

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
	KTF	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P101050406806_Project_60pnt.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1018 E Marine View Dr.**  
**Parcel ID: 396**  
 Owner: Cheryl & Daniel Forgye

DRAWING REFERENCE NUMBER:  
**C12.0**  
 SHEET 14 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall	Remove and Salvage
DU-A	3 Rhododendron (F2, F3, G4), Bush (C1), 2 Birch trees (A1, B1)	Maple Tree (E4), Tree (D1), Soil under deck and stairs (D2, E2-E4)		Scalloped edging around Tree (D1)	Scalloped edging (B1-D1, B2-D2, retain for owner and place on hardscape)
1		Raised LB (E2-E4; includes 4-ft no dig buffer in front of LB)			

### Notes

#### General

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

#### Demolition/Excavation

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

#### Restoration

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

#### Legend (Existing)

Stairs	Retaining Wall	Water Meter	Tax Parcel Boundary
Approximate Zone	Block Edging	Gas Pole	Water
Critical Root Zone	Light Pole	Utility Pole	Gas
Crawlspace Access	Tree	Bush	Electric
Fence		Mailbox	Sewer
Gate		Hard Surface	Drain

#### Legend (Remediation)

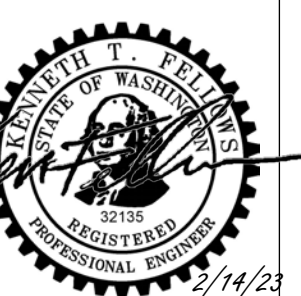
Dig to 12 Inches
Decision Unit A
Detail Area (1,2,3, etc.)

#### Legend (Restoration)

Restore to Gravel
-------------------

MARK	DESCRIPTION	DATE	APPR.	MARK

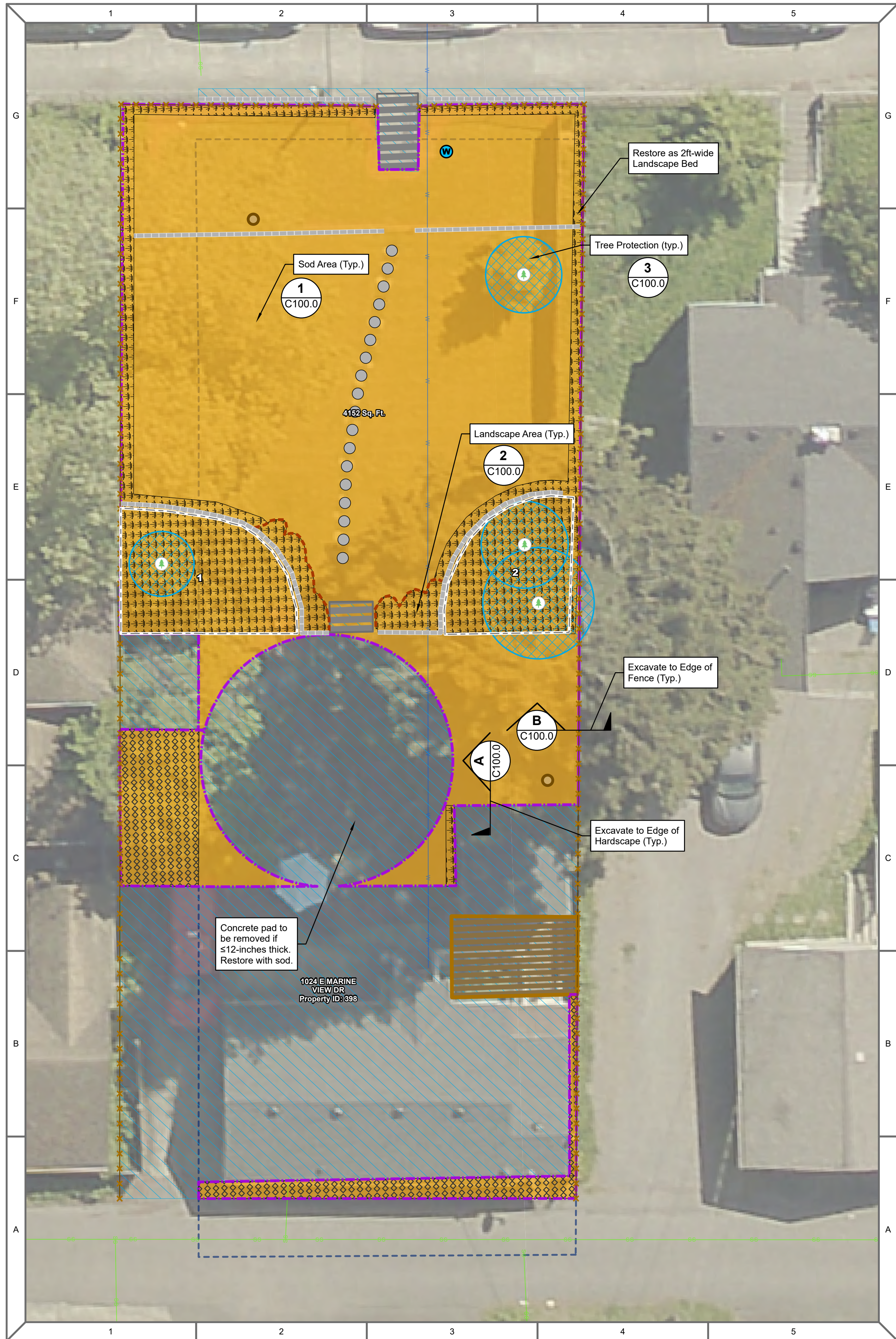
DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pnt.aprx	
	SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 1020 E Marine View Dr.  
Parcel ID: 397  
Owner: Genise Pearce & James Tuck

DRAWING REFERENCE NUMBER:  
**C13.0**  
SHEET 15 OF 41

Document Path: P:\10\0504068\GIS\050406806\_P\Project\_60pnt.aprx Date: 1/18/2023 User Name: maugust



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Cinderblock retaining wall (F1-F4, not mortared-in), LB (E1-G1, G2-G4, E4-G4)	Pine Tree (F3), Large Tree (C1)	LB (D3-E3; 1 small green hedge, 1 kinnicknick plant, 3 plants with small blue flowers to be identified), LB (C3)	Stone pathway (D2-F2, E3-F3), scalloped brick edging (D2-E2, D3-E3)
1	LB and Exposed soil (D2-E2, restore as LB)	Rhododendron (E2)		
2	LB and exposed soil (D3-E3, D4-E4, restore as LB)	Pine Tree (D4), Rhododendron (E4)		

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

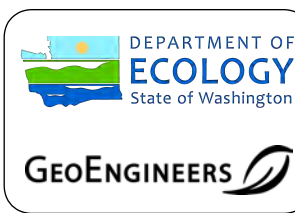
- Deck
- Stairs
- Approximate Critical Root Zone
- Fence
- Retaining Wall
- Stepping Stones
- Brick Edging
- Stump
- Tree
- Water Meter
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

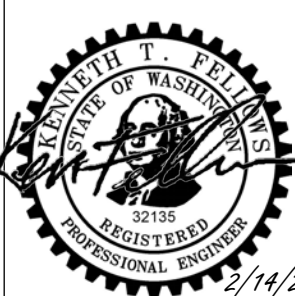
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed

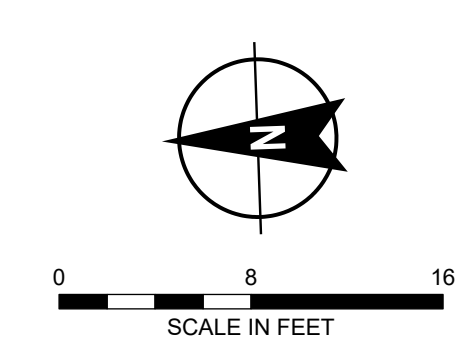


MARK	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SJB	DATE: 02/23	REV: 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: KTF		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 1024 E Marine View Dr. 050406806_P\Project_60pnt.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 1024 E Marine View Dr.  
Parcel ID: 398  
Owner: Michael Wideen



DRAWING REFERENCE NUMBER:  
**C14.0**  
SHEET 16 OF 41





Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-B	Stones around tree (D4), Shrubs (C4-D4), Ring of stones around trees (B4-C4), Boulder (A2), Stones (B3-C3), Shrubs (B1-C1, replace with 3 arborvitae)	2 Trees (D4-E4), 2 Trees (B4-C4), 2 Plum trees (C1), Shrubs (B4)		Boulders (B2-C2), Drainage pipes (B2-D2, if identified reinstall to depth of 1-foot to drain away from house)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

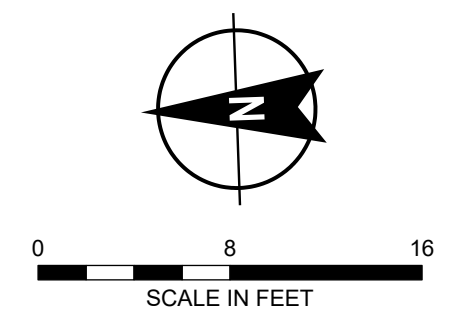
**Legend (Existing)**

- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Tree
- Boulder
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B

**Legend (Restoration)**



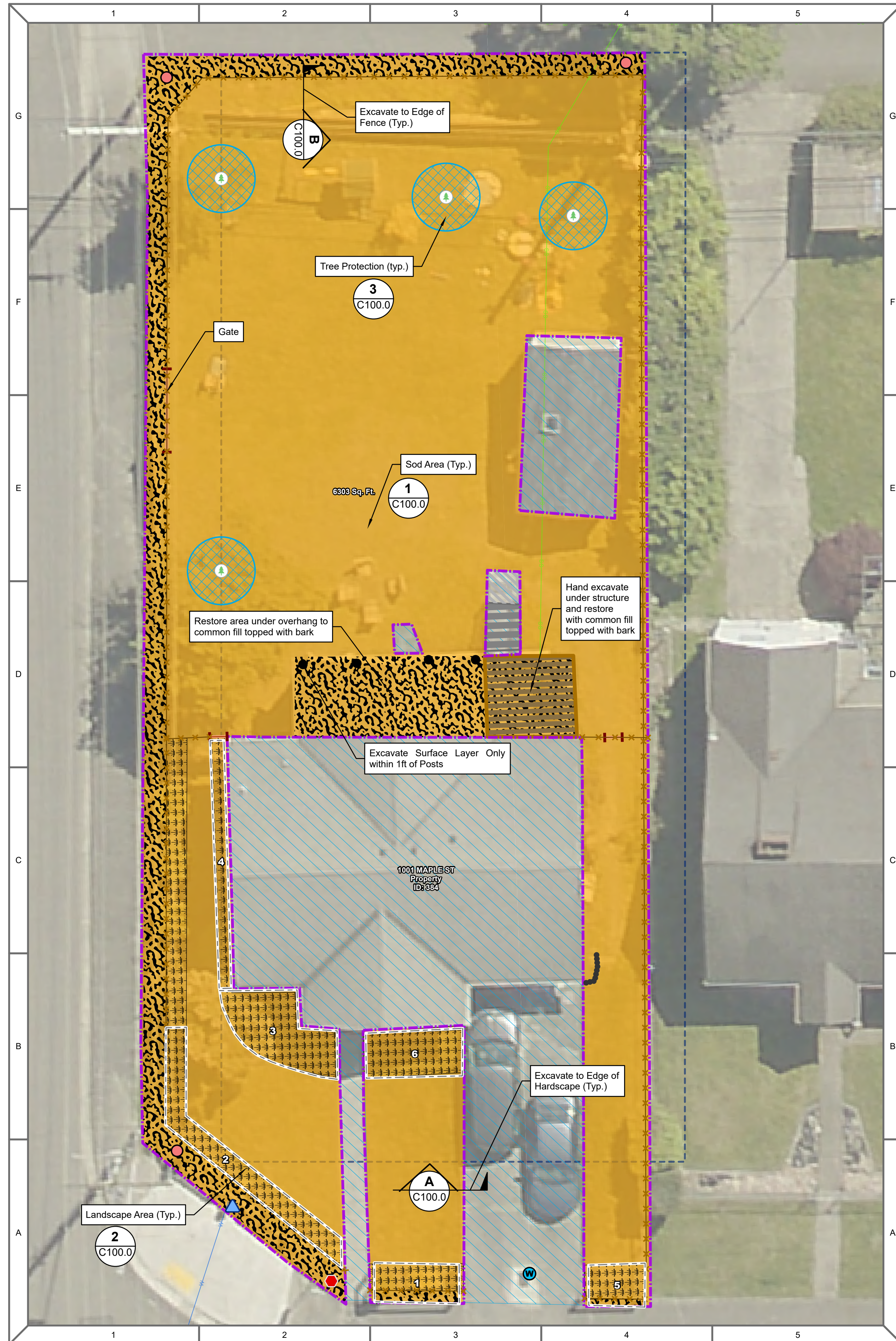
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_Project_60pcent.aprx	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1032 E Marine View Dr**  
**Parcel ID: 400**  
 Owner: Donald Woods Jr. & Christa Woods

DRAWING REFERENCE NUMBER:  
**C15.0**  
 SHEET 17 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		Lilac bush (B1), 2 Trees (E1, G1), 2 Maple trees (G3, G4)	3 Bushes (C1-D1)	Brick border (A4-B4), Cinderblocks along fence (Entire DU), Rock wall (C4)
1	1 Arborvitae (A2-A3; replace with 1 variegated shrub)		LB (A2-A3; 1 primrose, 1 heather, 1 variegated shrub)	
2			LB (A1-A2, B1; includes but is not limited to 1 azalea, 1 berberis tiny gold (thunburgii), 2 daphne bushes, 3 heathers, 2 variegated shrubs, 1 arborvitae and 5 primroses.	
3		Rose Bush (B1-B2)	LB (B1-B2; 6 assorted red and yellow tulips, 2 large leaf shrubs, 1 pink rose of sharon, 1 mini red/pink rose, 1 small shrub)	
4			LB (B1-D1; 1 large green bush to be identified, 1 arborvitae, 1 hydrangea, 1 additional unidentified plant)	
5			LB (A4; 2 primroses, 1 heather, 1 azalea)	
6			LB (B2-B3; 7 shrubs)	

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.

G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.

G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.

G4. UNO, owner must remove debris and objects from work areas before construction work starts.

G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.

D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.

R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.

R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.

R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.

R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

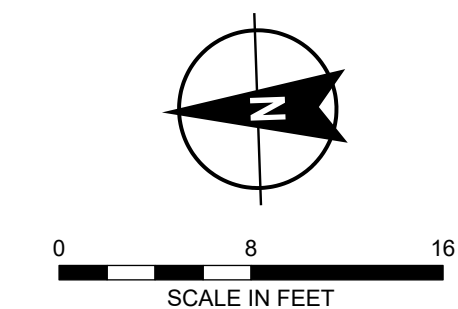
- Concrete Pad
- Gate
- Hydrant
- Water
- Deck
- Rock Wall
- Stop Sign
- Gas
- Stairs
- Tree
- Hard Surface
- Electric
- Approximate Critical Root Zone
- Water Meter
- Tax Parcel Boundary
- Sewer
- Fence
- Utility Pole
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Landscape Bed
- Restore to Bark



REV. NO.	DATE	DESCRIPTION	MARK

DESIGNED BY: SJB

DRAWN BY: MSA

REVIEWED BY: KTF

DATE: 02/23

JOB NUMBER: 050406806

FILE NAME: 050406806\_Project\_60pcent.aprx

PROJECT SCALE: SEE DRAWING

EVERETT SMELTER UPLANDS RESIDENTIAL

2020 CLEANUP GROUP

EVERETT, WASHINGTON

Address: 1001 Maple St

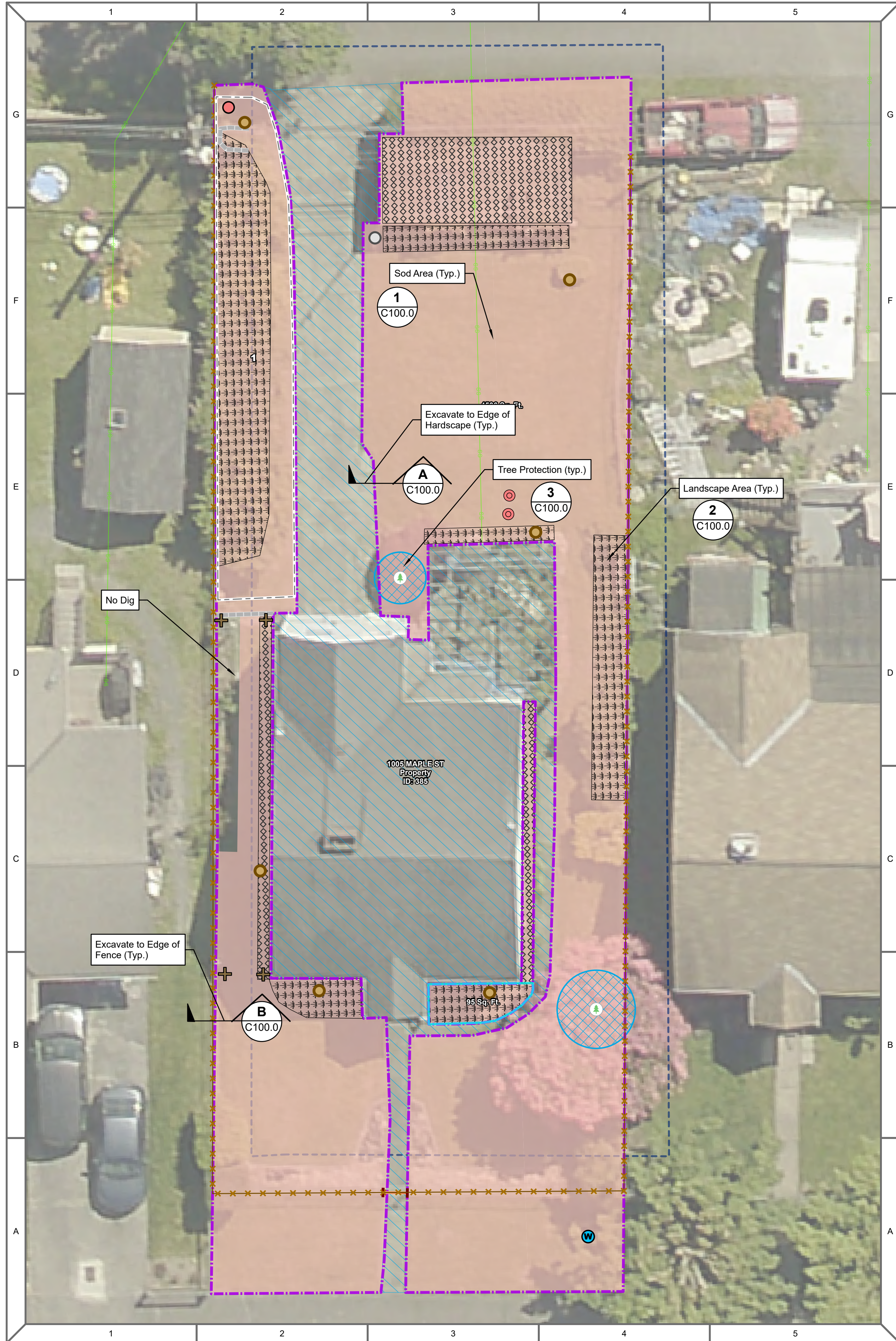
Parcel ID: 384

Owner: Helen & Robert Beagle

DRAWING REFERENCE NUMBER:

