



STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

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September 29, 2023

Michael L. Podowski
Code Development Manager
Seattle Department of Construction and Inspections
700 5th Ave # 2000
Seattle, WA 98104
Mike.Podowski@seattle.gov

SENT VIA EMAIL ONLY

Re: Notification of Remaining Contamination in City of Seattle Right-of-Ways and Environmental Restrictions on a Property

- **Site Name:** Lenora Building
- **Property:** King County Parcel Nos. 066000-0540 and 066000-0545
- **Address:** 820 Lenora St, Seattle, WA 98121
- **Facility Site ID:** 91413494
- **Cleanup Site ID:** 1802

Dear Michael Podowski:

Through this letter, the Washington State Department of Ecology (Ecology) is notifying the City of Seattle of soil and groundwater contamination within several City of Seattle rights-of-way. The City of Seattle has street and alley rights-of-way at the above-referenced parcels located at 820 Lenora Street in Seattle. Ecology wants the City of Seattle to know there have been environmental cleanup actions at this property, which is part of the site listed above (Site). While Ecology considers the cleanup actions finished for this property, contamination remains in the rights-of-way, and there are environmental restrictions in place (described below) to ensure the cleanup remains effective.

While the City of Seattle can continue to use the rights-of-way, if activities by workers involve removal of the asphalt or concrete cover, digging into the ground, or pumping of groundwater, such workers could encounter contaminated soil and groundwater and potentially be put at risk. Ecology wants to ensure that the City of Seattle is aware the property has remaining contamination requiring environmental restrictions to protect human health and the environment. Because of the remaining contamination and environmental restrictions, Ecology encourages the City of Seattle to discuss any proposed activities at the property with Ecology representatives, so they can assist in safely conducting such activities.

Description of the Right-of-Way Contamination

Soil and groundwater contamination within the City of Seattle right-of-way in the following areas shown in the attached map:

- Gasoline (including benzene) in soil beneath 9th Avenue adjacent to 820 Lenora Street building.
- Gasoline (including toluene) and heavy oil petroleum beneath the Lenora Street right-of-way adjacent to 820 Lenora Street building.
- Diesel and heavy oil petroleum and heavy metals beneath the alley south of the 820 Lenora Street building.

Soil contamination was removed during construction excavation work on the 820 Lenora Street property, but contamination remains within the adjacent City of Seattle right-of-way areas described above. The areas of the contamination are shown in the enclosed plan maps and cross sections. Ecology notes that the contamination beneath 9th Avenue and Lenora Street is at a depth greater than 15 and 22 feet below ground surface (ft bgs), respectively, and potential risk to utility workers would appear to be low in these areas. However, contamination beneath the alley south of the 820 Lenora Street building is shallower (starting at about seven ft bgs).

What are the Environmental Restrictions?

Environmental restrictions are rules about the kinds of activity that can happen at a site. Environmental restrictions are outlined in a document called an environmental covenant. For this Site, the landowner has agreed to restrictions about these types of activities:

- **Soil** – Ecology must be notified prior to conducting intrusive work in the areas of remaining contamination on the Property.

- **Soil vapor** –any new structures should include appropriate vapor intrusion mitigation measures.
- **Groundwater** – although no contaminated groundwater is known to exist at the Site, use of groundwater for drinking water purposes is prohibited.

If the restrictions are followed, the cleanup will protect people and the environment from contamination. If the restrictions are not followed, people or the environment could be exposed to contamination. In that case, Ecology may rescind the cleanup completion decision; repairs or additional remedial actions may be required.

Ecology will review this Site every 5 years, as resources permit, to make sure that the cleanup and environmental restrictions still protect human health and the environment.

Worker Safety

Protection of workers from contamination is very important. Before construction or maintenance is conducted within the contaminated areas beneath 9th Avenue, Lenora Street, or the alley south of the Property, we request that Ecology's Toxics Cleanup Program be notified. Such notifications can be made at Seattle's Ecology region office at (206) 594-0000. Ecology can help the City of Seattle understand the specific restrictions for the Site. The enclosed maps will also help the City understand the locations and depths of the contamination on the City's rights-of-way.

