



② SITE PLAN
1/16" = 1'-0"



VICINITY MAP
510 STATE AVE NE, OLYMPIA, WA 98501 PARCEL # 6613000403

GENERAL SITE NOTES
1. PARKING DESIGN MEETS REQUIREMENTS FOR DOWNTOWN STRUCTURED PARKING DIMENSIONS PER OMC 18.38.220.

SITE INFORMATION

EXISTING SITE:	47,017 SF
SITE AREA =	47,017 SF
EXISTING PARCEL AREA =	47,017 SF
EXISTING LANDSCAPE (PERVIOUS) =	0%
EXISTING IMPERVIOUS COVERAGE =	0%
NEW:	
BUILDING FOOTPRINT =	15,928 SF
TRASH ENCLOSURE FOOTPRINT =	978 SF
PAVED PARKING AREA (IMPERVIOUS) =	20,863 SF
HARDSCAPE =	11,185 SF
TOTAL IMPERVIOUS =	38,615 SF
NEW LANDSCAPE AREA (PERVIOUS) =	8,402 SF
TOTAL PERVIOUS =	8,402 SF

UNIT COUNT SUMMARY

MAIN BUILDING (SOUTH)	74 UNITS
TOWNHOME (WEST)	6 UNITS
TOWNHOME (EAST)	6 UNITS
TOTAL UNITS	86 UNITS

RETAIL AND COMMERCIAL COUNT SUMMARY

SPACE A	1,954 SF
SPACE B	1,133 SF
SPACE C	937 SF
SPACE D	1,205 SF
SPACE E	1,150 SF
SPACE F	2,116 SF
TOTAL SF FOR RETAIL AND COMMERCIAL	8,497 SF

PARKING SUMMARY

OFF-STREET PARKING (EXISTING) =	0 SPACES
OFF-STREET PARKING (NEW) =	69 SPACES
OFF-STREET PARKING TOTAL =	69 SPACES
26 COVERED SPACES	
43 UNCOVERED SPACES	

30% OF ALL SPACES CAN BE COMPACT = 20 COMPACT SPACES PROVIDED (NOTED W/ 'C') 30% x 69 = 21 SPACES

OMC 18.38.040 PARKING & LOADING REGULATIONS
RETAIL PARKING REQUIREMENT TABLE 38.01
RETAIL: 3.5 SPACES PER 1,000 SF
8,500 SF x 3.5 = 29.75 x 3.5 = 29.75 (30) STALLS REQUIRED FOR RETAIL.

LONG TERM BI-CYCLE STORAGE REQUIREMENTS
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/6,000 SF)
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/6,000 SF)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RESIDENTIAL TOWNHOME (EAST)
RESIDENTIAL TOWNHOME (WEST)
LONG TERM BI-CYCLE TOTAL REQUIRED = 56 SPACES
LONG TERM BI-CYCLE PROVIDED (NEW AT MAIN BUILDING) = 56 SPACES

LONG TERM BI-CYCLE STORAGE REQUIREMENTS
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RESIDENTIAL TOWNHOME (EAST)
RESIDENTIAL TOWNHOME (WEST)
LONG TERM BI-CYCLE TOTAL REQUIRED = 17 SPACES
LONG TERM BI-CYCLE PROVIDED (NEW AT MAIN BUILDING) = 18 SPACES

SHORT TERM BI-CYCLE STORAGE REQUIREMENTS
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RETAIL PARKING (20 RESIDENTIAL UNITS @ 1/UNIT)
RESIDENTIAL TOWNHOME (EAST)
RESIDENTIAL TOWNHOME (WEST)
SHORT TERM BI-CYCLE PARKING REQUIRED = 17 SPACES
SHORT TERM BI-CYCLE PARKING EXISTING = 0 SPACES
SHORT TERM BI-CYCLE PARKING PROVIDED = 18 SPACES

[Green Box]	BUILDING AREA	[Light Green Box]	LANDSCAPE AREA
[Grey Box]	HARDSCAPE	[Dark Grey Box]	PAVEMENT
[Brown Box]	BOARDWALK		



CITY OF OLYMPIA
COMMUNITY PLANNING & DEVELOPMENT
APPROVED Site Plan
Catherine K. W. Co.
The work was performed as per the terms of the contract. Any changes from the approved plans must first be approved by the City of Olympia Planning Department (2015 BC 107.4). Any changes to approved plans must also have written approval from the Engineer of record (2015 BC 107.3.4).

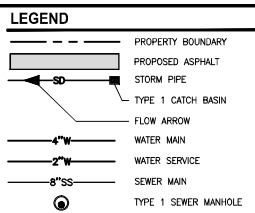
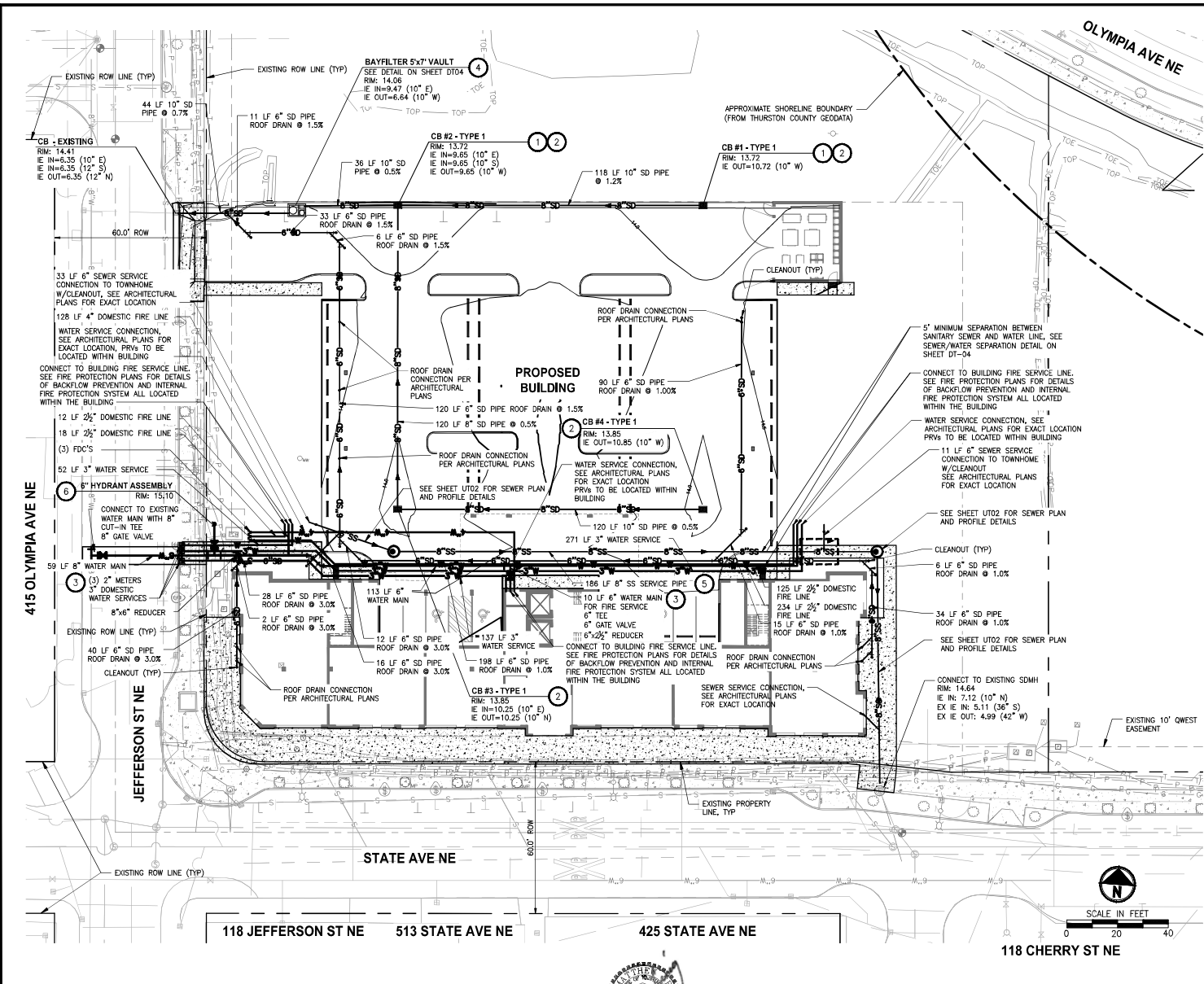
**EAST BAY LOT A
WESTMAN MILL**
510 STATE AVE. OLYMPIA, WA. 98501