C16.0

SHEET 18 OF 41



Detail Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Fence Posts (B2, D2), Bush (A4), concrete edging (A1-A2, A3-A4, B2, B3), Shrub (C4), Perimeter of house (B2-D2, B4-D4, restore 6-inch wide gravel strip), Grapevines (D4-E4), LBs (B2-B3, C4-E4, B2, E3-E4, restore as empty LBs)	Rhododendron (B4), Japanese Maple (E3), Square Bush (A4), Holly Trees (A1, A4), LB (C1-D1), Hedge (G1-G4), Wisteria and Rose (F3), Raised rock beds (E3-E4)	LB (F3-F4; 2 sword ferns only)	LB Edging (C4-E4)
1	Compost bed (G2, restore empty)	Retaining wall (G2, u-shaped at compost bed)	LB (E2-G2; raspberry and rose only)	Rock Edging (E2-G2)

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

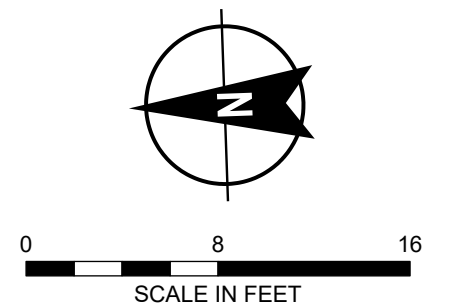
- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Stump
- Tree
- Water
- Meter
- Utility Pole
- Sewer Cleanout
- Fence Post
- Clothes Pole Line
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 24 Inches
- Decision Unit A (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



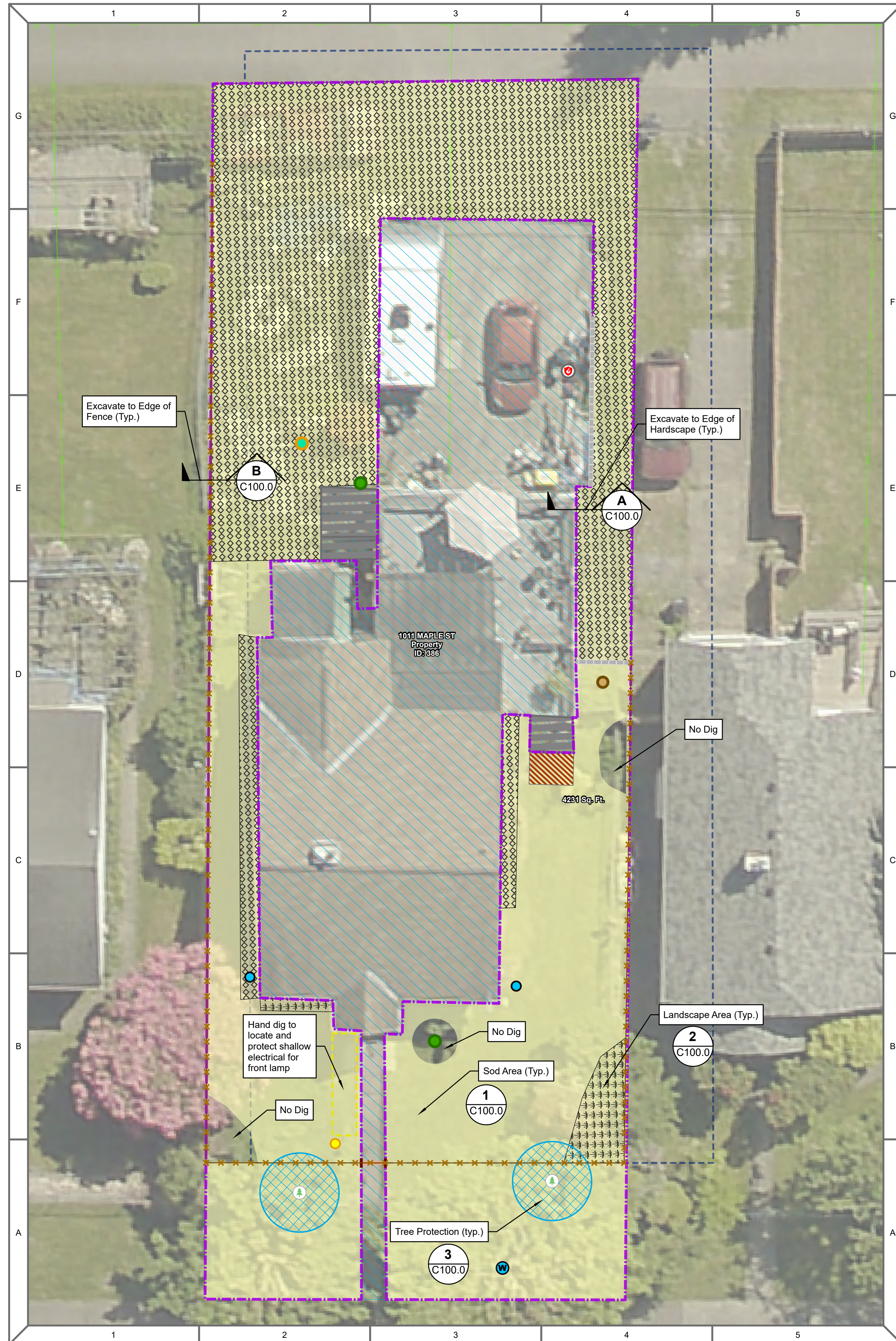
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: INSA	JOB NUMBER: 050406806	
REVIEWED BY: AJR		
SUBMITTED BY: GEOENGINEERS		FILE NAME: 1005 Maple St Project.dwg SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1005 Maple St**  
**Parcel ID: 385**  
 Owner: Lee Erikson

DRAWING REFERENCE NUMBER:  
**C17.0**  
 SHEET 19 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Edging (B2-D2)	2 Trees (A2, A4), LBs (A2, B3, C4-D4), Azalea bush (E2), Rhododendron (B3)	LB (A4-B4; 2 purple lilac bushes, 1 shrub to be identified)	4 Stone Pavers (B2), Brick pad (C4), Edging (A4-B4, B2)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

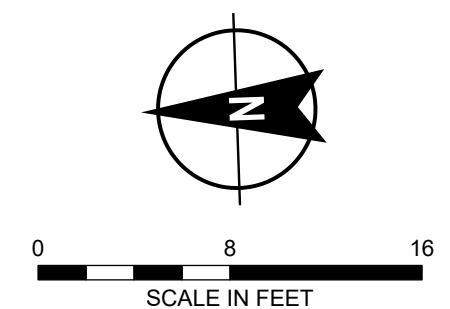
- Stairs
- Approximate Critical Root Zone
- Brick
- Fence
- Gate
- Retaining Wall
- Stump
- Tree
- Water Meter
- Fire Pit
- Laundry Pole
- Bush
- Lamp
- Water Collection
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 6 Inches
- Decision Unit A

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



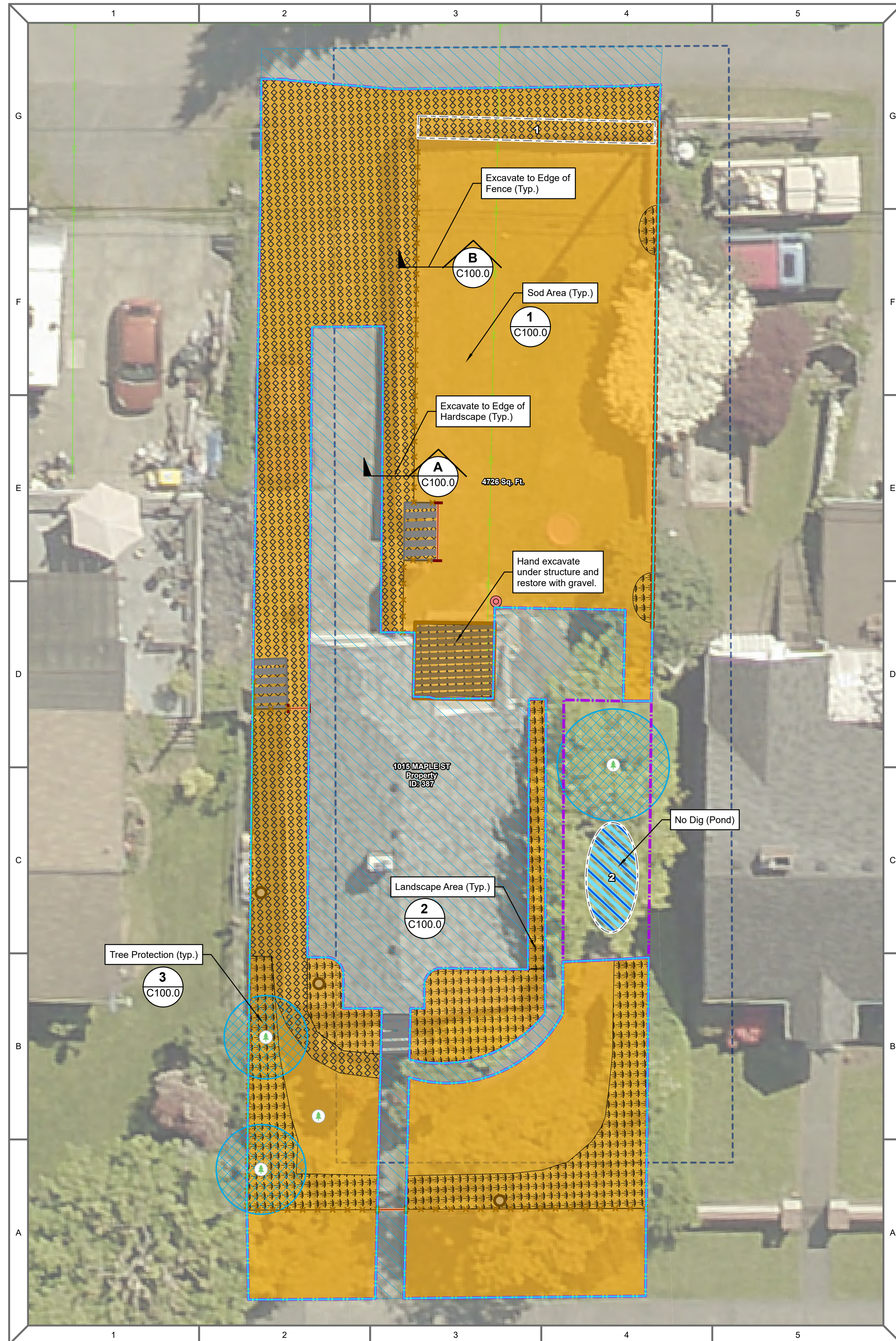
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 1011 Maple St - 2020 Cleanup - Project - 02/14/23	
SUBMITTED BY: GEOENGINEERS		



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1011 Maple St**  
**Parcel ID: 386**  
 Owner: Kevin Boddy

DRAWING REFERENCE NUMBER:  
**C18.0**  
 SHEET 20 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Arborvitae (A2), Bed of shrubs (A2), Brick landscape area (E4, F4), Broken stone path (G3-G4)	2 Trees (B2, C4-D4), Maple Tree (A2), LB rock edging (D4, E4, F4-G4)	LB (A2-B2, A3, A4-B4, replace all plants in kind including boxwoods), LB (A2, A3-B3; replace all plants in kind including boxwoods), LB (B3; 1 red rhododendron), LB (B2; 1 red rhododendron), Pear Tree (B2), LB (B3-D3; 1 tree in east of bed)	
1	Railroad tie retaining wall rockery (G3-G4, remove all rocks inside bed and restore with gravel)	Railroad ties (G3-G4)		
2		Pond and surrounding landscaping (C4)		

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Deck
- Pond
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Brick Wall
- Stump
- Tree
- Sewer Cleanout
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

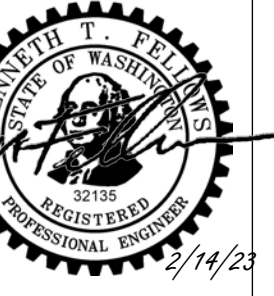
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



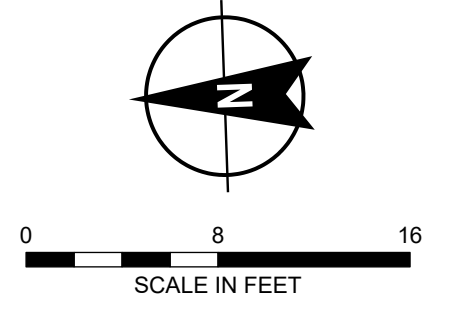
MARK	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SUB	DATE: 02/23	REV 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_1015 Maple St - 2/14/23	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	

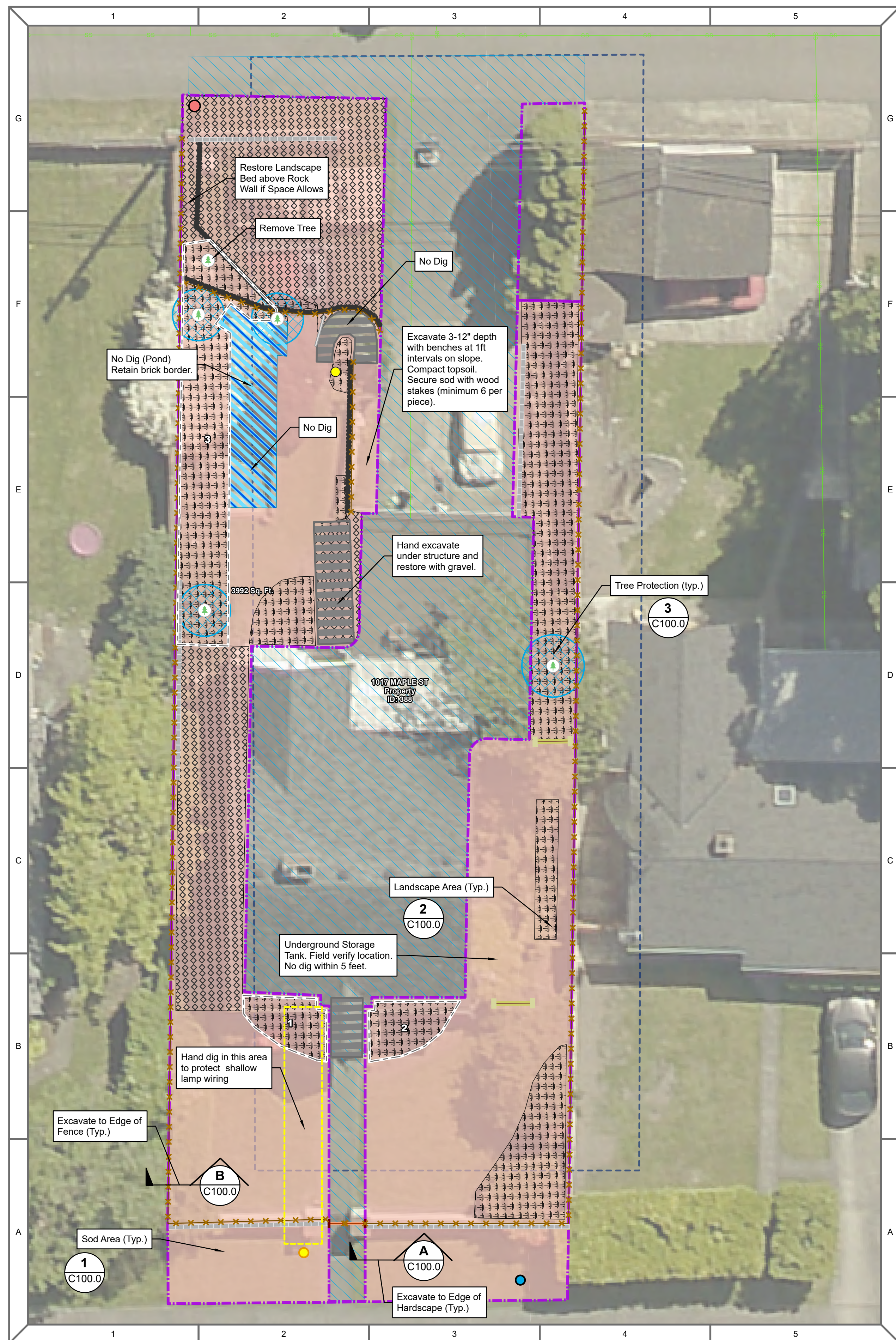


EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1015 Maple St**  
**Parcel ID: 387**  
 Owner: Anthony Saldana & Mallory Wohl

DRAWING REFERENCE NUMBER:  
**C19.0**  
 SHEET 21 OF 41



Document Path: P:\010504068\GIS\050406806\_Project\_60pct.aprx Date: 1/18/2023 User Name: maugust



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Brick edging (entire front yard), Stepping stones (C2-D2), Tree (F2, verify before removal), Hedge (A1-B1)	Underground Heating oil tank (C3; contractor to locate and protect, excavate surface layer only within 3 feet of tank perimeter), Tree (D1), Tree (D4), Clematis (C3), Wisteria vine (C3), 7 Arborvitae (E4-F4)	LB (A3, A4-B4; 2 red rhododendron), LB (D4-E4; 2 sword ferns, 3 bracken ferns), LB (D2-E2; 1 sword fern), LB (F2; 1 red rose bush), LB (E2; 1 lily, 1 bracken fern), LB (C3-C4; 5 blueberry bushes)	Bird Feeder (D1), Garden Arbor (D3)
1	Stones (B2)		LB (B2; 1 red rhododendron)	
2		Clematis Vine (B3)	LB (B3; 2 sword ferns)	
3		Japanese Maple and Red Tree (F2), Tree (D1)	LB (E2-F2; 1 lily, 1 fuschia, 3 small flowering plants)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