The project manager for the development at 820 Lenora Street property is Elton Lee. Elton Lee's contact information is provided below if the City has any questions regarding the Property.

Additional Site Information

Additional site information about the contamination, investigation, and cleanup can be found on Ecology's [Cleanup and Tank Search website](https://apps.ecology.wa.gov/cleanupsearch/site/1802).¹

¹ <https://apps.ecology.wa.gov/cleanupsearch/site/1802>

Questions?

Please call me at (509) 424-0543 or email frank.winslow@ecy.wa.gov with any questions about this letter.

Sincerely,



Frank P. Winslow, LHG
Cleanup Site Manager
Toxics Cleanup Program – HQ Section

Enclosure: A – Figures: Maps and Sections of Areas of Remaining Contamination

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Enclosure A

Figures: ² Maps and Sections of Areas of Contamination

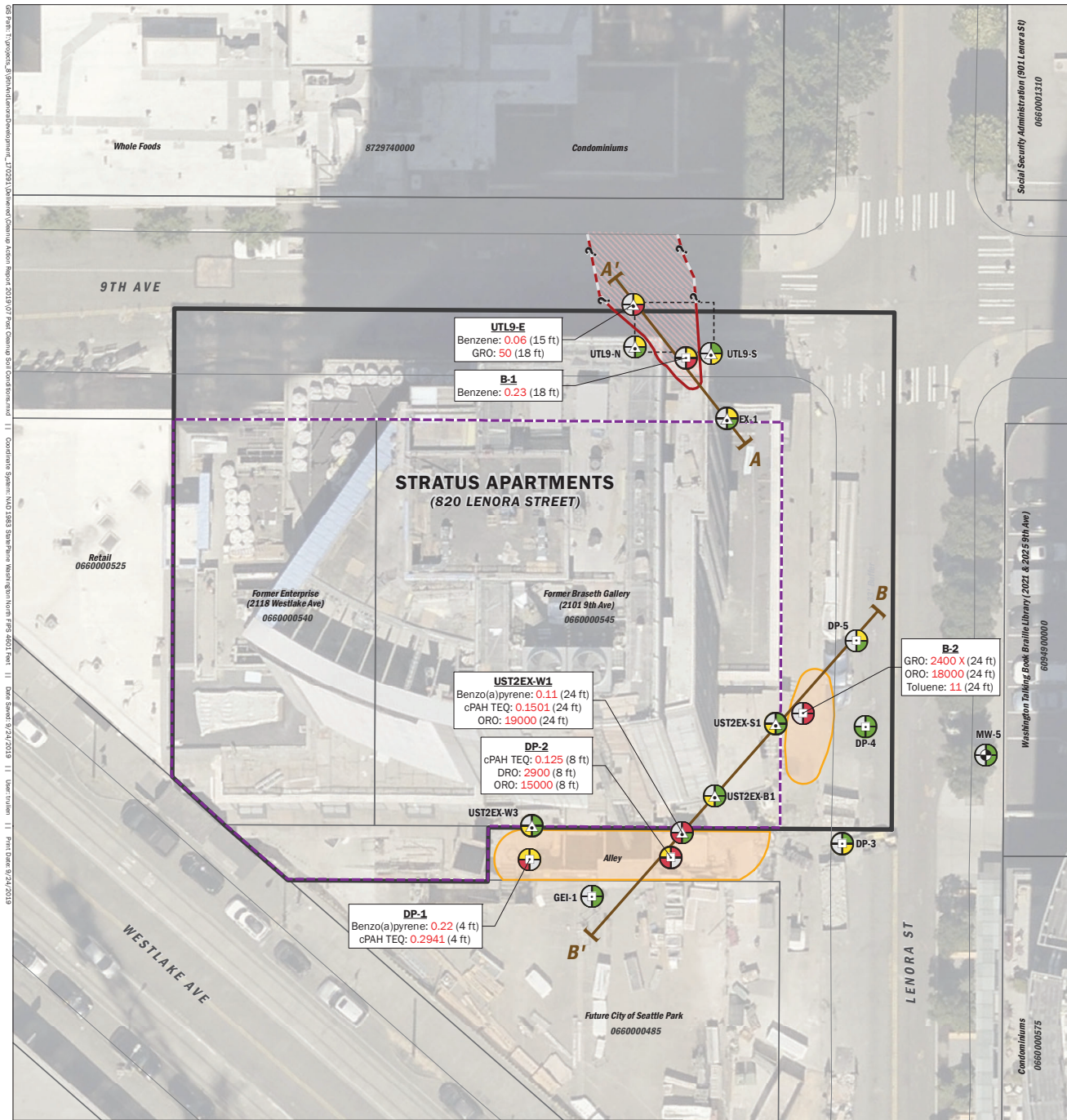
² Figures from Aspect Consulting's *Cleanup Action Plan, 820 Lenora Street, Seattle, Washington*, September 2019.