Project No: 1514
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REVISED FOR CODE CORRECTIONS

SITE PLAN - PROJECT

A1.01
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City Of Olympia
Rec. 5-20-20

DATE: 12/15/2017
 DRAWN BY: S. CRAIG
 CHECKED BY: S. CRAIG
 DESIGNED BY: S. NIELSON
 PROJECT NO: PS07369002-UT
 DATE: DECEMBER 2017
 SCALE: 1"=20'-0"



- ### CONSTRUCTION NOTES
1. INSTALL CATCH BASIN ADJACENT TO TRAFFIC CURB PER CITY OF OLYMPIA DETAIL 5-6 ON SHEET DT-03.
 2. TYPE 1 CATCH BASIN, SEE WSDOT STD. PLAN B-520-01 ON SHEET DT-04.
 3. MAKE SERVICE CONNECTION TO EXISTING WATER MAIN PER CITY OF OLYMPIA DETAIL 6-3 ON SHEET DT-03. WATER METERS TO HAVE NON-SLIP LIDS.
 4. INSTALL 4'x6' BAYSAYER BAYFILTER, SEE DETAIL ON SHEET DT-04.
 5. INSTALL SEWER SERVICE PER CITY OF OLYMPIA STD. DETAIL 7-19 ON SHEET DT-02.
 6. INSTALL 6" FIRE HYDRANT ASSEMBLY PER CITY OF OLYMPIA STD. DETAIL 6-8 ON SHEET DT-03.
 7. INSTALL TYPE 1 MANHOLE PER CITY OF OLYMPIA DETAIL 7-1 ON SHEET DT04.

- ### GENERAL NOTES
1. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THIS WORK.
 2. CATCH BASINS ARE CALLED OUT TO CENTER OF STRUCTURE.
 3. PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
 4. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND GRADES.
 5. SEE SHEET DT-01 FOR TRENCH RESTORATION DETAIL.
 6. SYMBOLS ARE NOT TRUE SIZE.
 7. MAINTAIN 3' MIN COVER OVER WATER MAIN FROM FINISHED GRADE UNLESS OTHERWISE NOTED.
 8. A MINIMUM 6-INCH SAND CUSHION IS REQUIRED FOR ANY UTILITY LINE WITHIN 6-INCHES OF ANOTHER UTILITY LINE AT CROSSING.
 9. PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
 10. THE CONTRACTOR SHALL BE AWARE THAT WATER MAIN DEFLECTION MAY BE REQUIRED TO AVOID PROPOSED AND EXISTING UTILITIES. DEFLECTIONS SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT CREATE ADDITIONAL HIGH OR LOW POINTS IN THE MAIN. THE CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTH, LOCATION, AND SHALL CALCULATE WATER DEFLECTIONS ACCORDINGLY.
 11. POT HOLE AND VERIFY EXACT LOCATIONS OF UTILITIES PRIOR TO INSTALLATION OF UTILITIES.
 12. ALL WATER METER BOXES AND LIDS LOCATED WITHIN DRIVABLE SURFACES SHALL BE TRAFFIC WITH STEEL LIDS PER CITY OF OLYMPIA.
 13. CONTRACTOR TO USE VERTICAL AND HORIZONTAL BENDS AS NEEDED.
 14. THRUST BLOCKING SHALL BE INSTALLED AT ALL TEES AND BENDS PER CITY OF OLYMPIA STANDARD DETAIL.
 15. VERTICAL BENDS SHALL BE RESTRAINED AND BLOCKED PER CITY OF OLYMPIA STANDARD DETAIL.
 16. ALL CONSTRUCTION MUST COMPLY WITH THE WSDOT STANDARD SPECIFICATION (LATEST EDITION) UNLESS OTHERWISE SUPERSEDED BY CITY STANDARDS.
 17. INSTALL STANDARD GRATE AND FRAME PER CITY OF OLYMPIA DETAIL 5-5 ON SHEET DT-03.
 18. AT CONNECTION TO EXISTING SYSTEM, ALL NEW SEWER CONNECTIONS WILL BE PHYSICALLY PLUGGED UNTIL ALL TESTS HAVE BEEN COMPLETED AND THE CITY APPROVES THE REMOVAL OF THE PLUG. CONNECTION OF A PIPELINE TO A SYSTEM WHERE A MANHOLE IS NOT AVAILABLE WILL BE ACCOMPLISHED BY POURING A CONCRETE BASE AND SETTING MANHOLE SECTIONS. THE EXISTING PIPE WILL NOT BE CUT INTO UNTIL APPROVAL IS RECEIVED FROM THE CITY.

DATUM

HORIZONTAL - WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.