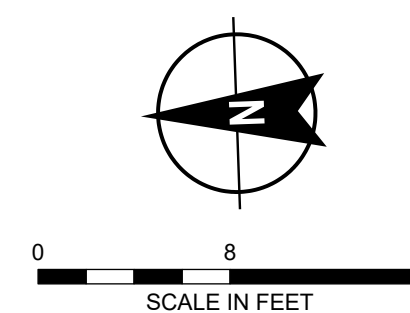
- Pond
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Garden Arbor
- Rock Wall
- Handrail
- Light Pole
- Tree
- Utility Pole
- Water Cleanout
- Lamp
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain
- Hard Surface

**Legend (Remediation)**

- Dig to 24 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



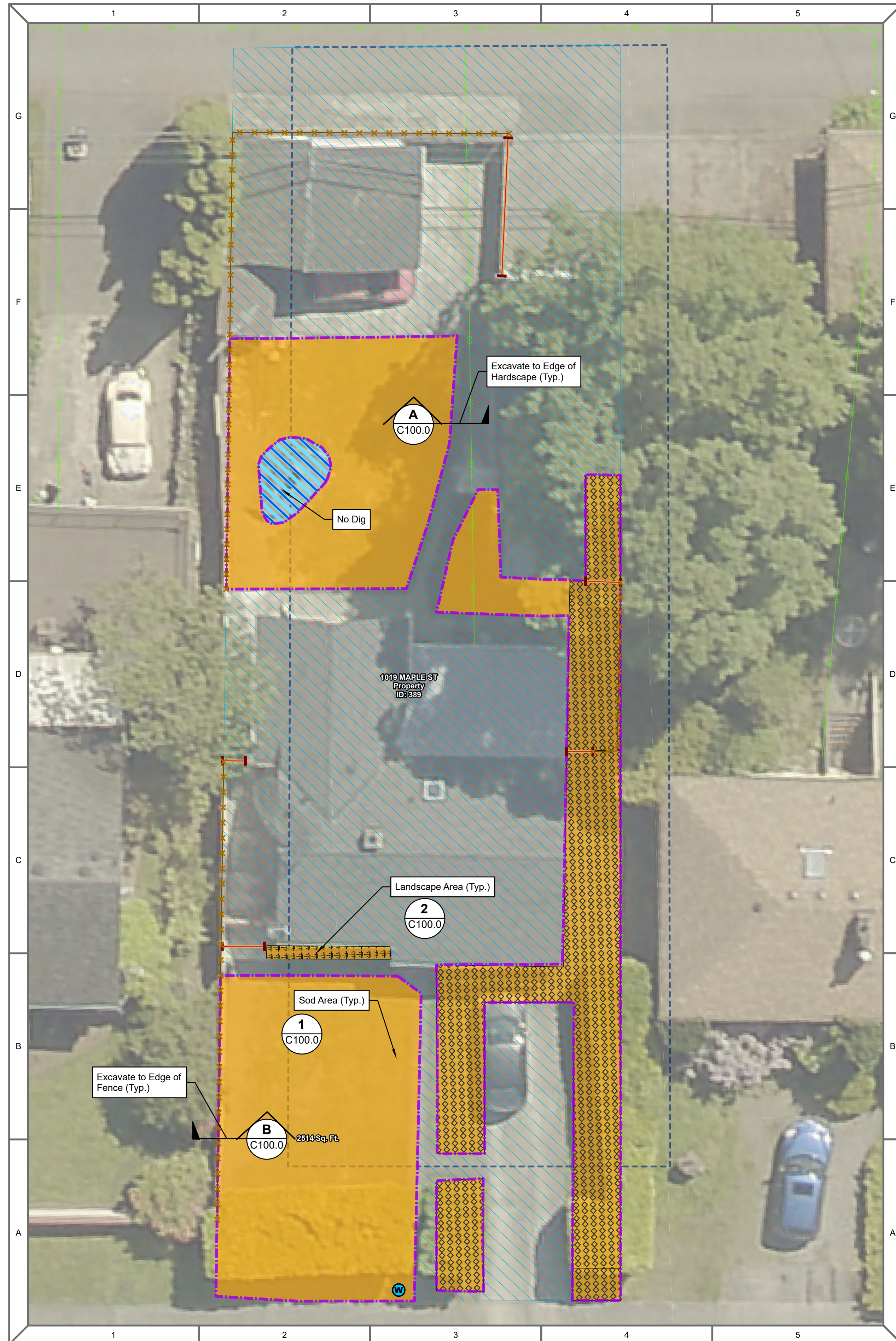
MARK	DESCRIPTION	DATE	APPR.	MARK

DESIGNED BY: SUB	DATE: 02/23	REV: 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P1050406806_01050406806_01050406806.dwg	
	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
**Address: 1017 Maple St**  
**Parcel ID: 388**  
Owner: Randie James and Steve James

DRAWING REFERENCE NUMBER:  
**C20.0**  
SHEET 22 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Area east of gate to backyard (D4-E4, restore with gravel to 2 inches below hardscape elevation)		LB (C2)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Pond
- Fence
- Gate
- Water Meter
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

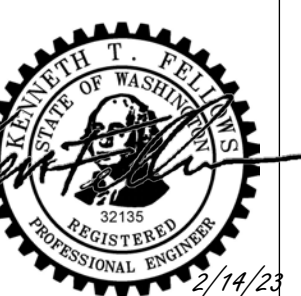
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



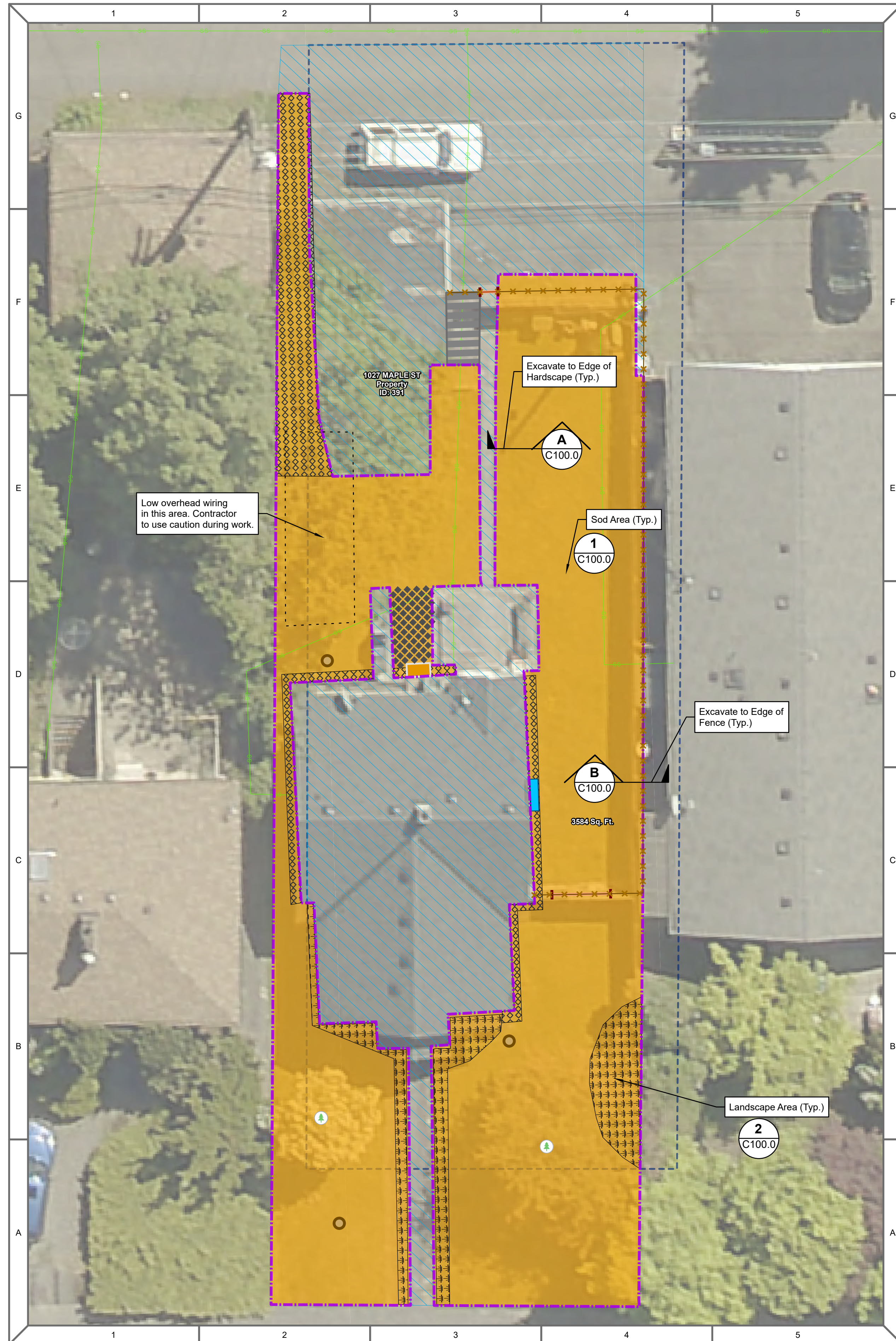
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_Project_60pcent.aprx	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1019 Maple St**  
**Parcel ID: 389**  
 Owner: Nicolas Pina-Perez

DRAWING REFERENCE NUMBER:  
**C21.0**  
 SHEET 23 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Tree (B2), Perimeter of house (B2-D2, D3-D4, B4-C4, restore with 1-foot wide gravel buffer)	Compressor (C4, maintain 1-ft buffer around compressor then slope dig area 1H:1V), Railroad Ties (D2)	LB (B3-B4), Shrub (B4), Hawthorne Tree (B4), LB (B3; 1 laurel bush, 1 yucca plant), 2 LBs (A3-B3), LB (B2-B3; 1 laurel bush)	Pavers (D3)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

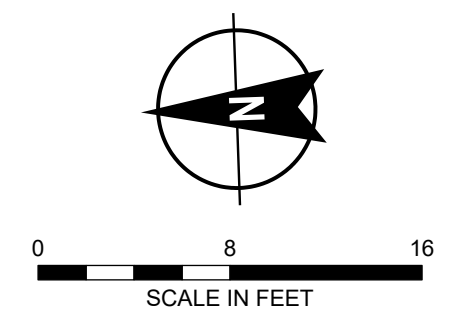
- Pavers
- Stairs
- Crawlspace Access
- Compressor
- Fence
- Gate
- Stump
- Tree
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A

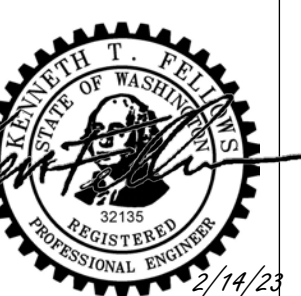
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



MARK	DESCRIPTION	DATE	APPR.	MARK	DESCRIPTION	DATE	APPR.

DESIGNED BY: SJB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1027 Maple St**  
**Parcel ID: 391**  
 Owner: Yamykh Vasily

DRAWING REFERENCE NUMBER:  
**C22.0**  
 SHEET 24 OF 41





Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Stone paver edging (E3)	Railroad Tie Retaining Wall (B4-G4)	LB (C3; 1 tree, 5 boxwoods)	Stone paver edging (C3), Stepping stone path (B3-C3)
1	Holly (B2), Tree (B1)	2 Japanese Maple (B2, B3), Tall Planter (B2)	LB (B3-B4, A3-A4; 1 juniper bush, 1 crocasmia, 10 boxwood shrubs, 1 rhododendron, 2 yellow bushes), LB (B1-B3, C1; restore 2-ft wide), Arborvitae (B1), Katsura (B1), 2 Shrubs (B2), 1 plant (B2; type to be identified by contractor)	Plastic edging (B1-B3, C1)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

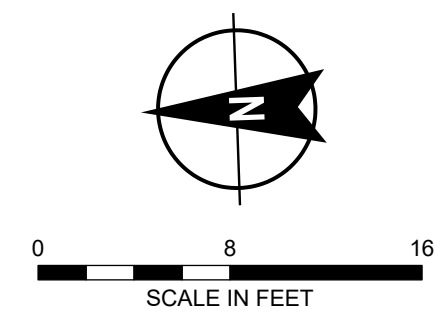
- Approximate
- Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Stepping Stones
- Stump
- Tree
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

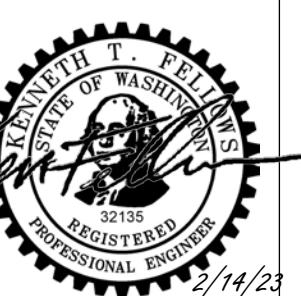
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



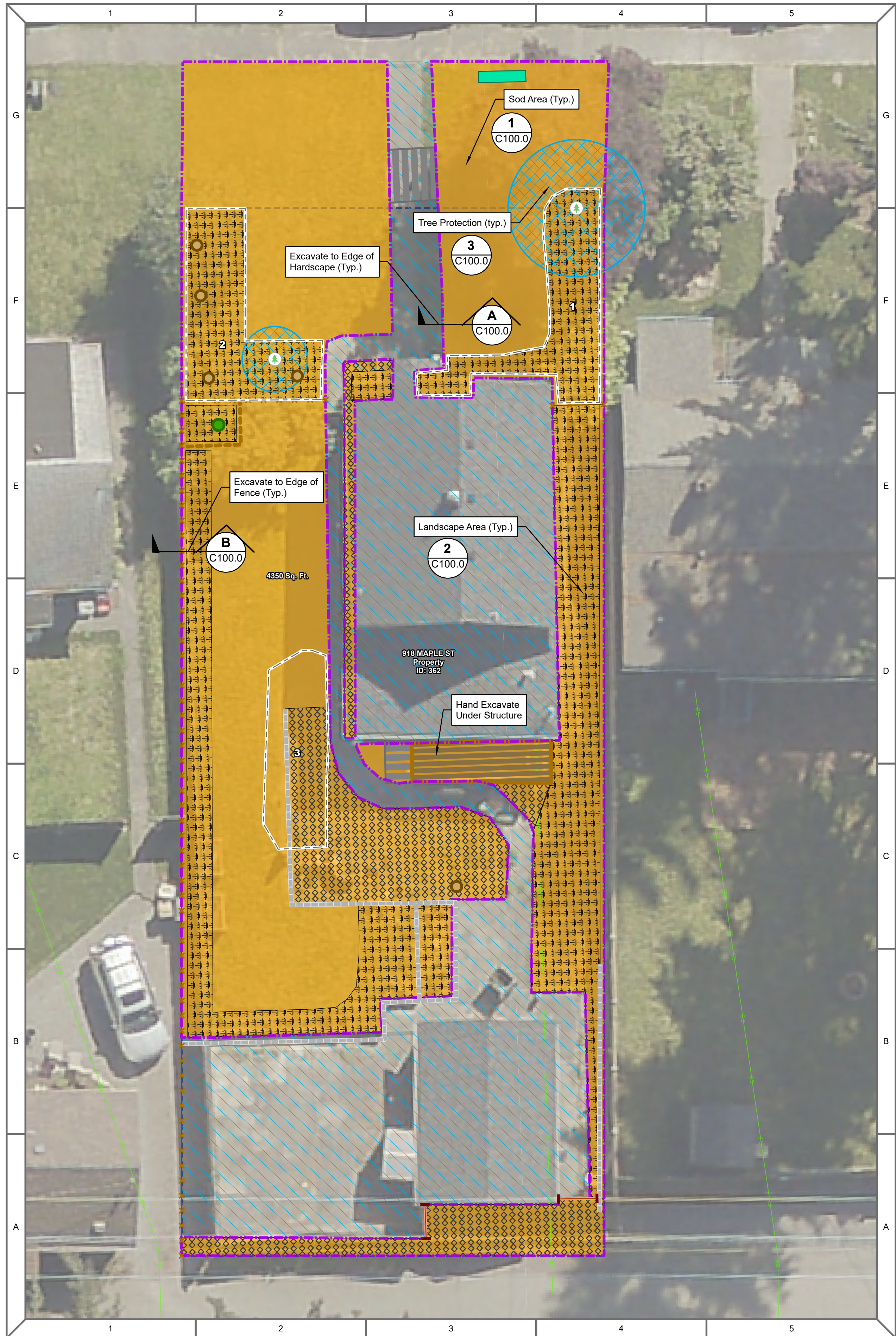
MARK	DESCRIPTION	DATE APPR.	MARK	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: INSA	JOB NUMBER: 050406806	
REVIEWED BY: KTIF		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P\10\0504068\GIS\050406806_Project_60pct.aprx	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1031 Maple St**  
**Parcel ID: 392**  
 Owner: Finally Home LLC; Landlord: April O'Brien

DRAWING REFERENCE NUMBER:  
**C23.0**  
 SHEET 25 OF 41



Detail Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Cinderblock border (F3), Wood edging (E1, A4-E4)		Butterfly bush (E1), LB (B1-E1, B1-B3; Restore 3 ft wide), Lower LB (B3-C3)	
1	Edging (F3-F4, G4)	Large Plum Tree (G4)	LB (F3-F4, G4; restore with 3 laurels and 5 hostas)	
2	Edging (F1-G1, F2)	Holly Tree (F2)	LB (F1-G1, F2)	
3	Broken pavers (D2), Retaining wall (C2-D2; remove to top of concrete slab)			

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

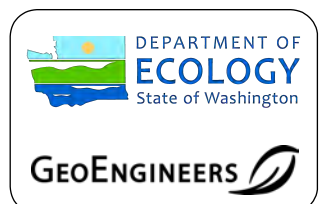
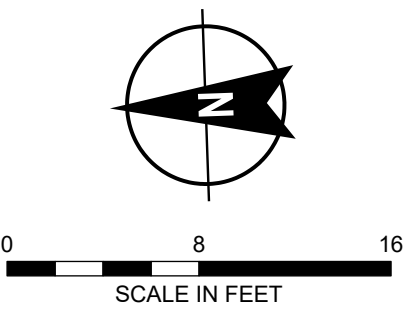
- Deck
- Stairs
- Approximate
- Critical Root Zone
- Stairs
- Mailboxes
- Fence
- Gate
- Retaining Wall
- Wood Edging
- Stump
- Tree
- Bush
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