Figure 7Post-Cleanup Soil Conditions at the Subject Property and Alley

Figure 8 Cross Section A-A'

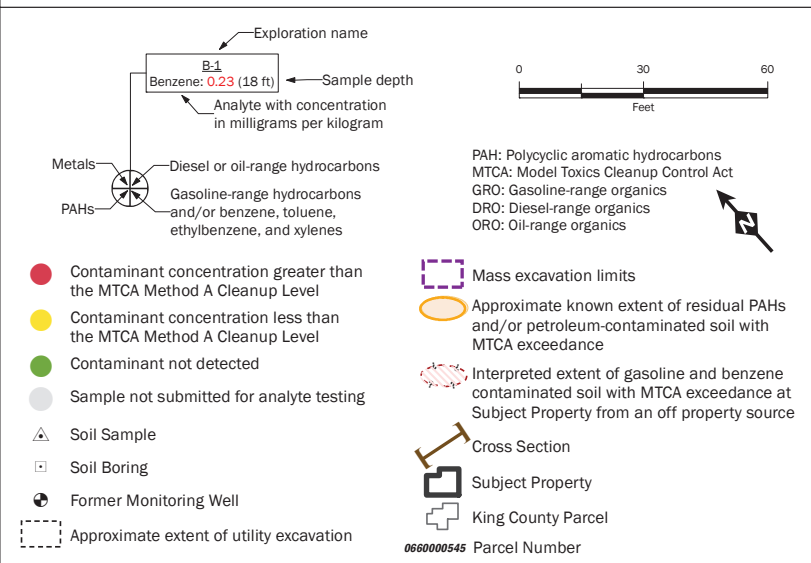
Figure 9 Cross Section B-B'

Figure 10 Post-Cleanup Perched Water Conditions at the Subject Property and Vicinity