VERTICAL - NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELEV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

**PERMIT SET
NOT FOR CONSTRUCTION**



REVISIONS	DATE	BY	DESIGNED
			S. NIELSON
			S. CRAIG

**ONE INCH AT FULL SCALE,
IF NOT SCALE ACCORDINGLY**

FILE NAME: PS07369002-UT
DATE: 12-15-17

Parametrix
ENGINEERING, PLANNING, ENVIRONMENTAL SERVICES

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PROJECT NAME:
**EAST BAY LOT A
WESTMAN MILL**
OLYMPIA, WASHINGTON

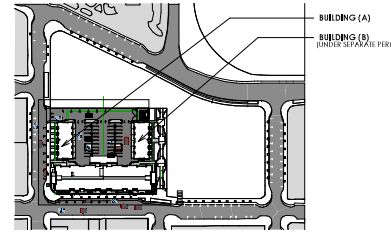
UTILITY PLAN

DRAWING NO.
07 OF 16

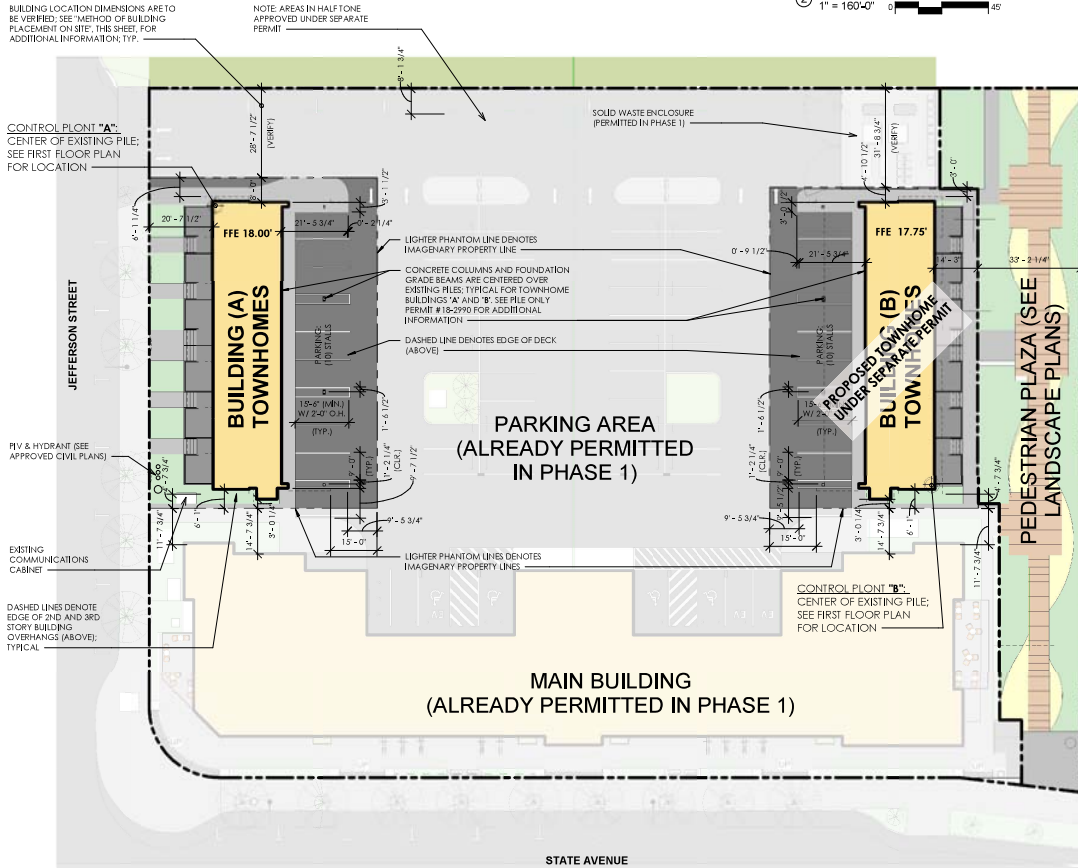
UT-01

METHOD OF BUILDING PLACEMENT ON SITE

- GOAL: IDENTIFY CONTROL POINTS FOR TOWNHOME BUILDINGS (A) & (B) AND ESTABLISH A METHOD TO LOCATE AND LAYOUT THE BUILDING ON THE PROPERTY.
- FOUNDATION GRADE BEAMS, CONCRETE COLUMNS, GRID LINES, BUILDING FOOTPRINT AND ORIENTATION ARE ESTABLISHED BY THE LOCATION OF EXISTING STRUCTURAL FILES. SEE APPROVED FILE ONLY PERMIT # 18-2990 AND PLANS (8/16/2018) FOR ADDITIONAL INFORMATION.
- FOUNDATION GRADE BEAMS AND COLUMNS ARE CENTERED OVER EXISTING FILES.
- CONTROL POINT "A" IS ESTABLISHED AT THE INTERSECTION OF GRID "C" AND GRID "G" AT THE EXTERIOR NORTHWEST CORNER OF BUILDING "A". SEE SITE PLAN AND BUILDING PLANS FOR CONTROL POINT LOCATIONS.
- CONTROL POINT "B" IS ESTABLISHED AT THE INTERSECTION OF GRID "E" AND GRID "G" AT THE EXTERIOR SOUTH EAST CORNER OF BUILDING "B". SEE SITE PLAN AND BUILDING PLANS FOR CONTROL POINT LOCATIONS.



② SITE - CONTEXT
1" = 160'-0"



① SITE PLAN PHASE II
1" = 20'-0"

GENERAL NOTES:
SEE PRIOR APPROVED PERMIT # 18-0411 FOR APPROVED SITE/CIVIL INFORMATION
SEE PRIOR APPROVED PERMIT # 18-1531 FOR APPROVED FOUNDATION PERMIT (MAIN BUILDING AND TOWNHOMES)
SEE PRIOR APPROVED PERMIT # 18-2072 FOR APPROVED BUILDING PERMIT (MAIN BUILDING)

PHASE II TOWNHOME APPLICABLE SITE INFORMATION:

UNIT COUNT SUMMARY:
TOWNHOME WEST - (BUILDING A) = 4 UNITS
TOWNHOME EAST - (BUILDING B) = 6 UNITS
TOTAL UNITS PHASE II = 12 UNITS

PARKING SUMMARY:
2 PARKING SPACE PER UNIT X 12 UNITS = 24 STALLS
NOTE: 48 STALLS AVAILABLE
MINIMUM LONG TERM BICYCLE PARKING REQUIREMENTS = NONE
MINIMUM SHORT TERM BICYCLE PARKING REQUIREMENTS = NONE

NOTE: SEE INFORMATION FROM PHASE I APPROVED SITE PLAN FOR ADDITIONAL INFORMATION

SITE INFORMATION FROM PHASE I APPROVED SITE PLAN

EXISTING SITE PER PERMIT #18-2072:
SITE AREA = 64,581 SF
EXISTING PARCEL AREA = 64,581 SF
EXISTING LANDSCAPE (PERVIOUS) = 64,581 SF
EXISTING IMPERVIOUS COVERAGE = 0%

NEW:
BUILDING FOOTPRINT = 18,068 SF
TRAIN ENCLOSURE FOOTPRINT = 932 SF
PAVED PARKING AREA (IMPERVIOUS) = 28,768 SF
HARDSCAPE = 10,938 SF
TOTAL IMPERVIOUS = 58,774 SF

NEW LANDSCAPE AREA (PERVIOUS) = 7,805 SF
TOTAL PERVIOUS = 7,805 SF

UNIT COUNT SUMMARY
MAIN BUILDING (EXISTING) = 75 UNITS
TOWNHOME WEST - (BUILDING A) = 6 UNITS
TOWNHOME EAST - (BUILDING B) = 6 UNITS
TOTAL UNITS = 87 UNITS