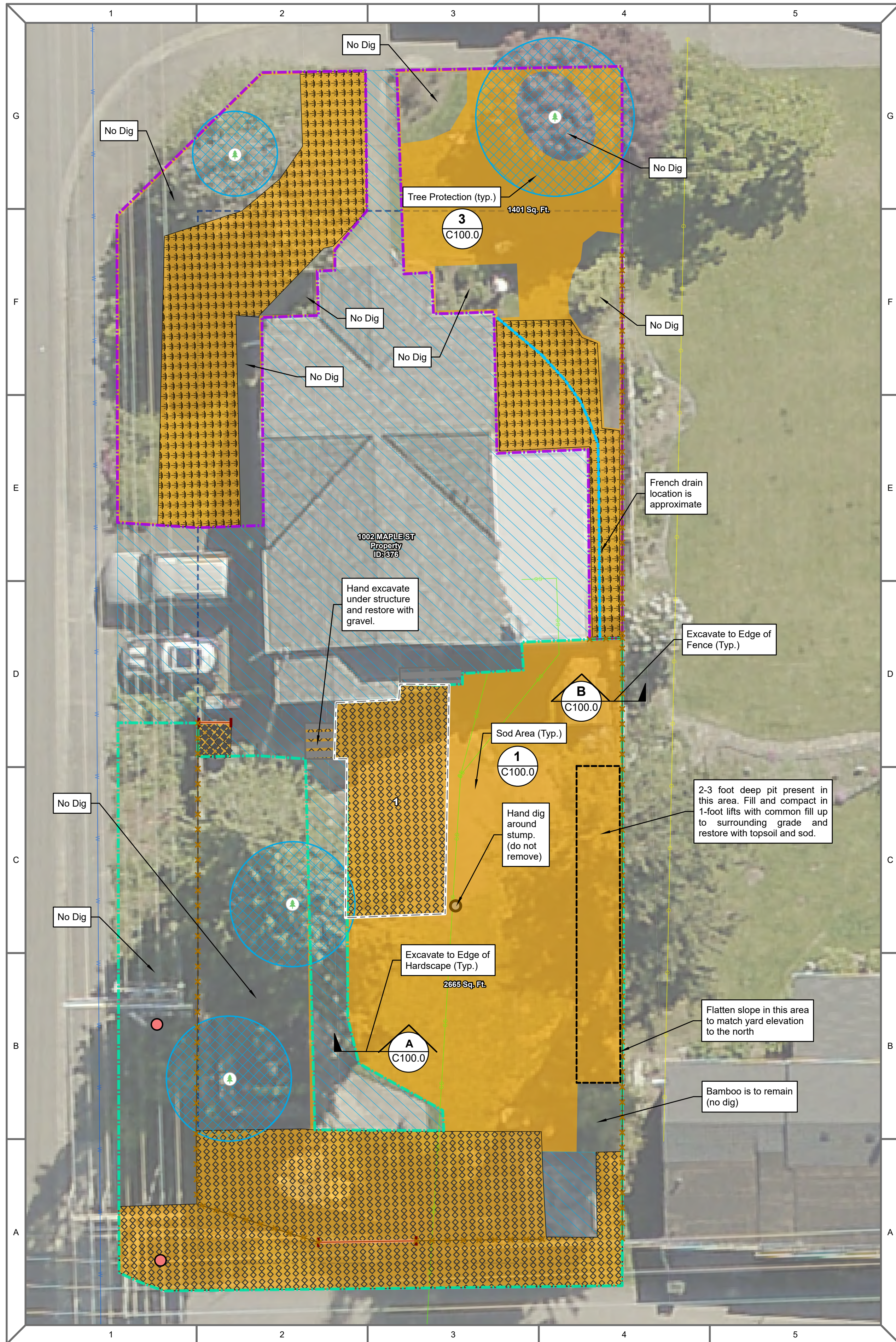
REV. NO	DATE	DESCRIPTION	MARK	DATE APPR.	APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
	KTIF	
REVIEWED BY: ARJ	FILE NAME: 050406806_P1000000_02.02.23.dwg	
SUBMITTED BY: GEOENGINEERS	PROJECT: 918 MAPLE ST	
	SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 918 Maple St**  
**Parcel ID: 362**  
 Owner: West of Pilchuck, LLC  
 Attn: Adam & Heather Poulsen

DRAWING REFERENCE NUMBER:  
**C24.0**  
 SHEET 26 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		French drain (entire DU, approx. 3 feet belowground)		
DU-B	Brick patio (D1-D2, restore with gravel)	Cedar Tree (C2), Stump over sewer line (C3; stump not visible, owner to mark location)		
1	Lawn (C2-D2, C3-D3; If deck is constructed, hand dig under structure as feasible)			

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

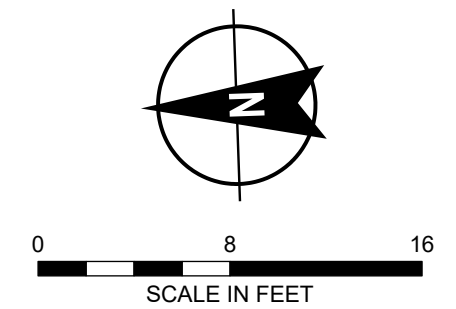
- Pavers
- Stairs
- Approximate
- Critical Root Zone
- Fence
- Gate
- French Drain/Drain Pipe
- Stump
- Tree
- Utility Pole
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

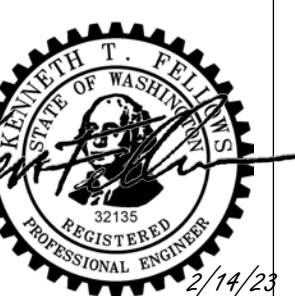
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



MARK	DESCRIPTION	DATE APPR	MARK	DATE APPR	DESCRIPTION	DATE APPR

DESIGNED BY: SUB	DATE: 02/23	REV: 0
DRAWN BY: MSA <td>JOB NUMBER: 050406806</td> <td></td>	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P1002 Maple St - SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1002 Maple St**  
**Parcel ID: 376**  
 Owner: Sandra & Timothy Neal

DRAWING REFERENCE NUMBER:  
**C25.0**  
 SHEET 27 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Shrubs (D4), plants (D3), Shrub and block border (F4-G4)	Curly Willow tree and rock edging (F3), Short retaining wall (F4)		Rock edging (F3), Pavers (D3), Edging (F4)
DU-B	Stone and gravel edging (C1-D1, C2-D2), Exposed soil (B1, restore with gravel up to the water pipe on side of house)	Horse Chestnut Tree (F1), Magnolia Tree (F1), Large Tree (C1), Freckle Face Nectarine Tree (C1)	LB (C1-F1)	Block edging (B1-B2), Edging (C1-F1)
1	Fern in LB (C1-D1)	Yucca and Artichokes in LB (C1-D1)	LB (C1-D1; replace plants in kind except as noted)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Approximate Critical Root Zone
- Fence
- Retaining Wall
- Pavers
- Tree
- Water Spigot
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



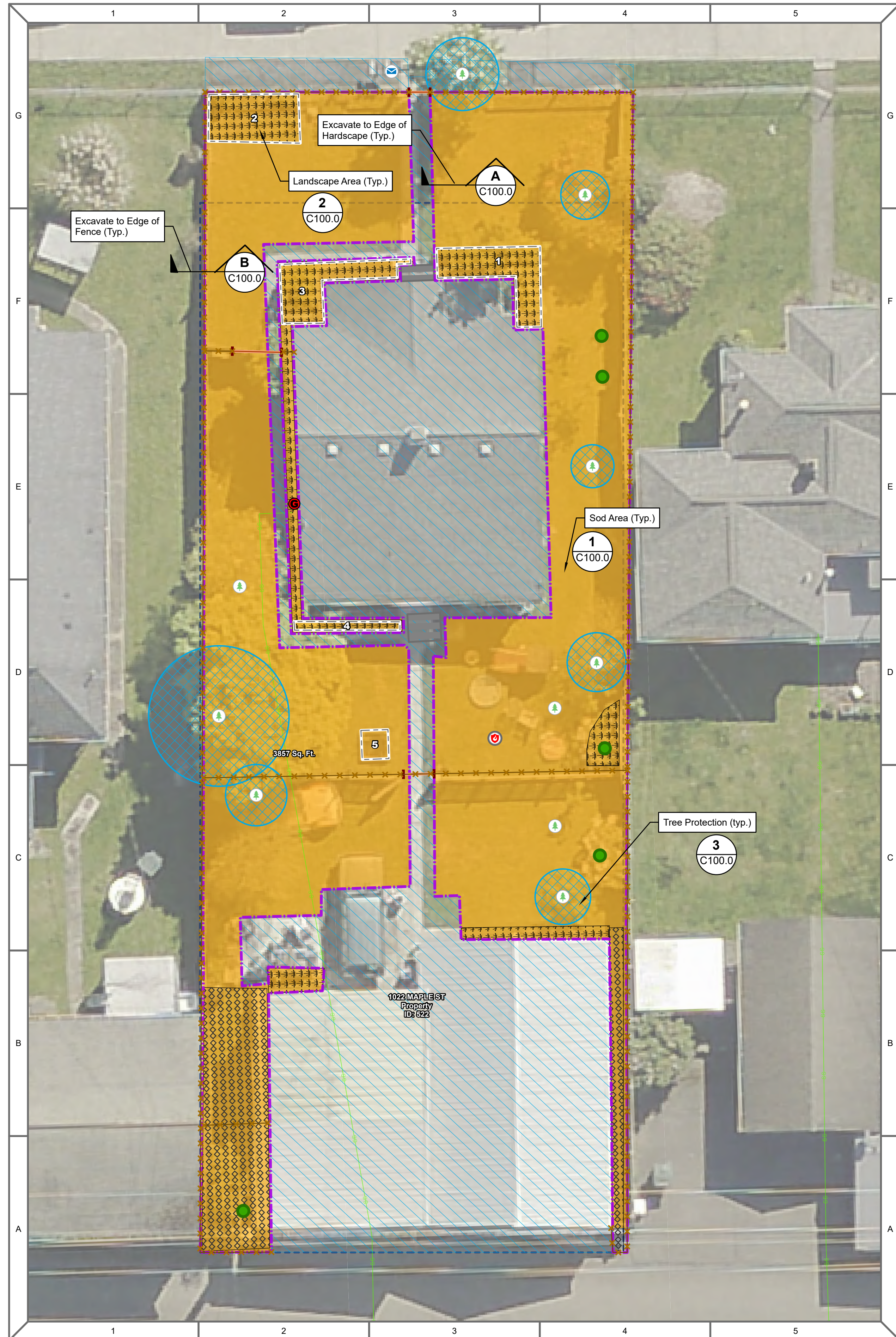
MARK	DESCRIPTION	DATE	APPR.	MARK	DATE	APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1008 Maple St**  
**Parcel ID: 377**  
 Owner: Brian & Jacqueline Bunch

**DRAWING REFERENCE NUMBER:**  
**C26.0**  
 SHEET 28 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		3 Trees (G3, G4, D4), Large Maple Tree (C2), Cedar Tree (C4), Trees and shrubs (A1-A2), Bamboo (A1)	Fuschia (E3), 2 LBs (D2-F2, B2), Tree (D2), Apple Tree (D4), 2 Rhododendron (D4 [Pink], C4), Bosch Pear (C4)	Fire Pit (D3)
1		Shrub (F4)	LB (F3-F4), Pink Hydrangea (F3)	
2			LB (G1-G2; replace all plants including 1 red rose, 1 lemon balm)	
3			LB (F2-F3; replace all plants including 1 rosemary plant)	
4			LB (D2-D3; replace all plants including 4 pink roses)	
5	Raised Bed (D2, restore with topsoil only)	Raised Bed Walls (D2)		

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

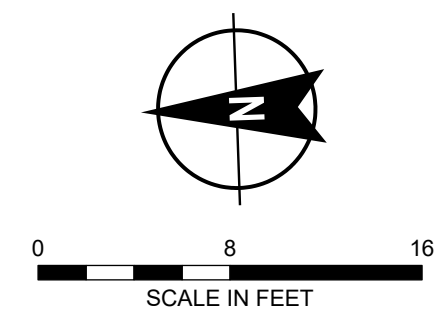
- Stairs
- Approximate
- Critical Root Zone
- Fence
- Gate
- Tree
- Fire Pit
- Gas
- Bush
- Mailbox
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



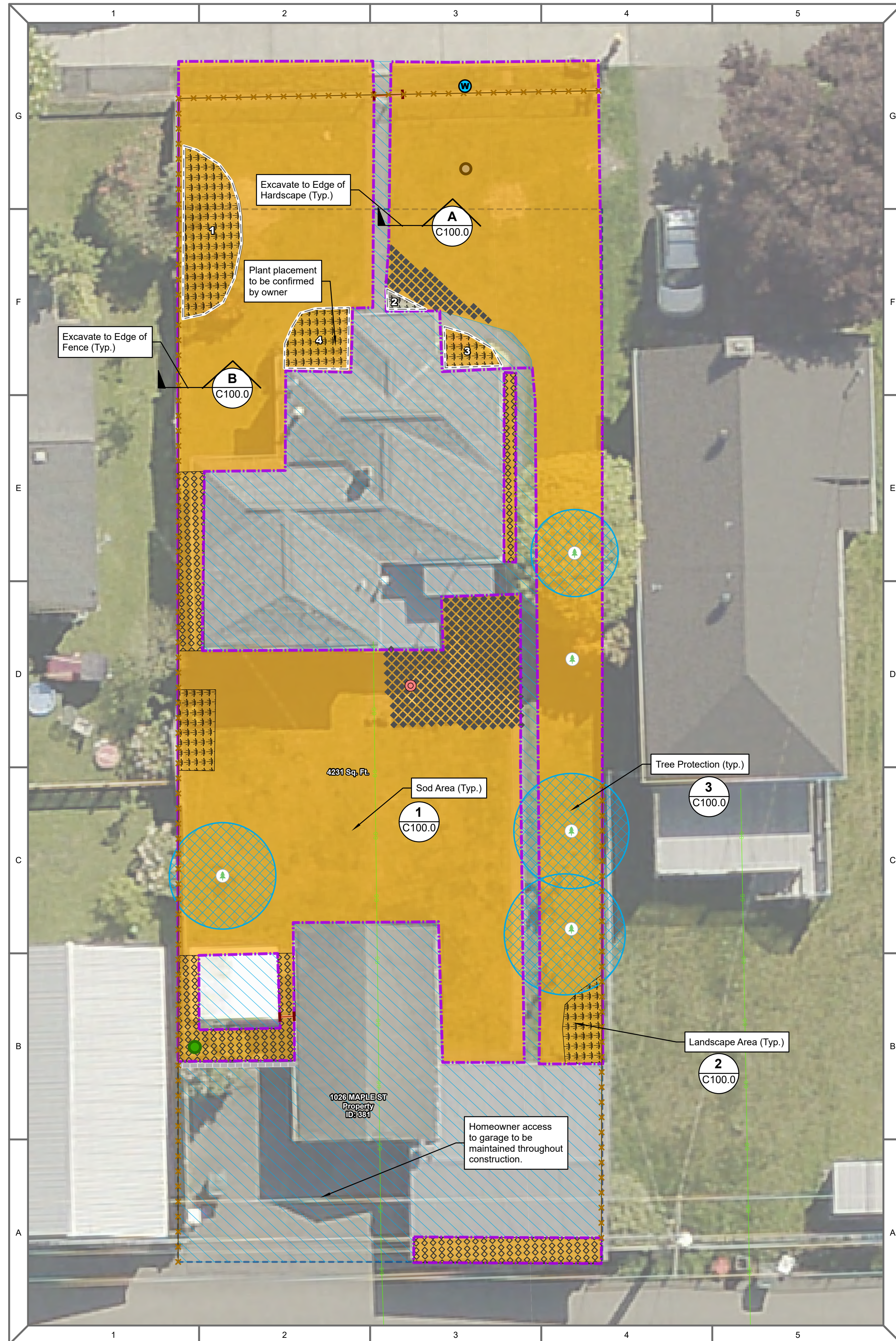
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: KTF	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pcent.aprx	
	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1022 Maple St**  
**Parcel ID: 522**  
 Owner: Stone Phillips

DRAWING REFERENCE NUMBER:  
**C27.0**  
 SHEET 29 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Broken up hardscape (F3), Small tree (D4), Stone pavers (D3)	Large Rhododendron (E4), 3 Fruit Trees (B4, C4, C1), White lilac (B1-B2)	LB (B4; 1 raspberry bush), LB (D1; 1 pink climbing rose, 1 purple lilac)	LB Edging and Rocks (B4)
1			LB (F1-G1; 1 hydrangea, 1 red rhododendron)	
2			LB (F3; 1 white hosta)	
3			LB (F3; 6 sweet williams, 1 to be identified plant with white buds, 1 red azalea, 1 variegated shrub)	
4			LB (F2; 1 sword fern, 1 columbine, 1 camilea)	

**Notes**  
**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Pavers
- Approximate Retaining Wall
- Critical Root Zone
- Stump
- Tree
- Water Meter
- Fence
- Gate
- Sewer Cleanout
- Hard Surface
- Tax Parcel Boundary
- Bush
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed