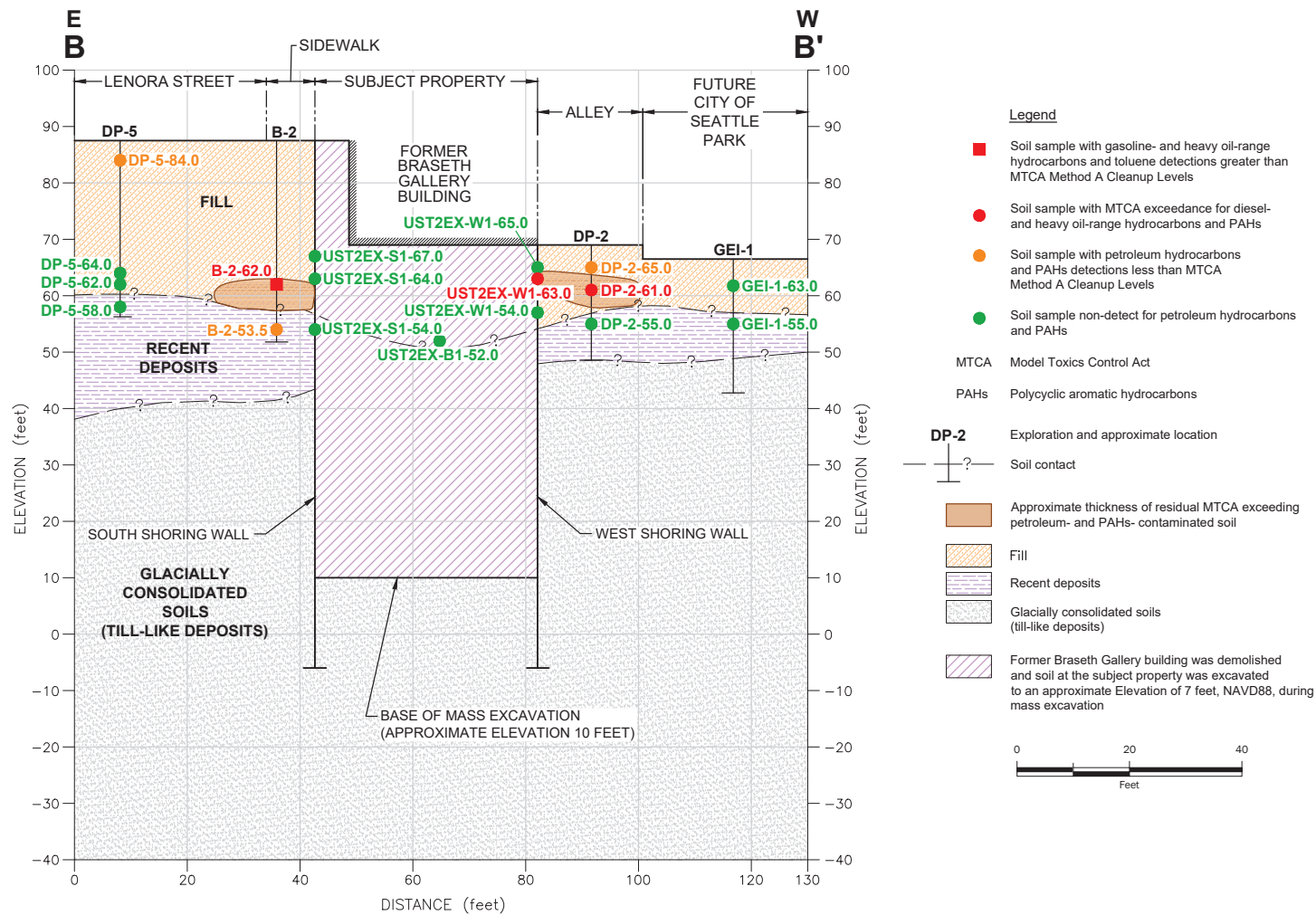
Note:

1. The Subject Property boundary is based on the Plat Map of the Second Addition to the Town of Seattle. The Plat Map was filed for record on December 14, 1875 and can be obtained from King County Records Office or a title company.



Post-Cleanup Soil Conditions at the Subject Property and Alley

Cleanup Action Plan
820 Lenora Street
Seattle, Washington



- Notes:
1. The subsurface conditions shown are based on interpolation between widely spaced explorations and should be considered approximate; actual subsurface conditions may vary from those shown.
 2. Refer to Figure 7 for location of Cross Section.
 3. This figure is for informational purposes only. It is intended to assist in the identification of features discussed in a related document. Data were compiled from sources as listed in this figure. The data sources do not guarantee these data are accurate or complete. There may have been updates to the data since the publication of this figure.
 4. Figure sourced from GeoEngineers, Cross Section A-A' Figure 6, 2016.

Cross Section B-B'
Cleanup Action Report
820 Lenora Street
Seattle, Washington



SEP-2019
PROJECT NO.
170293

BY:
FK / TDR
REV BY:
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FIGURE NO.
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