RETAIL AND COMMERCIAL SUMMARY
TOTAL SF FOR RETAIL AND COMMERCIAL (EXISTING) = 8497 SF

PARKING SUMMARY
OFF-STREET PARKING (EXISTING) = 0 SPACES
OFF-STREET PARKING (NEW) = 49 SPACES
TOTAL PARKING TOTAL = 49 SPACES
24 COVERED SPACES
43 UNCOVERED SPACES

RESIDENTIAL OFF STREET PARKING (54) = (3) ACCESSIBLE STALLS PER IBC 1106.1 (1) DESIGNATED AS VAN ACCESSIBLE
COMMERCIAL OFF STREET PARKING (13) = (1) ACCESSIBLE STALLS PER IBC 1106.1 (1) DESIGNATED AS VAN ACCESSIBLE = (4) ACCESSIBLE STALLS

TOTAL ADA ACCESSIBLE PARKING = 30% x 49 = 21 SPACES
30% OF ALL SPACES CAN BE COMPACT = 30% x 49 = 21 SPACES
12 COMPACT SPACES PROVIDED (NOTED W/ "C")

CMC 18.38.040 PARKING & LOADING REGULATIONS
RETAIL PARKING REQUIREMENT TABLE 38.01
RETAIL: 3.5 SPACES PER 1,000 SF
8,497 SF / 1,000 SF = 8.5 X 3.5 = 29.75 = (30) STALLS REQUIRED FOR RETAIL

J ON STREET CREDIT (1) STALL PER 20 LF OF CURB
20 LF OF CURB ON STATE + 140 LF OF CURB ON JEFFERSON = (17) ON STREET STALLS FOR RETAIL PARKING
(5) PARALLEL PARKING STALLS ALONG ACCESS DRIVE DEDICATED TO RETAIL
(8) PERPENDICULAR STALLS DEDICATED TO RETAIL PARKING
TOTAL RETAIL PARKING REQUIRED: 30
TOTAL RETAIL PARKING PROVIDED: 30

LONG TERM BICYCLE STORAGE REQUIREMENTS
MAIN BUILDING @ 9,564 SF RETAIL / COMMERCIAL @ 1/6,000 SF = 2 SPACES
MAIN BUILDING 54 RESIDENTIAL UNITS @ (1) UNITS = 54 SPACES
MAIN BUILDING (20) RESIDENTIAL STUDIO @ (0) UNITS = 0 SPACES
RESIDENTIAL TOWNHOME (EAST) = 0 SPACES
RESIDENTIAL TOWNHOME (WEST) = 0 SPACES

LONG TERM BICYCLE TOTAL REQUIRED = 56 SPACES
LONG TERM BICYCLE PROVIDED (EXIST AT MAIN BUILDING) = 56 SPACES

SHORT TERM BICYCLE STORAGE REQUIREMENTS
MAIN BUILDING: 8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF (EXISTING) = 9 SPACES
MAIN BUILDING: 75 RESIDENTIAL UNITS @ 1/110 UNITS (EXISTING) = 8 SPACES
RESIDENTIAL TOWNHOME (EAST) = 0 SPACES
RESIDENTIAL TOWNHOME (WEST) = 0 SPACES

SHORT TERM BICYCLE PARKING REQUIRED = 17 SPACES
SHORT TERM BICYCLE PARKING (EXISTING) = 18 SPACES



All work must be performed as per the approved plans; any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 IBC 107.4). Any changes to approved engineered plans must also have written approval from the Engineer of record (2015 IBC 107.3.4).

TOWNHOMES
WESTMAN MILL
510 STATE AVE., NE, OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

Building Plans Examiner - CP&D
380.753.6280 - Office
rspruett@cityofolympia.us - email
08/09/2020 8:42:04 AM
REVIEWS FOR CODE COMPLIANCE

SITE PLAN

A1.01

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City Of Olympia
Rec. 5-20-20

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 510 STATE AVE. OLYMPIA, WA 98501

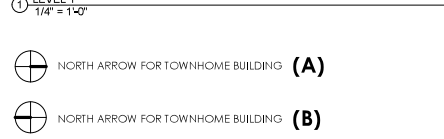
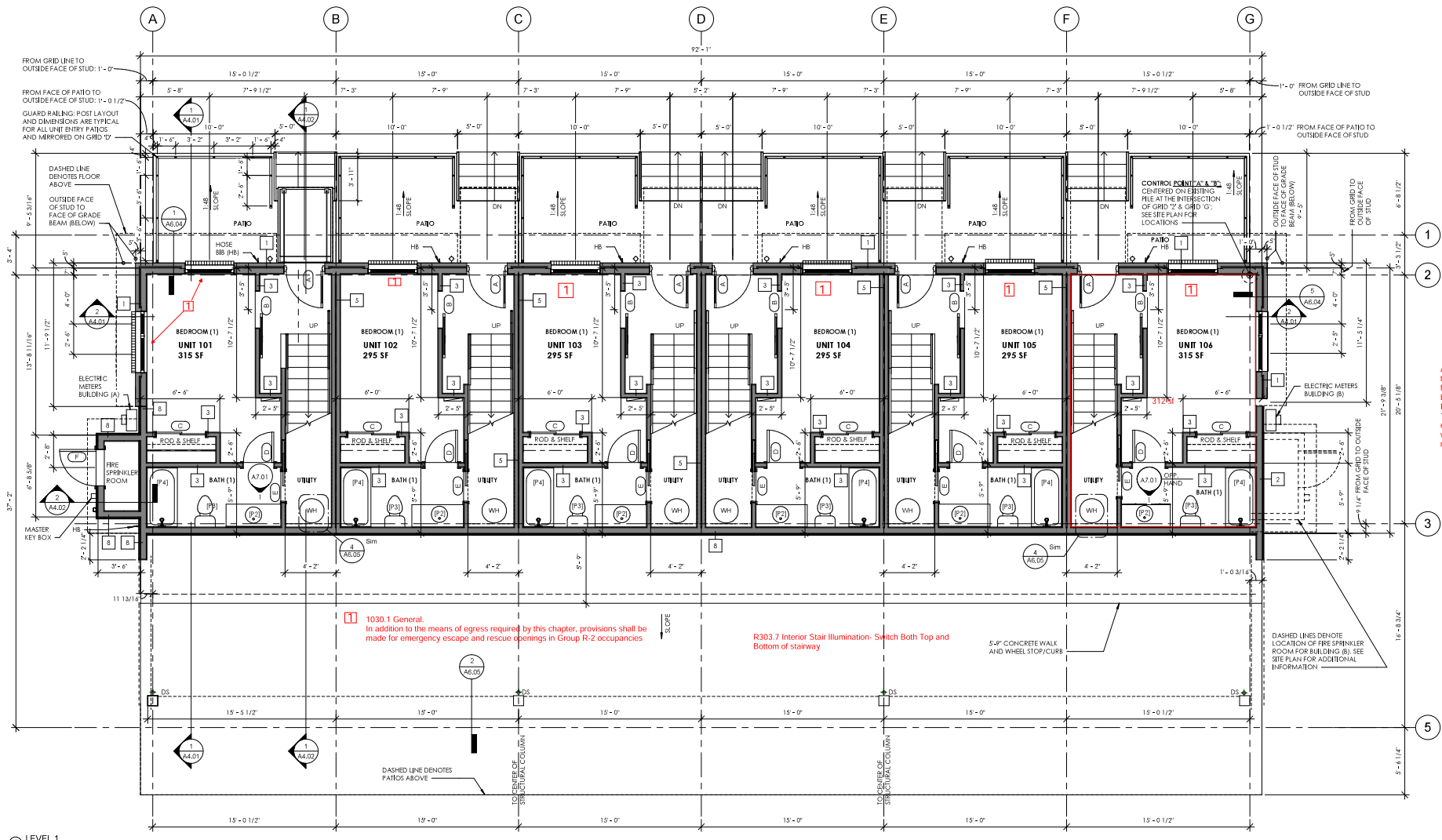
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FIRST FLOOR PLAN