MARK	DESCRIPTION	DATE APPR.	MARK	DATE APPR.	DESCRIPTION

DESIGNED BY: SUB

DRAWN BY: CKD BY: KTF

REVIEWED BY: ARJ

SUBMITTED BY: GEOENGINEERS

DATE: 02/23

JOB NUMBER: 050406806

FILE NAME: 050406806\_Project\_60pct.dwg

PLT SCALE: SEE DRAWING

REV. 0

EVERETT SMELTER UPLANDS RESIDENTIAL

2020 CLEANUP GROUP

EVERETT, WASHINGTON

Address: 1026 Maple St

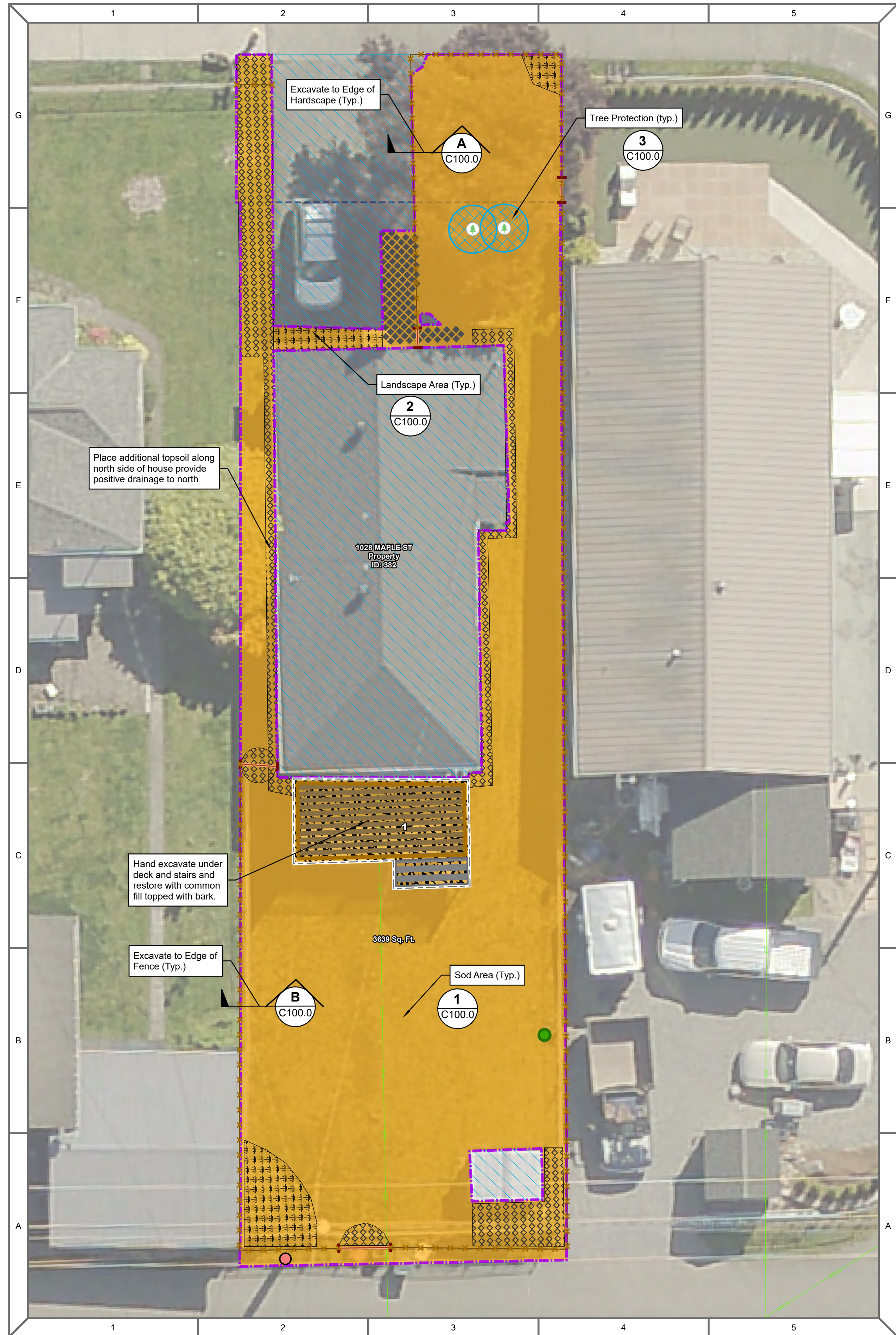
Parcel ID: 381

Owner: Bethany McMahan-Moreland

DRAWING REFERENCE NUMBER:

**C28.0**

SHEET 30 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Perimeter of house (C2-F2, C3-F3, restore with 1-ft wide gravel buffer)	2 Trees (F3, F4)	3 LBs (A2, F2, G4), Bush (B4)	Pavers (F3)

**Notes**

**General**  
G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

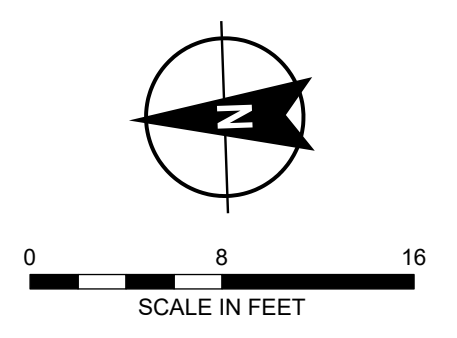
- Deck
- Pavers
- Stairs
- Approximate
- Critical Root Zone
- Fence
- Gate
- Tree
- Utility Pole
- Bush
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark



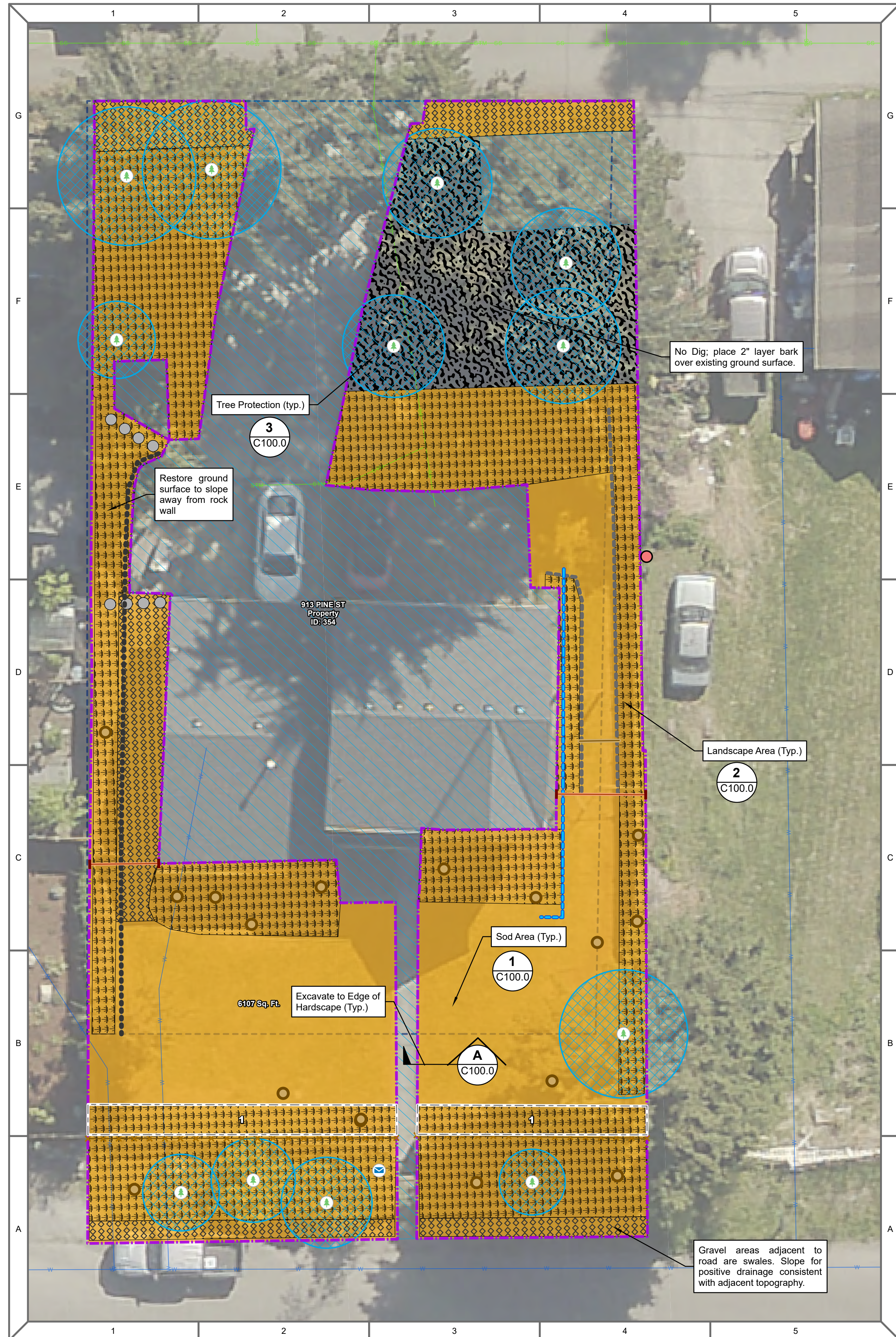
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: JMSA	JOB NUMBER: 050406806	
REVIEWED BY: AJR	FILE NAME: 050406806_Project_60pnt.aprx	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1028 Maple St**  
**Parcel ID: 382**  
 Owner: Lauren & Colby White

DRAWING REFERENCE NUMBER:  
**C29.0**  
 SHEET 31 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		LBs (C1-C2, C3-C4, all plants to remain, work around and restore as LB), Trees (A1-A4, B4, F1, F3-F4, G1-G2), Drain Pipe (C4-D4)	LB (B1-E1), LB (C4-D4), LB (C4-E4; 2-box hedges, 1 tree)	Stepping Stones (E1, D1)
1		Trees (B1-B4)	LB (B1-B3), LB (B3-B4; 1 white rose, 3 shrubs, 1 mint)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Approximate Critical Root Zone
- Fence
- Gate
- Concrete Block Wall
- French Drain/ Drain Pipe
- Arch
- Block Edging
- Stepping Stones
- Stump
- Tree
- Utility Pole
- Mailbox
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark

REV. #	DATE	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SJB    DATE: 02/23    REV. 0  
 DRAWN BY: MSA    JOB NUMBER: 050406806  
 CHECKED BY: KJF    REVIEWED BY: ARJ  
 SUBMITTED BY: GEOENGINEERS    FILE NAME: 050406806\_P101050406806\_Project\_60pnt.dwg

EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 913 PINE ST**  
**Parcel ID: 354**  
 Owner: Rigoberto Pina-Torres

DRAWING REFERENCE NUMBER:  
**C30.0**  
 SHEET 32 OF 41





Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Paving stones (B3-E3), 2 LBs (F3, F4), Paving stones (A3), LBs (A2-A3)		2 Arborvitea (E4)	
1		Tree (B2)		Hen House (B2), Gate (B2)

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Deck
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Tree
- Hydrant
- Bush
- Mailbox
- Henhouse
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark

REV. 0	DATE: 02/23	DESIGNED BY: SUB	DATE APPR:	DESCRIPTION	MARK

DESIGNED BY: MSA

DRAWN BY: KJF

REVIEWED BY: ARJ

SUBMITTED BY: GEOENGINEERS

JOB NUMBER: 050406806

FILE NAME: 050406806\_Project\_60pct.dwg

SCALE: SEE DRAWING

EVERETT SMELTER UPLANDS RESIDENTIAL

2020 CLEANUP GROUP

EVERETT, WASHINGTON

Address: 925 Pine St

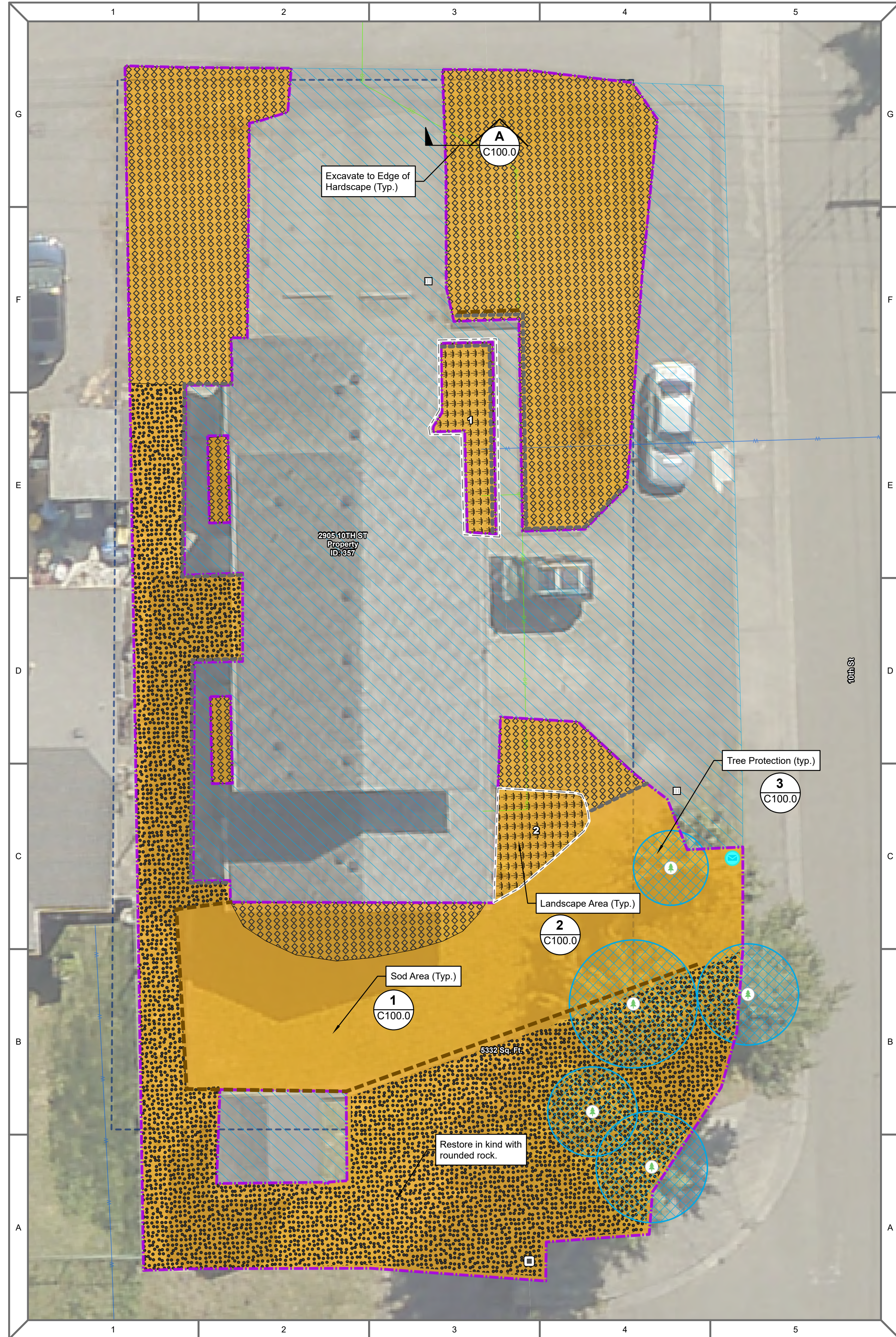
Parcel ID: 355

Owner: Martin Montalvo H. Jr. & Jessica J. Fisher

DRAWING REFERENCE NUMBER:

C31.0

SHEET 33 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Brick edging (C4), brick edging (E3-E4, F3-F4), brick edging (B2, C1-C3)	Five Large trees (A4, B4, C4-C5), Railroad ties (B1-B4, C1, F3)		
1			LB (E3-F3; 2 heather plants)	Brick edging (E3-F3)
2			LB (C3-C4; 2 shrubs, 1 pink rose, 1 rhododendron)	Brick edging (C3-C4)

**Notes**

**General**  
G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

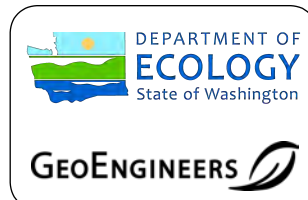
- Approximate Critical Root Zone
- Block Edging
- Railroad Tie Edge
- Tree
- Catch Basin
- Mailbox
- Speed Limit Sign
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

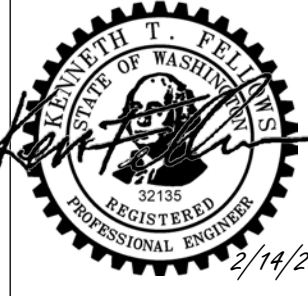
**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Rounded Rock



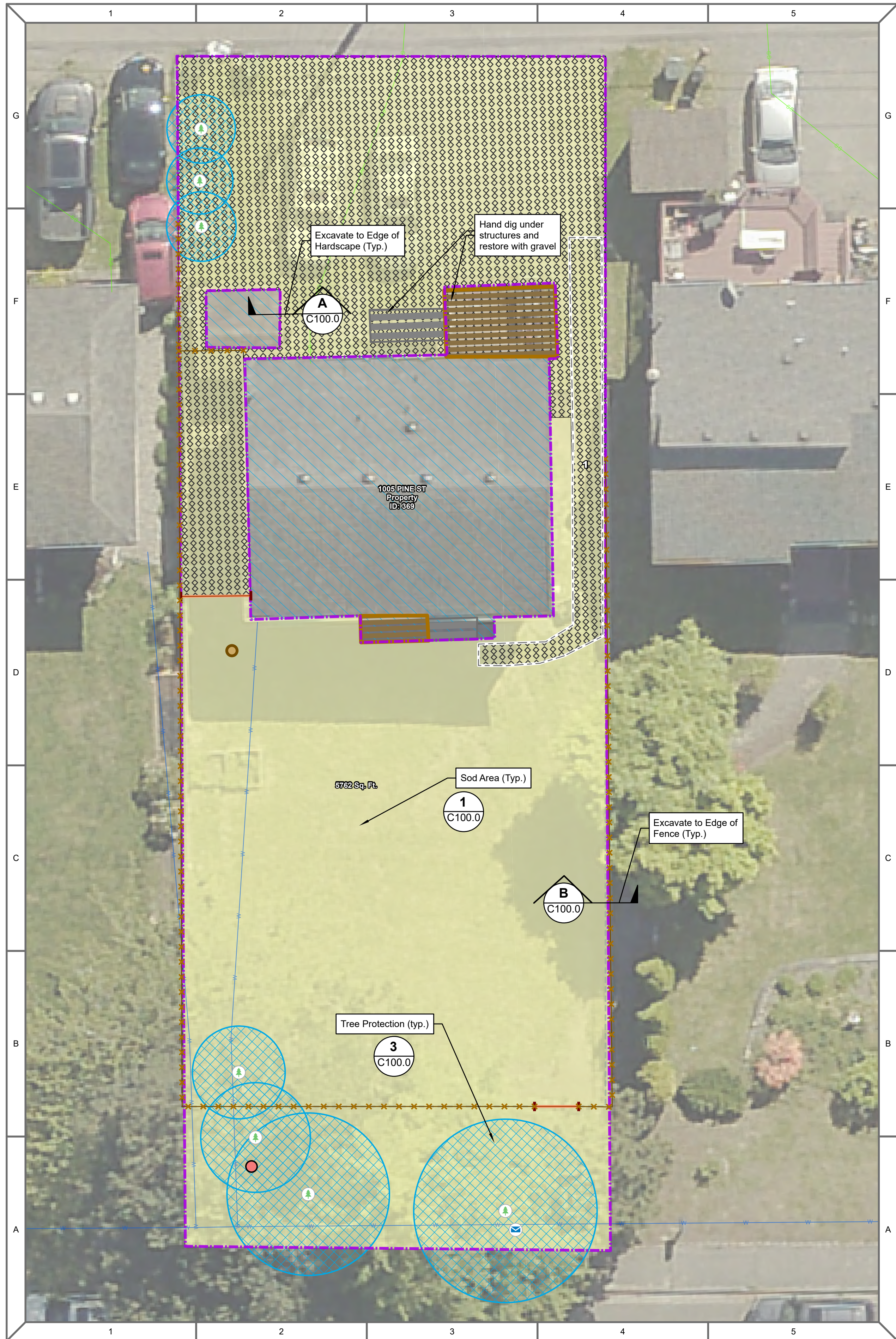
MARK	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	FILE NAME: 050406806_Project_60pcent.aprx	
SUBMITTED BY: GEOENGINEERS	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 2905 10th St  
Parcel ID: 357  
Owner: Yasmeen & Abdul Habib