A2.01

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FLOOR PLAN LEGEND

SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.	DOWNSPOUT
DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.	DRAINAGE AREA; SEE CALCULATIONS SHEET A2.04
WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.01	ELECTRIC PANEL PER ELECTRICAL
DOOR CALL OUT, SEE SCHEDULE ON SHEET A.01	
WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.01	
WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL.	
HOSE BIB (HB)	

APPLIANCE LEGEND

A1	DISHWASHER, WHIRLPOOL, MODEL # WDF136PAH, STAINLESS STEEL
A2	REFRIGERATOR, WHIRLPOOL, WRT138FTD, STAINLESS STEEL
A3	RANGE, RANGE HOOD, WHIRLPOOL, HOOD - UXT4130 AND RANGE - WPC310, STAINLESS STEEL
A4	WASHING MACHINE, WHIRLPOOL, WFW5420HW, WHITE
A5	DRYER, WHIRLPOOL, WED5620HW, WHITE

PLUMBING LEGEND

P1	KITCHEN SINK & FAUCET, STAINLESS STEEL, MODEL # PFF922
P2	BATHROOM LAVATORY & FAUCET, KOHLER, K-2196-1, WHITE, DELTA, 22C10, CHROME
P3	WATER CLOSET, WHITE, TOTO CST345E, WHITE
P4	BATHROOM BATHTUB, WHITE, MODEL # 100LSC
P5	SHOWER ENCLOSURE, KOHLER, K-1690-0, SONATA, WHITE

- GENERAL NOTES**
- GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE PILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
 - SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES. SEE SHEET A8.01 FOR WINDOW SCHEDULE.
 - SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
 - UNIT DIMENSION WALLS ALIGN WITH GRIDS A - F
 - SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.

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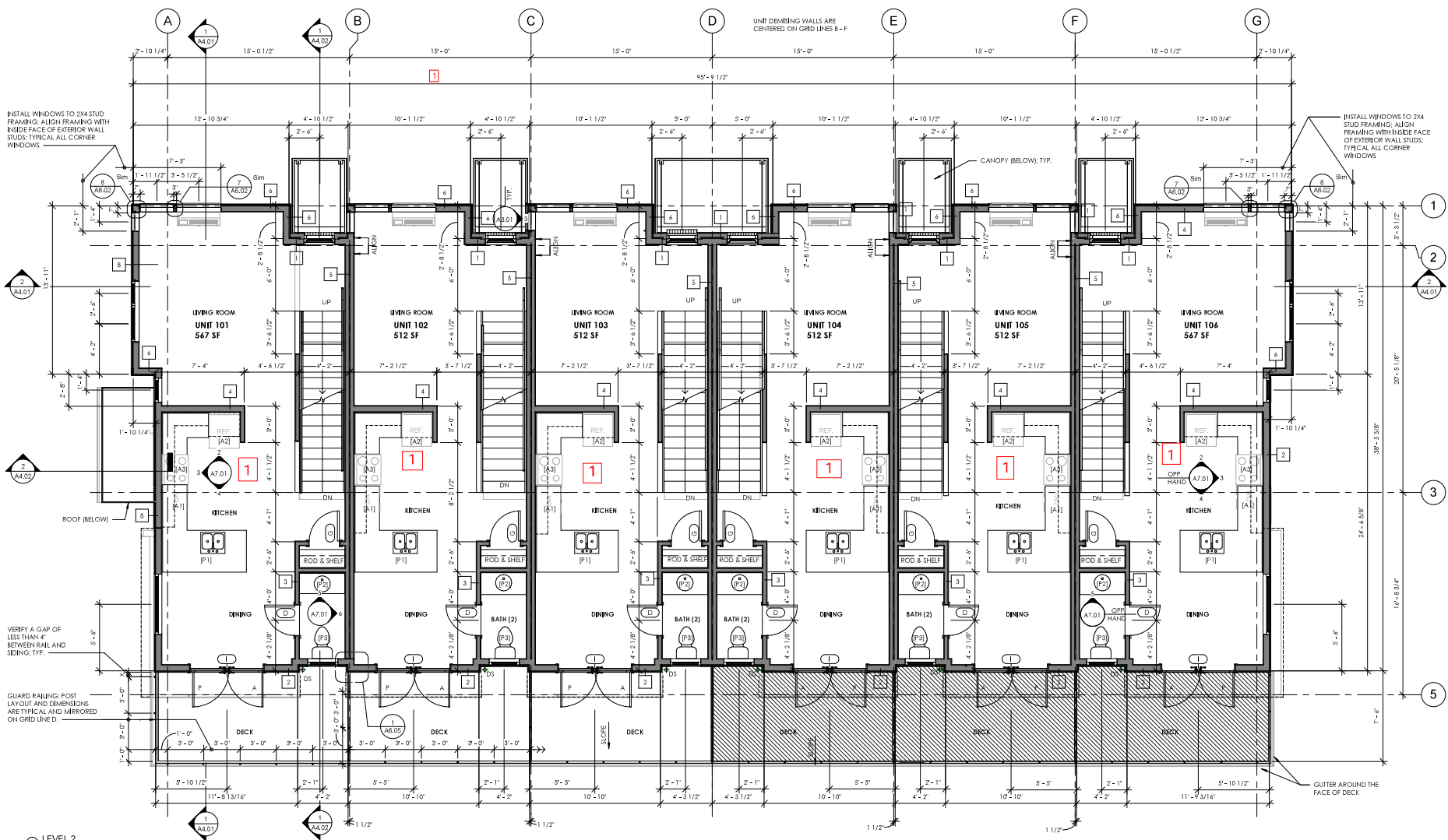
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 REVIEWS FOR CODE CORRECTIONS

SECOND FLOOR PLAN

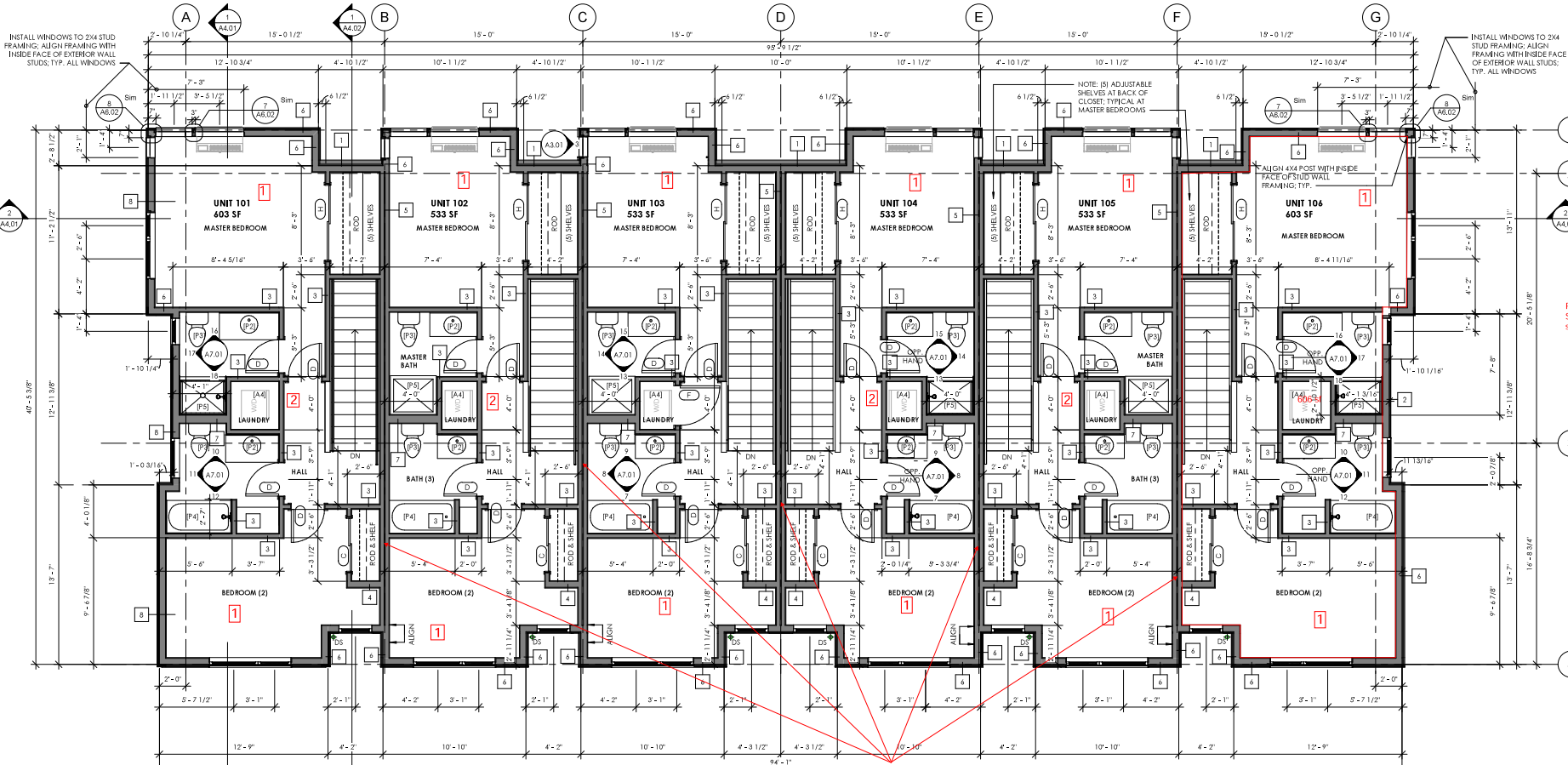
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- 1 LEVEL 2**
 1/4" = 1'-0"
- FLOOR PLAN LEGEND**
- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
 - DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
 - WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.601
 - DOOR CALL OUT, SEE SCHEDULE ON SHEET A.601
 - WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.601
 - WATER HEATER PROVIDE MANUFACTURERS MINIMUM INFORMATION.
 - HOSE BIB (HB)
- APPLIANCE LEGEND**
- A1 DISHWASHER, WHIRLPOOL, MODEL# WDF190PAH, STAINLESS STEEL.
 - A2 REFRIGERATOR, WHIRLPOOL, WRT138FD, STAINLESS STEEL.
 - A3 RANGE, RANGE HOOD, WHIRLPOOL HOOD - UXT4130 AND RANGE - WPC310, STAINLESS STEEL.
 - A4 WARMING MACHINE, WHIRLPOOL, WFW5620HW, WHITE.
 - A5 DRYER, WHIRLPOOL, WED5620HW, WHITE.
- PLUMBING LEGEND**
- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL, MODEL# PFSR22.
 - P2 BATHROOM LAVATORY & FAUCET, KOHLER, K-2194-1, WHITE.
 - P3 WATER CLOSET, WHITE, TOTO CST248EF, WHITE.
 - P4 BATHROOM BATHUB, WHITE, MODEL# 1005SC.
 - P5 SHOWER ENCLOSURE, KOHLER, K-1690S, SONATA, WHITE.
- GENERAL NOTES**
1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL FLEES. SEE FILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
 3. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES, SEE SHEET A8.01 FOR WINDOW SCHEDULE.
 4. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
 5. UNIT DEMBRING WALLS ALIGN WITH GRIDS B-F.
 6. SEE SEE PLAN SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.
 - 7.
- APPLIANCE LEGEND**
- D.S. DOWNSPOUT
 - DRAINAGE AREA, SEE CALCULATIONS SHEET A2.04
 - ELECTRIC PANEL PER ELECTRICAL
- 1** UPC 609.10 Provide Water Hammer Protection
 UPC 807.3 Domestic DW must have air gap
 IRC M1503 Range hood must be 100CFM minimum and discharge to the outdoors

R303.7 Interior Stair Illumination- Switch Both Top and Bottom of stairway



INSTALL WINDOWS TO 2X4 STUD FRAMING; ALIGN FRAMING WITH INSIDE FACE OF EXTERIOR WALL STUDS TYP. ALL WINDOWS

INSTALL WINDOWS TO 2X4 STUD FRAMING; ALIGN FRAMING WITH INSIDE FACE OF EXTERIOR WALL STUDS TYP. ALL WINDOWS



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R303.7 Interior Stair Illumination- Switch Both Top and Bottom of stairway

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TOWNHOMES
WESTMAN MILL
510 STATE AVE. OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

Building Plans Examiner - CP4D
380.753.6280 - Office
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08/09/2020 9:42:05 AM
REVIEWS FOR CODE COMPLIANCE:

THIRD FLOOR PLAN

A2.03

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Rec. 5-20-20

1 LEVEL 3
1/4" = 1'-0"

NORTH ARROW FOR TOWNHOME BUILDING (A)

NORTH ARROW FOR TOWNHOME BUILDING (B)

2 All laundry closets shall have doors per door type F (see door schedule) and be provided with hinges located on the master bedroom side of the opening. See REV A2.03 regarding this door swing

1 1030.1 General. EMERGENCY ESCAPE AND RESCUE
In addition to the means of egress required by this chapter, provisions shall be made for emergency escape and rescue openings in Group R-2 occupancies