DRAWING REFERENCE NUMBER:  
**C32.0**  
SHEET 34 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall	Remove and Salvage
DU-A	Peone and Purple Rose (C1-D2)	Trees (A1-A3, B1, F1-G1)			
1				Brick Edging - Verify specific edging to be removed and to be removed/re-installed (D3, E4, F4; install level with walkway), Rubber edging (D4)	

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

- Deck
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Stump
- Tree
- Utility Pole
- Mailbox
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 6 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel

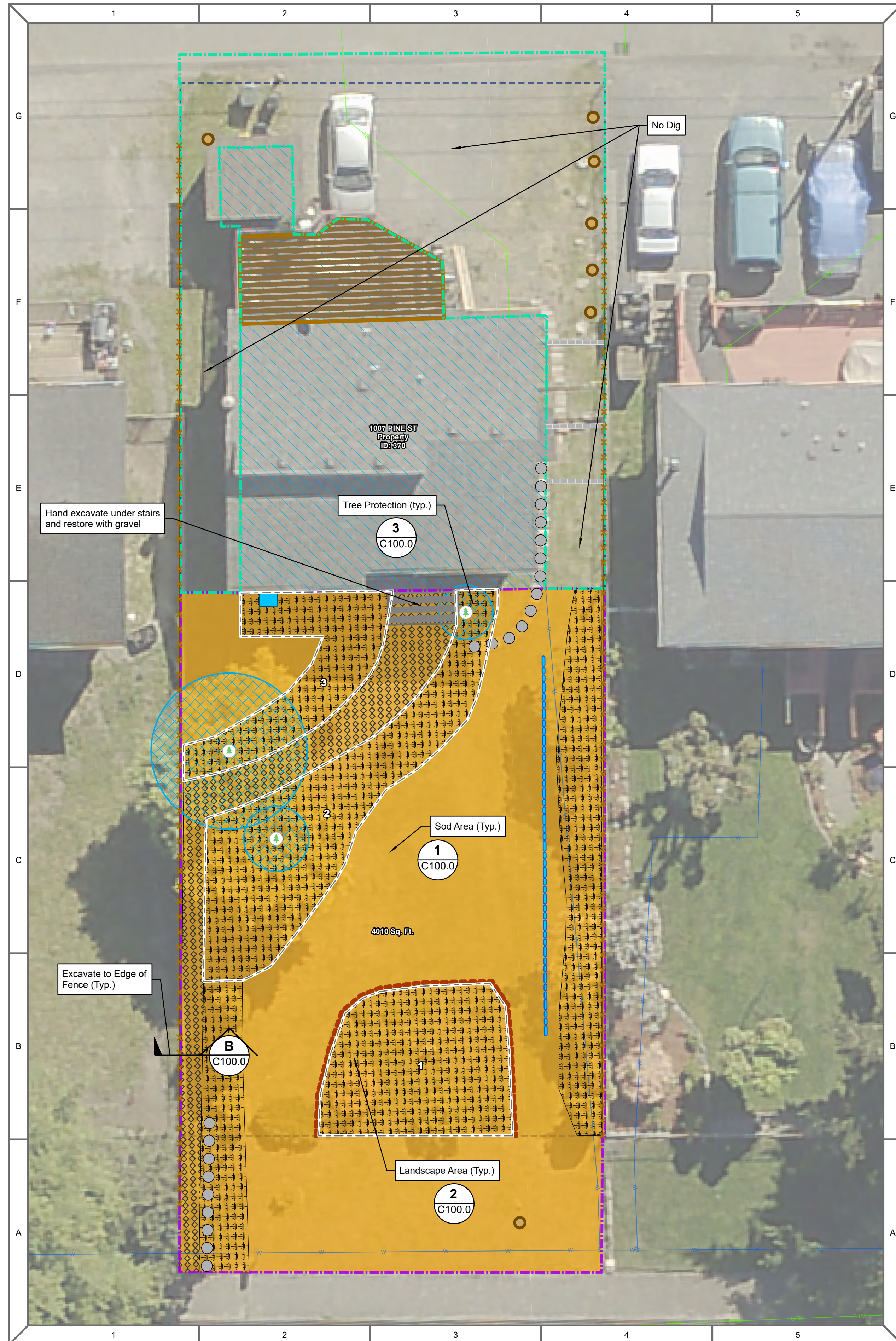
MARK	DESCRIPTION	DATE	APPR.	MARK	DATE	APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_P\1050406806_1005 PINE ST	
	PROJECT SCALE: SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1005 PINE ST**  
**Parcel ID: 369**  
 Owner: Oliver Chico and Catherine Szezhner

DRAWING REFERENCE NUMBER:  
**C33.0**  
 SHEET 35 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	2 Bushes (A2, B2), LB (A4-E4; work around existing plants)	Roof Drain Pipe (B4-D4)	4 Arborvitae (B2), Cedar shrub (B2)	Wood border (A1), Rock edge path (A1), Paver path (E4)
1			LB (B2-B3)	Brick edging (B2-B3)
2		2 Japanese Maple Trees (D3, C2), Rhododendron (D3)	LB (B2-D3; replace all plants including 4 bushes [C5], 5-calendula plants [C5], 5-decorative grasses [C5], 6-calendula plants [D6], 2 bushes [E6])	
3		Tree (D2)	LB (C2-D3; replace all plants including 1 pinkish-red azalea, 6 calendula plants, 1 bush species to be determined, 1 blue hydrangea)	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas per Detail 4/Sheet C100.0 with 6" bark.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

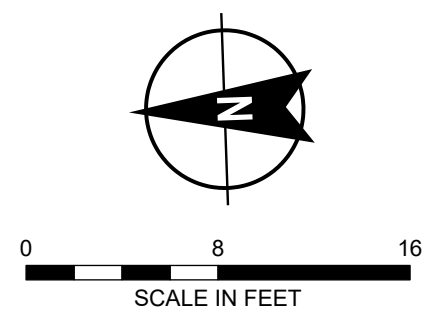
- Deck
- Stairs
- Approximate Critical Root Zone
- Compressor
- Fence
- Retaining Wall
- French Drain/Drain Pipe
- Stepping Stones
- Brick Wall
- Stump
- Tree
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed



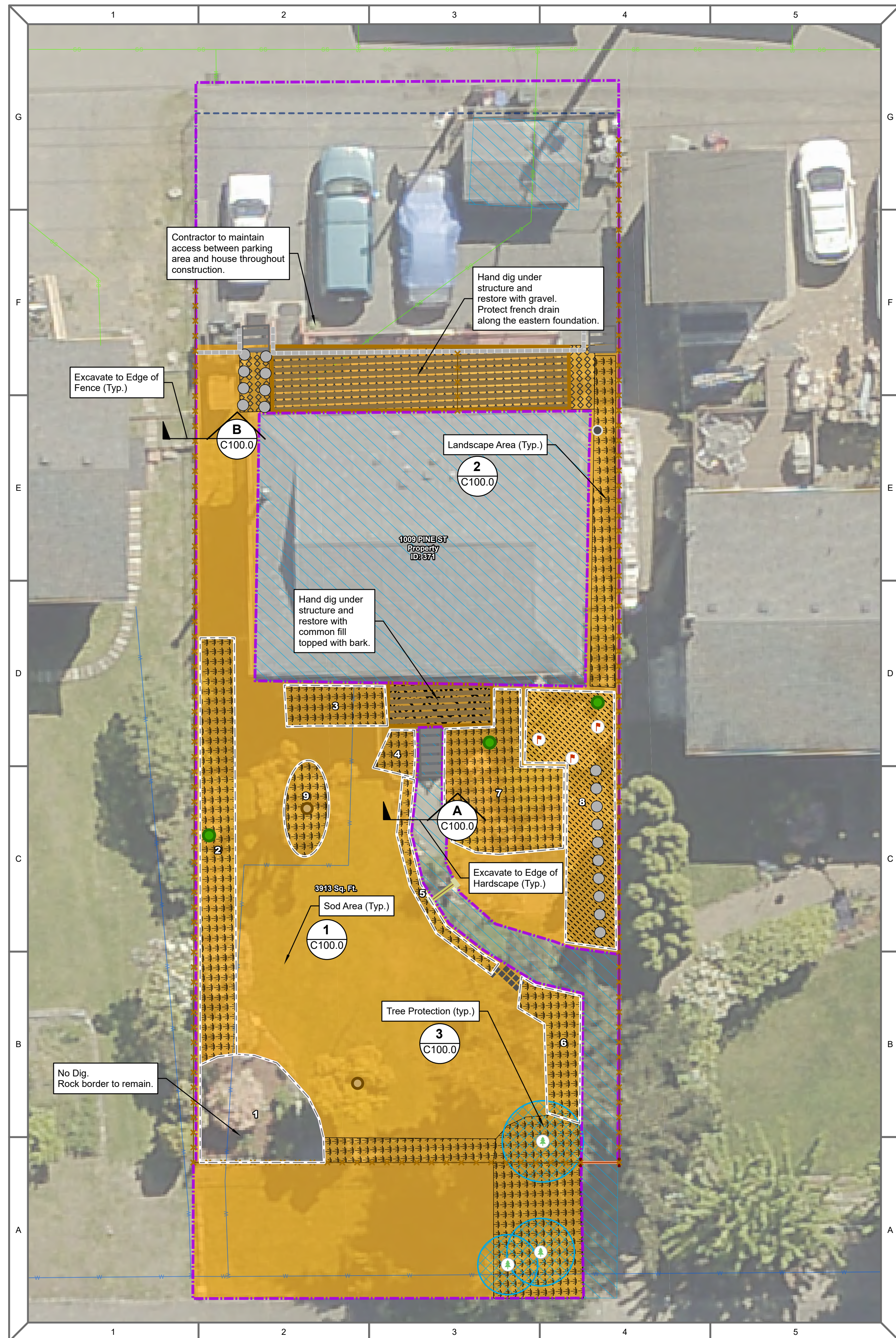
MARK	DESCRIPTION	DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	PROJECT SCALE: SEE DRAWING



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1007 Pine St**  
**Parcel ID: 370**  
 Owner: David & Sudlyanti Maleke

DRAWING REFERENCE NUMBER:  
**C34.0**  
 SHEET 36 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		6 electrical grounding rods (E4), LB and Block wall (C2), 5 Trees (A3, A4, B2, B4, C2), Rhododendren (A4), Camellia plant (D3-D4). Where not indicated to be removed, protect rock borders around landscape beds.	Plants not otherwise mentioned	Pavers (C4-D4, F4), Rock edging (entire DU; handle with care), Block edging (F4)
1		LB (A2-B2)		
2		Rose Bush (C2, owner to mark)	LB (B2-D2; 4 rose bushes [deep red, yellow, pink, peach], 2 flowering bushes [type to be determined], 25 dahlia bulbs, 5 Mhoonsheyed bulbs, 2 hydrangea bushes)	Edging (B2-D2)
3			LB (D2-D3; 10 red dahlias, pink ground cover, 10 gladiola)	Stones (D2-D3)
4			LB (C3-D3; phlox)	Edging (C3-D3)
5		Archway with rose vine (C3)	LB (B3-C3; 24 daffodils, 24 tulips of various colors, 2 rose bushes, 10 gladiolas)	Rock edging, Paver block edging, Bricks (B3-D3)
6			LB (B3-B4; 12 Gladiolas, 1 baby rose, 1 yellow rose, 12 tulips, 12 daffodils, 12 daisy, 12 hyacinth of multiple colors, 12 dahlias)	Edging (A4-B4)
7		Fern (D3)	LB (C3-D4; 12 tulips, 12 daffodils, 6 gladiolas, 5 dahlia, 12 iris bulbs, 3 red dahlia, rose bushes [2 red, 1 white, 1 yellow], 2 carnations [1 white, 1 pink], ground cover)	Large flowering pots (B3-C3)
8		Bush (D4), Flagpoles (D3-D4), Bird Feeder (D3)		Stepping and Paving Stones (D3-D4)
9		Rock border around LB (C2-D2)	LB (C2-D2; restore with 10 dish dahlias [6-in flowers, variety of colors], 20 trumpet daffodils [yellow], 20 tulips [variety of colors])	

**Notes**

**General**

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15. 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

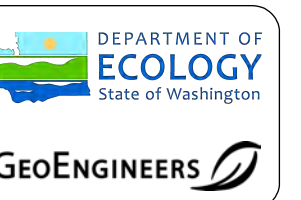
- Deck
- Pavers
- Stairs
- Approximate Critical Root Zone
- Fence
- Gate
- Retaining Wall
- Stepping Stones
- Garden Arbor
- Stump
- Tree
- Flag Pole
- Grounding Pole/Rod
- Bush
- Hard Surface
- Tax Parcel Boundary
- Water
- Gas
- Electric
- Sewer
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark
- Restore to Common Fill



DATE APPR.	MARK	DESCRIPTION	DATE APPR.

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pct.dwg	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
 Address: 1009 Pine St  
 Parcel ID: 371  
 Owner: Wayne and Sundie Kombol

DRAWING REFERENCE NUMBER:  
**C35.0**  
 SHEET 37 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A	Area under front deck (C3-D3, hand dig and restore with gravel)	Tree (A4)		Block and paver pathways, Rock and block edging and walls, Cedar wood border (Entire DU), Brick hardscape (C3), Stone steps (C3)
1			LB (D2-D3; 2 ferns, 2 roses, 1 lavender bush, 1 oregano, 3 snapdragons, 3 lambs ear)	Brick edging (D2-D3), Scalloped edging (D2-D3)
2		Rock Pathway (C3-C4, D4)	LB (D4; 1 rose bush, 1 long stemmed yellow rose bush, 3 white/purple balloon plants)	Brick pavers, block edging, rock border, Scalloped edging (C3-D4)
3		Small Tree (C3)	LB (C3; restore all plants including 3-foxtglove, 1 orange azalea, 1 fern)	Rock edging (C3)
4		Apple tree (B4-C4)	Top Tier LB (C4-D4; 6 strawberry, 1 large fuchsia, 1 rose bush, 1 hosta, 1 golden sage), Middle Tier LB (C4; 5 hostas 4 bleeding hearts, 1 silver fir), Lowest Tier LB (C4; 1 peach rose dogwood, 1 hosta, 4 ferns, 1 rose bush)	Volcanic rock (C4; wash prior to reinstall), Block edging and walls (C3-C4)
5			LB (A4-B4; ferns, pink rose, 2 long-stemmed white roses, hostas)	Block edging (A4-B4)
6	Rubber edging (A2-A3)	Four cherry trees (A2, A4), Rock areas (A2, A4)	LB (A1-A5)	Block edging and Stepping stones (A1-A5), Cobbles (A2-A4)
7			LB (A1-A2; restore all plants including 1 orange azalea, 1 rhododendron), LB (A3-A4; restore all plants including 3 bushes to be identified by contractor)	Block edging (A3-A4), Rock edging (A2-A4), Pavers (A3-A4)
8			LB (B2; restore all plants including 3 rhododendrons)	Rock edging (B2), Cement Block Path and Edging (B2)
9			LB (C2-C3, B2-B3; restore all plants including 2 rhododendrons, crawling ground cover plants)	Rock edging (C2-C3, B2), Block edging (B2-B3, C3)
10			LB (B1-D1, B2-D2; restore all plants including 1 rosemary bush)	Block edging (B1-D1, B2-D2)

**Notes**

**General**

G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.

G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.

G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.

G4. UNO, owner must remove debris and objects from work areas before construction work starts.

G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

D1. Protect existing features not indicated to be removed.

D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.

R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.

R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.

R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.

R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

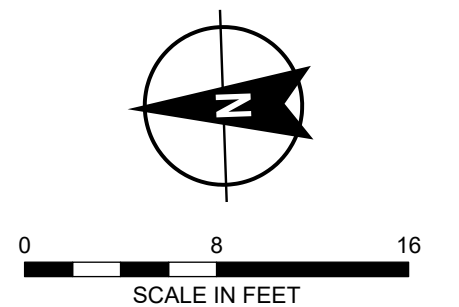
- Concrete Pad
- Lava Rocks
- Stump
- Water
- Deck
- Fence
- Tree
- Gas
- Pavers
- Gate
- Hard Surface
- Electric
- Stairs
- Retaining Wall
- Tax Parcel Boundary
- Sewer
- Approximate Wall
- Block Edging
- Critical Root Zone
- Drain

**Legend (Remediation)**

- Dig to 12 Inches
- Decision Unit A
- Decision Unit B
- Detail Area (1,2,3, etc.)