3 Demising wall fireblocking shall be provided through the use of mineral fiber at 10' feet on center horizontally & vertically. Draft stopping must be at the top of each wall to floor/ceiling and each ceiling/roof assembly; see detail S/A6.01 for additional information

R303.7 Interior Stair Illumination- Switch Both Top and Bottom of stairway

FLOOR PLAN LEGEND

- 1 A1.01 SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE
- 1 A1.01 DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE
- 1 WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.01
- A DOOR CALL OUT, SEE SCHEDULE ON SHEET A.01
- WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.01
- WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL
- HOSE BIB (HB)

- DS DOWNPOUT
- DRAINAGE AREA; SEE CALCULATIONS SHEET A2.04
- ELECTRIC PANEL PER ELECTRICAL

APPLIANCE LEGEND

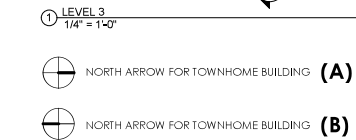
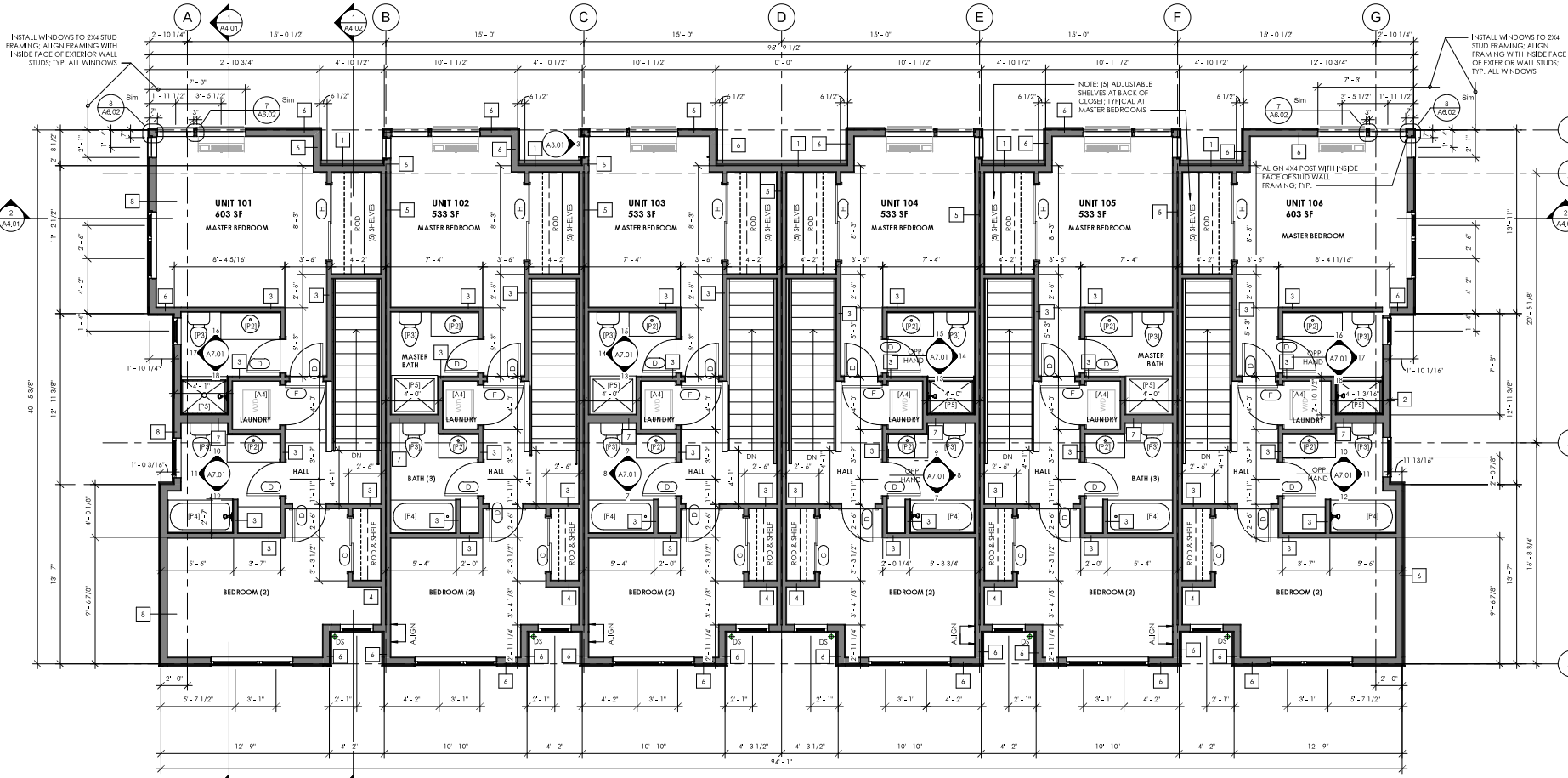
- A1 DISHWASHER: WHIRLPOOL; MODEL# WDF130FPAH, STAINLESS STEEL
- A2 REFRIGERATOR: WHIRLPOOL; WRT138FID, STAINLESS STEEL
- A3 RANGE, RANGE HOOD: WHIRLPOOL; HOOD - UXT4130 AND RANGE - WFC3D0 STAINLESS STEEL
- A4 WASHING MACHINE: WHIRLPOOL; WFW5620HW, WHITE
- A5 DRYER: WHIRLPOOL; WED5620HW, WHITE

PLUMBING LEGEND

- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL; MODEL# PFR22
- P2 BATHROOM LAVATORY & FAUCET; KOHLER, K-2194-1, WHITE
- DELTA; 22C101, CHROME
- P3 WATER CLOSET, WHITE TOILET CST243F, WHITE
- P4 BATHROOM BATHTUB, WHITE; MODEL# 100.LC
- P5 SHOWER ENCLOSURE; KOHLER, K-1690-0, SONATA, WHITE

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE FILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION.
2. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
4. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES. SEE SHEET A8.01 FOR WINDOW SCHEDULE.
5. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
6. UNIT DEMISING WALLS ALIGN WITH GRIDS B - F
7. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION



FLOOR PLAN LEGEND

- 1 A101 SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- 1 A101 DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- 1 WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.01.
- A DOOR CALL OUT, SEE SCHEDULE ON SHEET A.01.
- WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.01.
- WH WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL.
- HOSE BIB (HB)
- DS DOWNPOUT
- DRAINAGE AREA, SEE CALCULATIONS SHEET A2.04
- ELECTRIC PANEL PER ELECTRICAL

APPLIANCE LEGEND

- A1 DISHWASHER: WHIRLPOOL; MODEL# WDF130FAH, STAINLESS STEEL
- A2 REFRIGERATOR: WHIRLPOOL; WRT138FID, STAINLESS STEEL
- A3 RANGE, RANGE HOOD: WHIRLPOOL; HOOD - UXT4130 AND RANGE - WFC3D0 STAINLESS STEEL
- A4 WASHING MACHINE: WHIRLPOOL; WFW5620HW, WHITE
- A5 DRYER: WHIRLPOOL; WED5620HW, WHITE