**Legend (Restoration)**

- Restore to Gravel
- Restore to Landscape Bed
- Restore to Bark



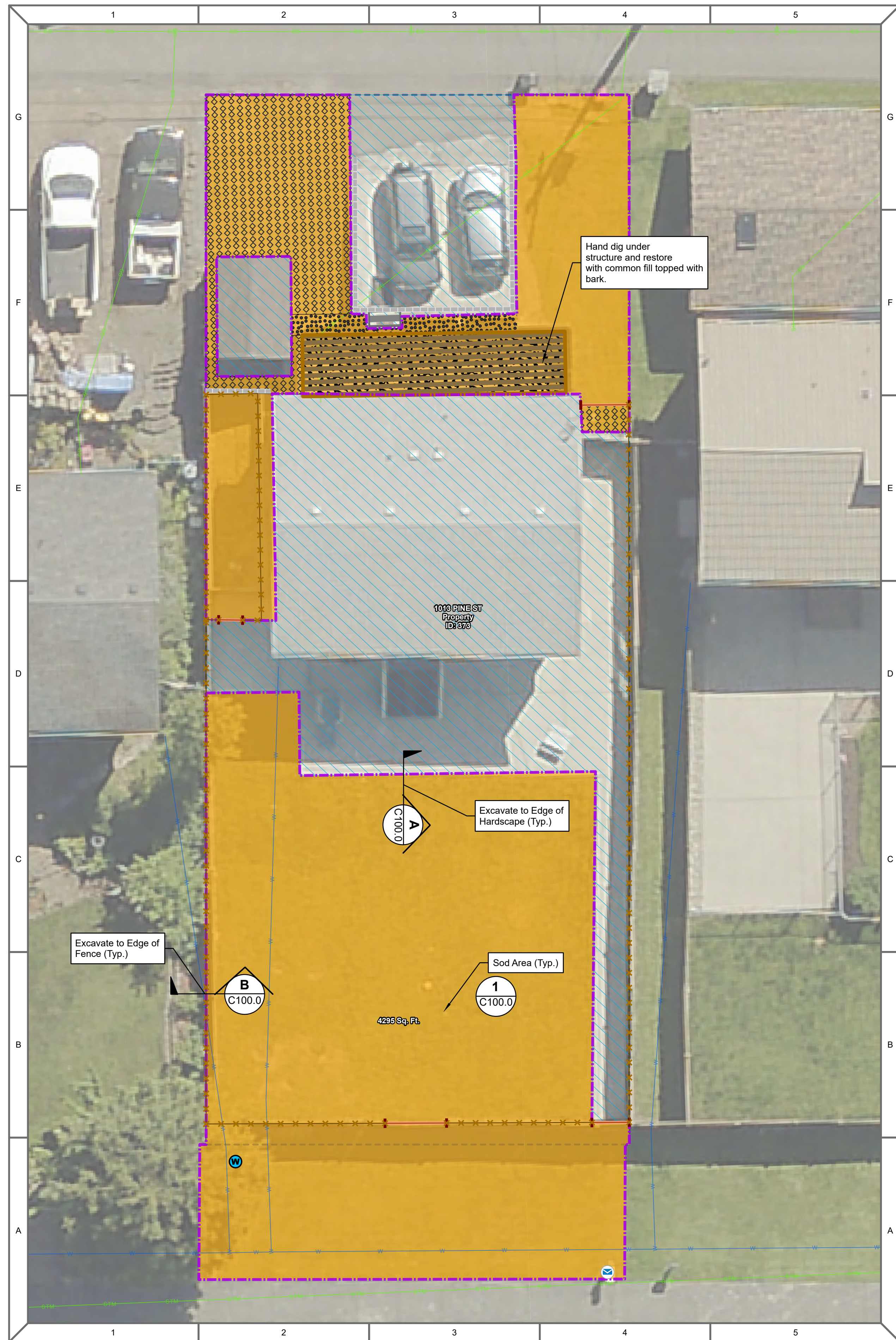
MARK	DESCRIPTION	DATE APPR.	MARK

DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 1011 Pine St - Remediation - 1/14/23	



EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON  
Address: 1011 Pine St  
Parcel ID: 372  
Owner: Curtis Wall

DRAWING REFERENCE NUMBER:  
**C36.0**  
SHEET 38 OF 41



Area	Remove	Remain	Remove and Replace in Kind	Remove and Reinstall
DU-A		Water meter (A2, re-grade area to drain toward street)		River rock (F3-F4; wash prior to reinstall)

**Notes**

- General**  
 G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.  
 G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.  
 G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.  
 G4. UNO, owner must remove debris and objects from work areas before construction work starts.  
 G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

**Demolition/Excavation**

- D1. Protect existing features not indicated to be removed.  
 D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

**Restoration**

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.  
 R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.  
 R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.  
 R4. Restore bark restoration areas with common fill and bark per Detail 4/Sheet C100.0.  
 R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

**Legend (Existing)**

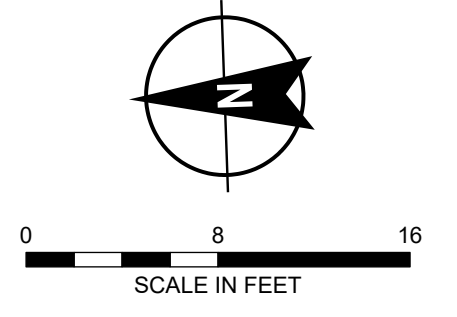
[Pattern] Deck	[Symbol] Water Meter	[Line] Water
[Pattern] Stairs	[Symbol] Mailbox	[Line] Gas
[Symbol] Fence	[Pattern] Hard Surface	[Line] Electric
[Symbol] Gate	[Pattern] Tax Parcel Boundary	[Line] Sewer
[Symbol] Retaining Wall	[Pattern] Boundary	[Line] Drain

**Legend (Remediation)**

[Color] Dig to 12 Inches	[Symbol] Decision Unit A
--------------------------	--------------------------

**Legend (Restoration)**

[Pattern] Restore to Gravel
[Pattern] Restore to Bark
[Pattern] Restore to Rounded Rock



MARK	DESCRIPTION	DATE APPR	MARK	DESCRIPTION	DATE APPR

DESIGNED BY: SUB	DATE: 02/23	REV 0
DRAWN BY: CKD BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ		
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_1013 Pine St - SEE DRAWING	



EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: 1013 Pine St**  
**Parcel ID: 373**  
 Owner: Loretta & Robert Kahlor

**DRAWING REFERENCE NUMBER:**  
**C37.0**  
 SHEET 39 OF 41



No Table For This Property

### Notes

#### General

- G1. Work generally consists of assessing existing conditions (Section 02 22 00), selective demolition (Section 02 41 13), excavation and disposal of impacted soil (Sections 31 23 16 and 02 61 13 respectively), backfilling with clean soil (Sections 31 23 23 and 32 15 00), and resodding/restoration (Sections 32 92 23, 32 93 33, 32 93 43, 32-14-00, 32 15, 000). Complete all work as indicated in Contract Documents.
- G2. Remove, Remain, Remove and Replace in Kind, Remove and Reinstall, and Remove and Salvage are defined in Section 02 41 13, Article 1.03 of the Specifications.
- G3. Property restoration shall match its original condition(s) per Section 02 22 00 Existing Conditions Assessment UNO on this sheet.
- G4. UNO, owner must remove debris and objects from work areas before construction work starts.
- G5. Structures, hardscapes, walls, fences, and utilities shall not be removed or altered UNO. Stumps shall be removed UNO.

#### Demolition/Excavation

- D1. Protect existing features not indicated to be removed.
- D2. For all trees not indicated to be removed, determine tree CRZ areas during pre-construction assessment, and excavate within CRZ areas per Detail 3/Sheet C100.0. CRZ areas indicated on the drawings are approximate and should not be used for construction.

#### Restoration

- R1. Restore sod restoration areas with Common Fill overlain by topsoil and Sod per Detail 1/Sheet C100.0.
- R2. Restore landscape bed restoration areas in accordance with Detail 2/Sheet C100.0.
- R3. Restore gravel restoration areas with common fill and gravel per Detail 4/Sheet C100.0.
- R4. Restore bark restoration areas per Detail 4/Sheet C100.0 with 6" bark.
- R5. Restore areas covered by pavers and stepping stones per Section 32 14 00.

#### Legend (Existing)

- Approximate Critical Root Zone
- Fence
- Tree
- Water Meter
- Hydrant
- Street Sign
- Hard Surface
- Water
- Gas
- Electric
- Sewer
- Drain

#### Legend (Remediation)

- Dig to 12 Inches
- Decision Unit A

#### Legend (Restoration)

- Restore to Gravel



MARK	DESCRIPTION	DATE	APPR.	MARK	DESCRIPTION	DATE	APPR.

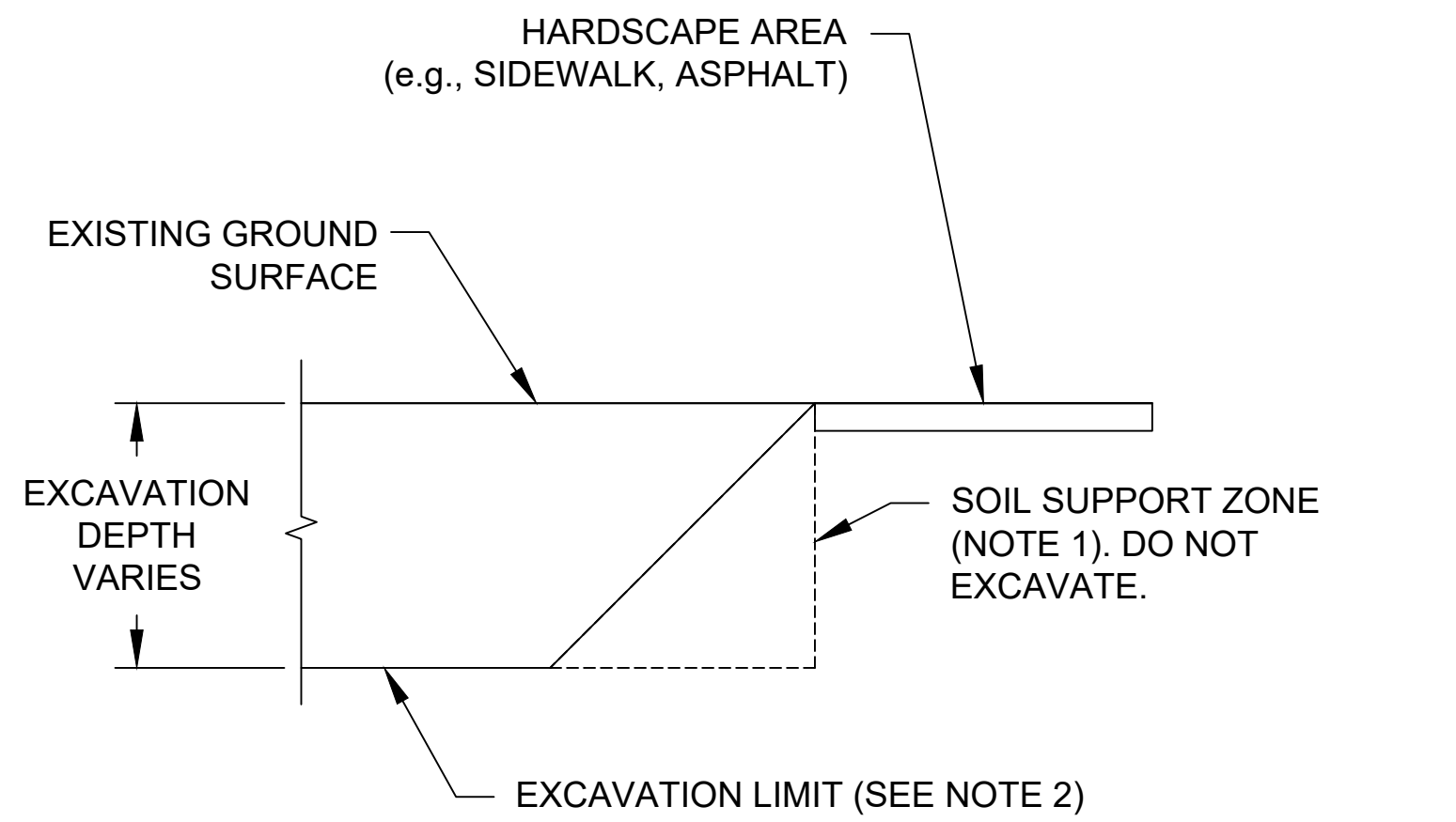
DESIGNED BY: SUB	DATE: 02/23	REV. 0
DRAWN BY: MSA	JOB NUMBER: 050406806	
REVIEWED BY: ARJ	KTF	
SUBMITTED BY: GEOENGINEERS	FILE NAME: 050406806_Project_60pcent.aprx	
	PROJECT SCALE: SEE DRAWING	



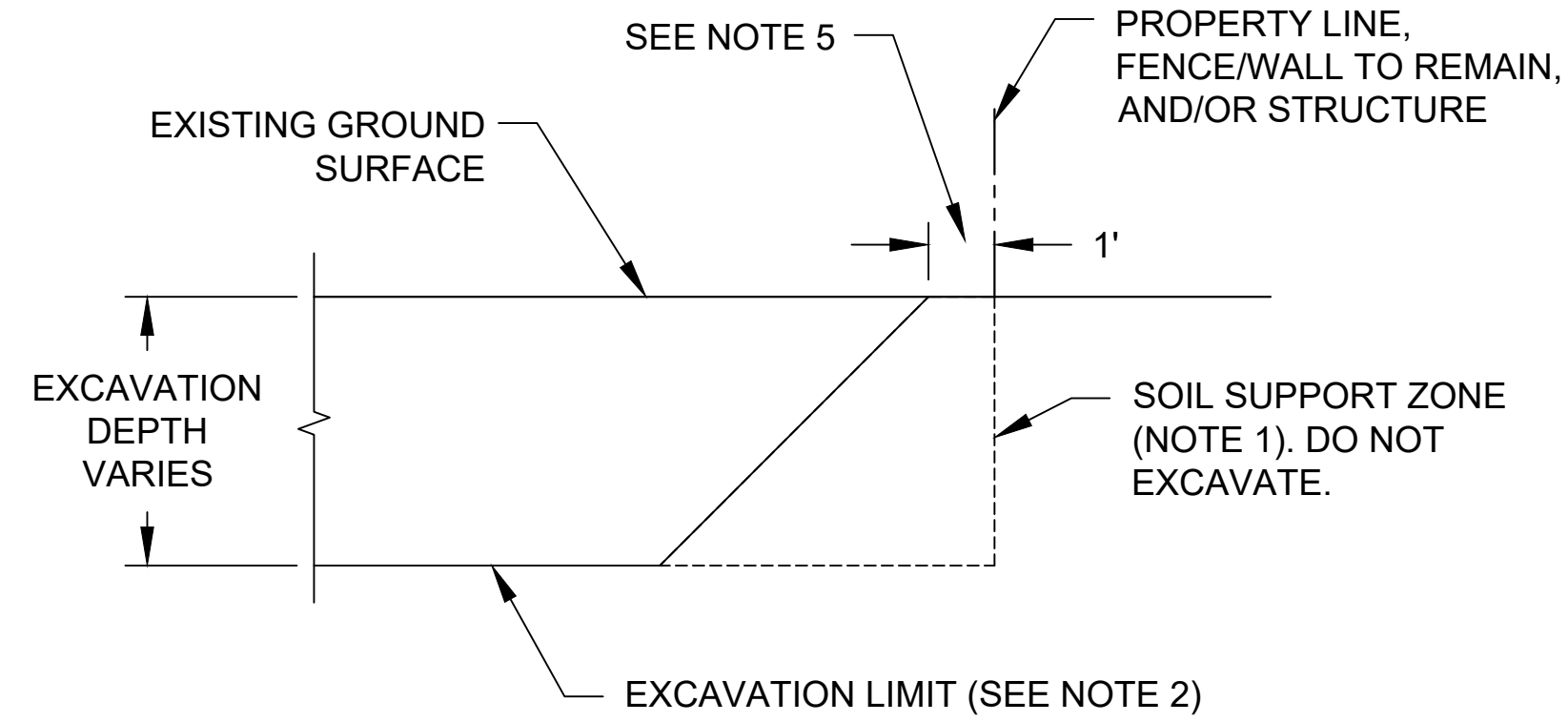
EVERETT SMELTER UPLANDS RESIDENTIAL  
 2020 CLEANUP GROUP  
 EVERETT, WASHINGTON  
**Address: Vacant Pine St. Lot**  
**Parcel ID: 375**  
 Owner: Loretta & Robert Kahlor

DRAWING REFERENCE NUMBER:  
**C38.0**  
 SHEET 40 OF 41

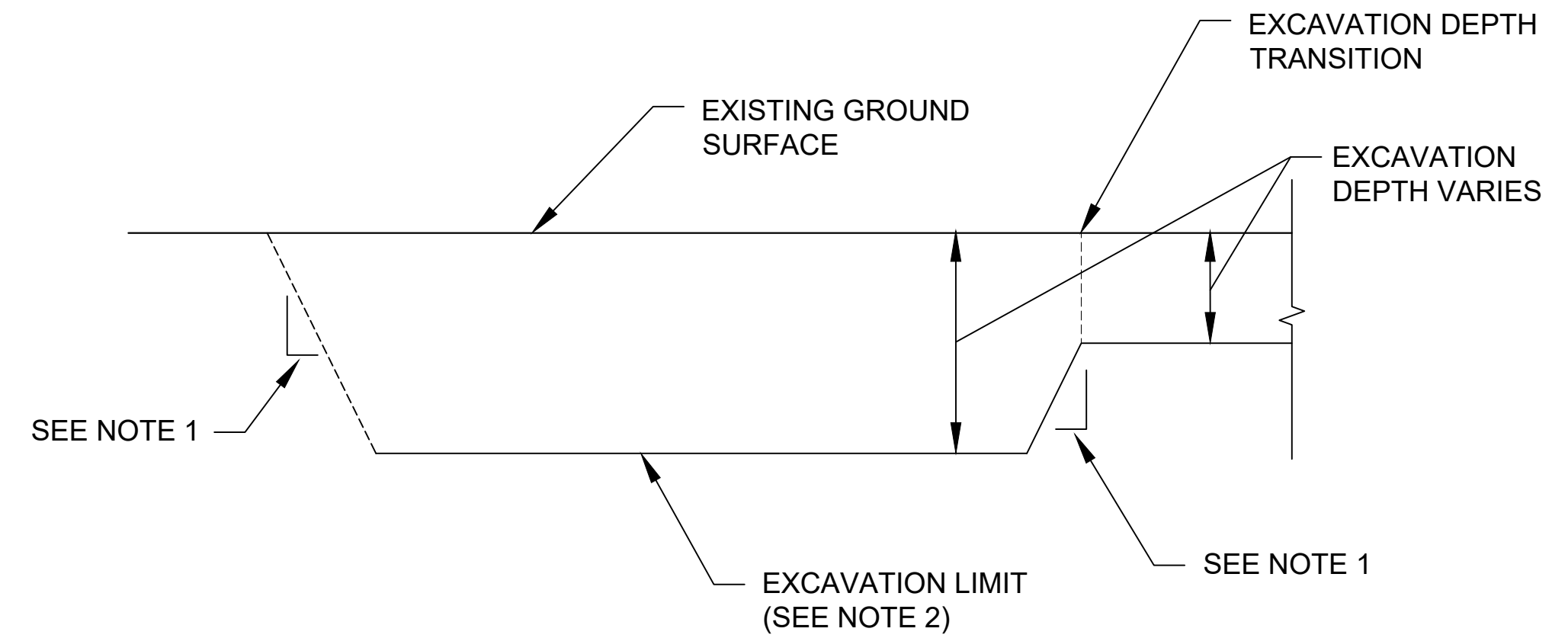




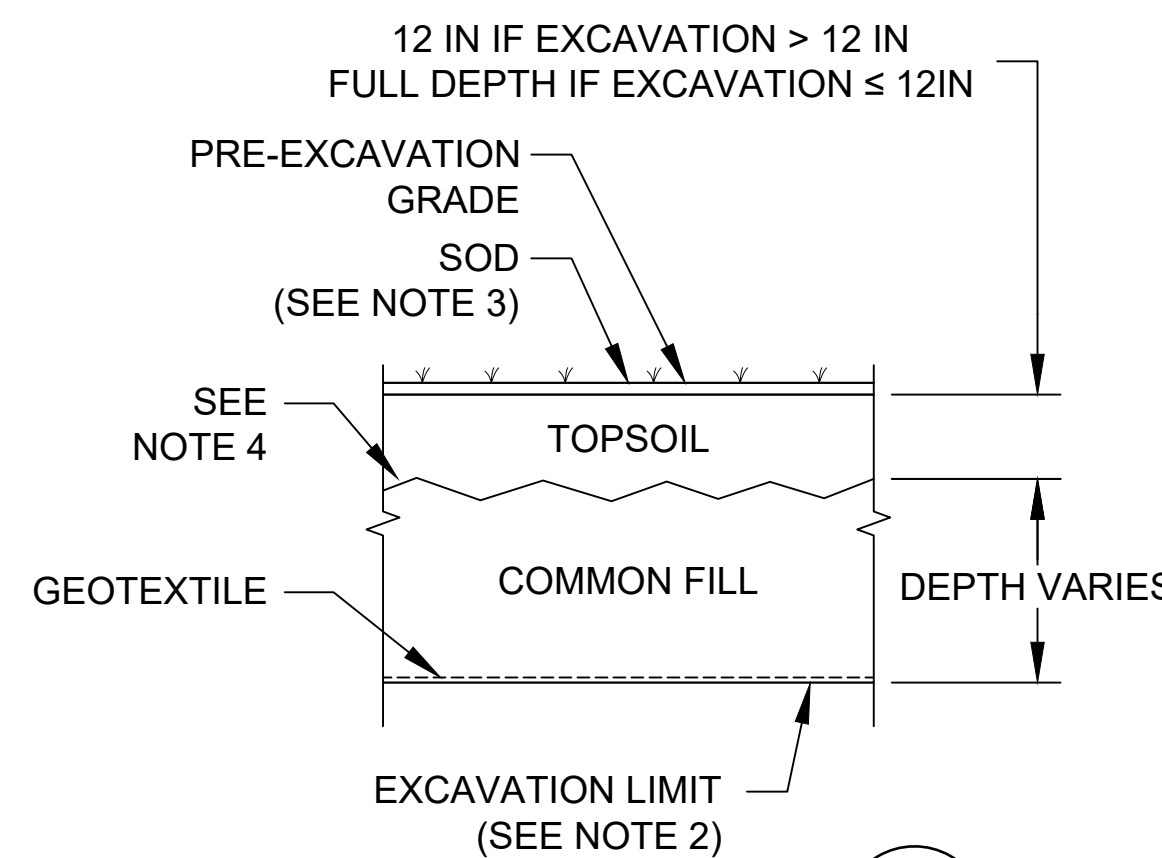
**TYPICAL SECTION AT HARDSCAPE**  
NOT TO SCALE  
A  
C1.0-C38.0 | C100.0



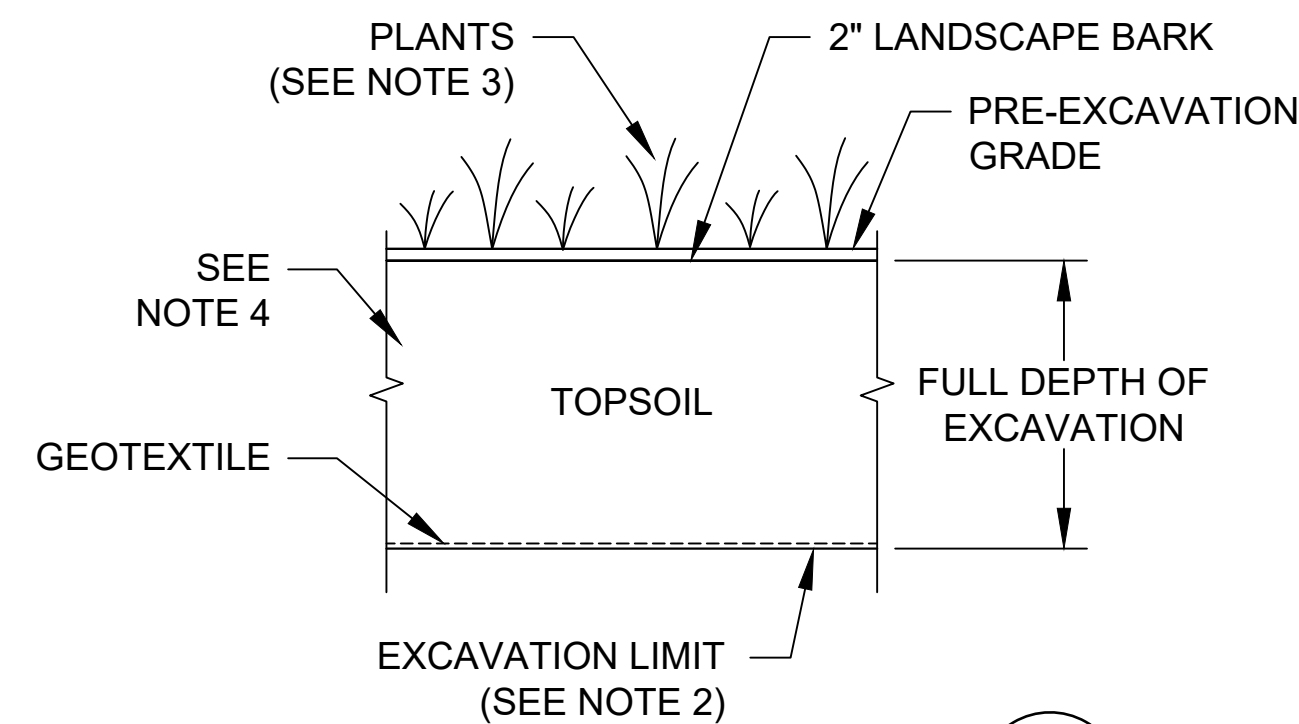
**EXCAVATION AT PROPERTY LINE, FENCE/WALL TO REMAIN, STRUCTURE**  
NOT TO SCALE  
B  
C1.0-C38.0 | C100.0



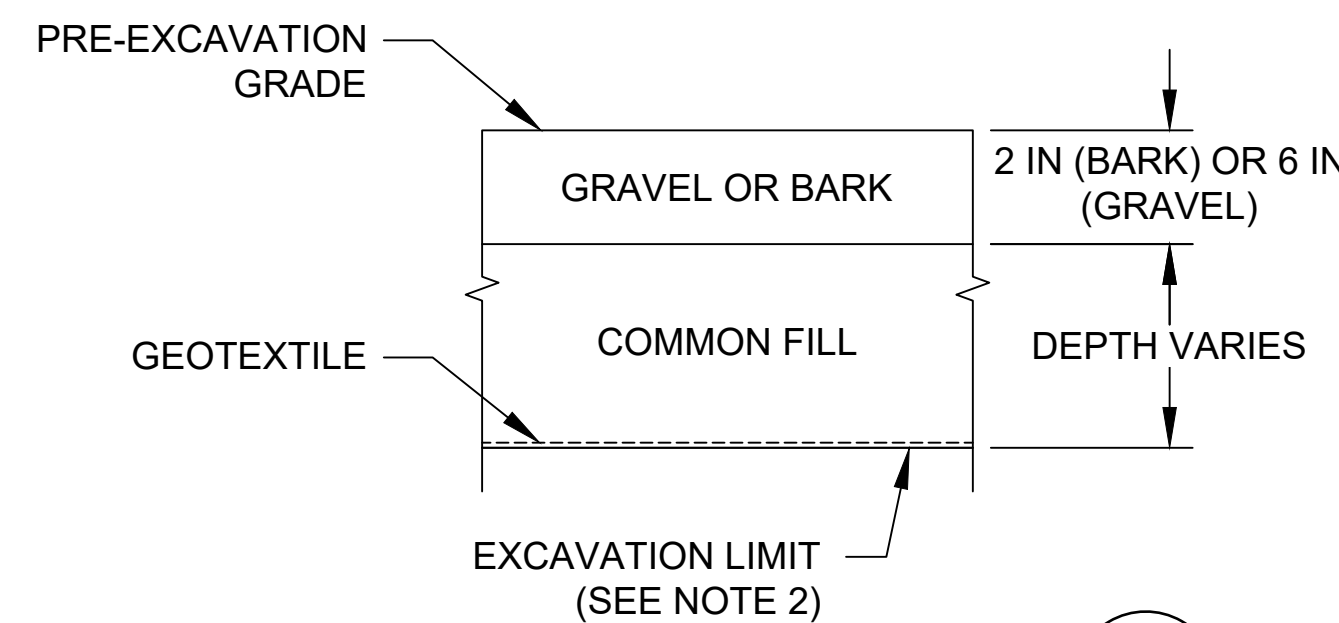
**TYPICAL EXCAVATION SECTION**  
NOT TO SCALE  
C  
C1.0-C38.0 | C100.0



**SOD BACKFILL DETAIL**  
NOT TO SCALE  
1  
C1.0-C38.0 | C100.0



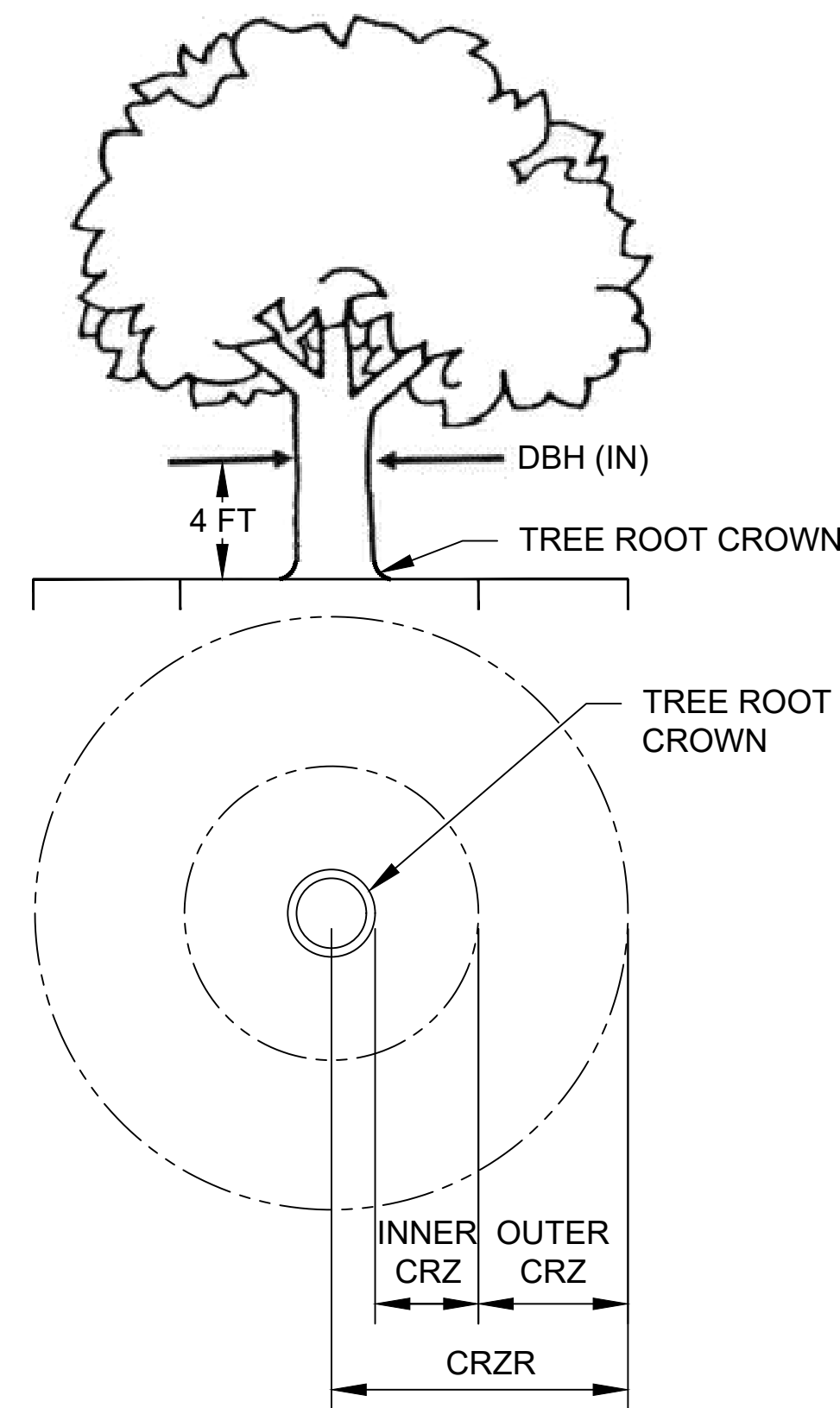
**LANDSCAPE BACKFILL DETAIL**  
NOT TO SCALE  
2  
C1.0-C38.0 | C100.0



**BARK/GRAVEL BACKFILL DETAIL**  
NOT TO SCALE  
4  
C1.0-C38.0 | C100.0

**NOTES:**

- MINIMUM SIDE SLOPES FOR TYPICAL EXCAVATIONS SHALL BE DETERMINED BY CONTRACTOR BASED ON FIELD CONDITIONS UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS. TYPICAL EXCAVATION SIDE SLOPES SHALL BE 1:1. THE CONTRACTOR SHALL NOTIFY ECOLOGY PRIOR TO EXCAVATION IF DIFFERENT SIDE SLOPES ARE RECOMMENDED.
- CONTRACTOR SHALL NOT OVEREXCAVATE BEYOND EXCAVATION LIMITS SHOWN WITHOUT DIRECTION FROM ECOLOGY OR ECOLOGY'S REPRESENTATIVE.
- EXCAVATION AREAS SHALL BE BACKFILLED TO PRE-EXCAVATION GROUND SURFACE UNO. SEE SPECIFICATIONS (INCLUDING SECTION 31 23 23 FILL) FOR TYPICAL BACKFILL REQUIREMENTS, LANDSCAPE SURFACING (INCLUDING SECTION 31 23 23 FILL, ARTICLE 3.07), AND AGGREGATE SURFACING (INCLUDING SECTION 32 15 00). FINAL GRADES SHALL MATCH EXISTING HARDSCAPE AND BE GRADED AS SHOWN ON THE PLANS AND SPECIFICATIONS. SEE SPECIFICATIONS FOR SOD AND PLANTING (INCLUDING SECTIONS 32 92 23 SODDING, 32 93 33 SHRUBS, AND 32 93 43 TREES).
- TOPSOIL AND COMMON FILL SHALL BE PLACED, COMPACTED IN LIFTS, AND SCARIFIED. SEE SPECIFICATIONS (INCLUDING SECTION 31 23 23 FILL) FOR TOPSOIL AND COMMON FILL MATERIAL AND PLACEMENT REQUIREMENTS.
- REPLACE SOD OR PLANTS IN 1-FT OFFSET SHOWN IN SECTION B. EXCAVATION ALLOWED FOR SOD OR PLANT REPLACEMENT ONLY.



**TREE PROTECTION DETAIL**  
NOT TO SCALE  
3  
C1.0-C38.0 | C100.0

**CRITICAL ROOT ZONE (CRZ)**

- SEE SECTION 01 56 39 TEMPORARY TREE AND PLANT PROTECTION
- MEASURE DIAMETER FOUR FEET ABOVE GROUND LEVEL (DBH)
- DBH (IN INCHES) CONVERTS TO THE CRZ RADIUS (IN FEET)
- EXAMPLE: IF DBH = 24 IN, THEN CRZ RADIUS (CRZR) = 24 FT

**OUTER CRZ WORK AREA**

- CONTRACTOR EXCAVATES CAREFULLY, USING HAND TOOLS AS NEEDED
- CONTRACTOR AVOIDS DAMAGING ANY TREE ROOTS
- EXCAVATION WILL BE LIMITED IF ROOTS LARGER THAN TWO INCHES ARE ENCOUNTERED
- SURFACE RESTORATION WILL MATCH SURROUNDING AREAS UP TO THE EDGE OF THE DRIPLINE (UNLESS OTHERWISE SPECIFIED)
- EXAMPLE: IF DBH = 24 IN, THEN OUTER CRZ WORK AREA = 12 TO 24 FT FROM CENTER OF TREE.

**INNER CRZ WORK AREA**

- TREE ROOT CROWN IS NOT TO BE DISTURBED.
- CONTRACTOR WILL ONLY REMOVE SOD OR OTHER SURFACE COVERING
- NO EXCAVATION WILL OCCUR TO AVOID DAMAGING THE TREE ROOTS
- SURFACE RESTORATION OUTSIDE THE DRIPLINE WILL MATCH SURROUNDING AREAS (UNLESS OTHERWISE SPECIFIED). AREA WITHIN THE DRIPLINE WILL BE RESTORED WITH TOPSOIL AND LANDSCAPE BARK, IN ACCORDANCE WITH SECTION 31 23 23 UNO.
- EXAMPLE: IF DBH = 24 IN, THEN INNER CRZ WORK AREA IS FROM OUTER EDGE OF TREE ROOT CROWN TO 12 FT FROM CENTER OF TREE.

Rev.	Date	Description	Mark	Appr.

Designed by: SJB	Date: 02/23	Rev. 0
Dwn by: EAL	Job Number: 050406806	
Reviewed by: ARJ	File name: 1950012_02 (Detail).dwg	
Submitted by: GEOENGINEERS	Plot scale: SEE DRAWING	

EVERETT SMELTER UPLANDS RESIDENTIAL  
2020 CLEANUP GROUP  
EVERETT, WASHINGTON

**EXCAVATION TYPICAL SECTIONS AND DETAILS**

Sheet Reference Number:  
**C100.0**  
Sheet 41 of 41