PLUMBING LEGEND

- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL; MODEL# PFR22
- P2 BATHROOM LAVATORY & FAUCET; KOHLER, K-2194-1, WHITE
- DELTA; 22C101, CHROME
- P3 WATER CLOSET, WHITE TOILET C31243F, WHITE
- P4 BATHROOM BATH TUB, WHITE; MODEL# 100.LC
- P5 SHOWER ENCLOSURE; KOHLER; K-1694D, SONATA, WHITE

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE FILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
3. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES. SEE SHEET A8.01 FOR WINDOW SCHEDULE.
4. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
5. UNIT DEMISING WALLS ALIGN WITH GRIDS 8-F
6. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION

Revised
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06/02/2020 9:01:14 AM



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TOWNHOMES
WESTMAN MILL
510 STATE AVE. OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

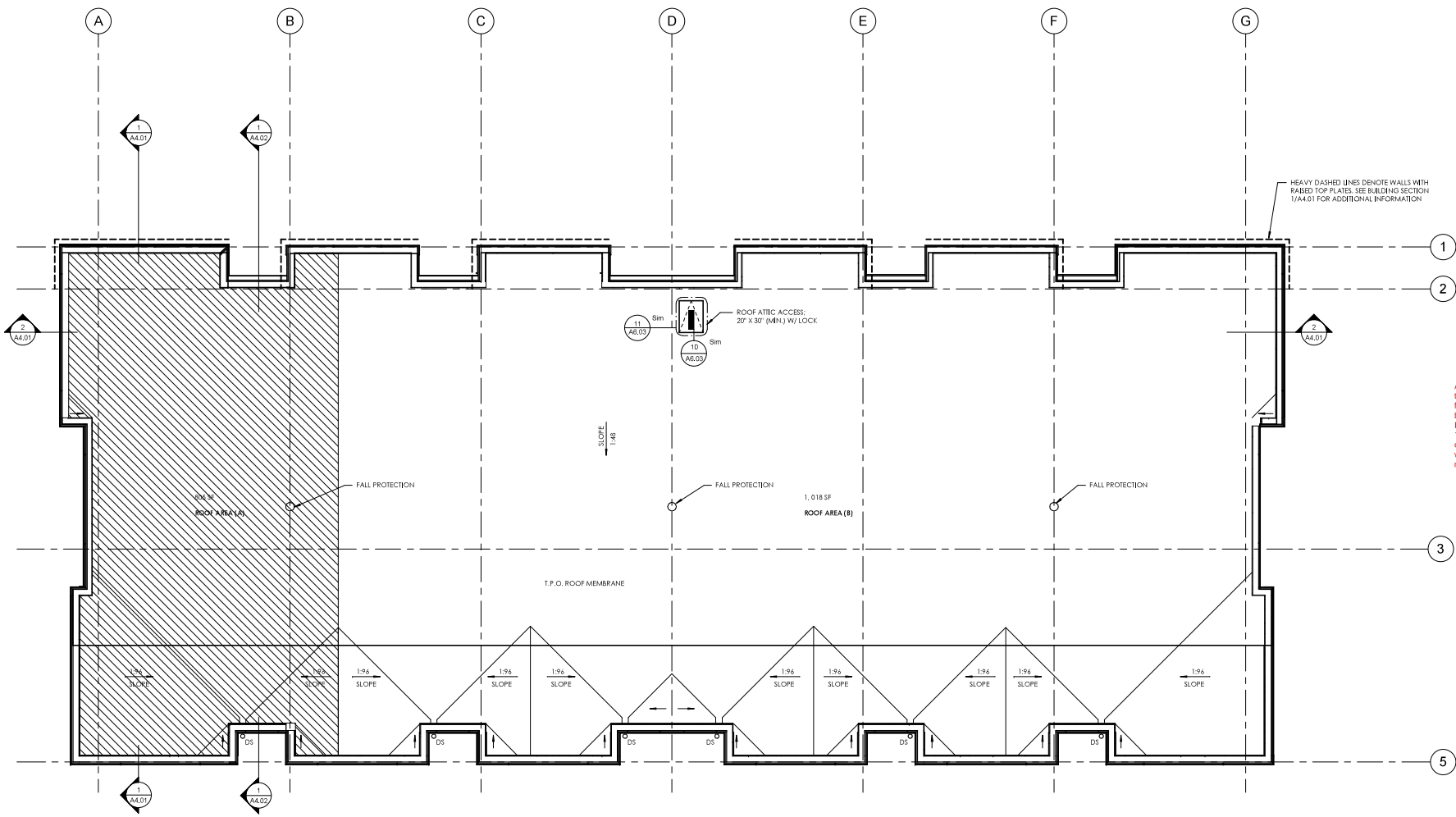


THIRD FLOOR PLAN

A2.03

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- 1 ROOF
 1/4" = 1'-0"
- ⊕ NORTH ARROW FOR TOWNHOME BUILDING (A)
- ⊕ NORTH ARROW FOR TOWNHOME BUILDING (B)

ROOF DRAINAGE CALCULATIONS

TOTAL ROOF AREA TO BE DRAINED = 3646 SF
 TOTAL SECOND FLOOR PATIO AREA = 730 SF
 ROOF AREA EXAMPLE A = 805 SF
 ROOF AREA EXAMPLE B = 1018 SF
 PATIO AREA EXAMPLE C (SEE SHEET A2.02) = 345 SF (FOR GUTTERS)
 ROOF + PATIO AREAS (A + C) = 805 SF + 345 SF = 1170 SF (FOR DOWNSPOUTS)

CODE CALCULATIONS AND TABLES ARE BASED ON 2015 UPC, CHAPTER 11:
 MAXIMUM RATE OF ANTICIPATED RAINFALL FOR A 100 YEAR OCCURRENCE: APPENDIX D, TABLE D 101.1 = 1"/HR
 DOWNSPOUT SIZE PER TABLE 1101.12, THE FLOW RATE THROUGH VERTICAL LEADERS SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER W/LL HANDLE = 8800 SF OF ROOF AREA

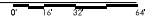
GUTTER SIZE PER TABLE 1106.3, THE SIZE OF GUTTERS (EXTRAPOLATED) WITH THE SLOPE OF 1/8" (MIN.) SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER W/LL HANDLE = 680 SF OF ROOF AREA

SIZING OF HORIZONTAL RAINWATER PIPING PER TABLE 1107.1 WITH THE SLOPE OF 1/8" (MIN.) SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER W/LL HANDLE = 3288 SF OF ROOF AREA

PROJECT DRAINAGE ELEMENTS	PROPOSED
DOWNSPOUTS:	3" DIAMETER TYPICAL
GUTTERS:	3" DIAMETER TYPICAL
HORIZONTAL PIPING (ABOVE PARKING AREA):	3" DIAMETER TYPICAL

ROOF PLAN LEGEND

- _{DS} DOWNSPOUT; SEE ROOF DRAINAGE FOR DIAMETER
- ▨ DRAINAGE AREA; SEE CALCULATIONS ON THIS SHEET



ROOF PLAN

A2.04

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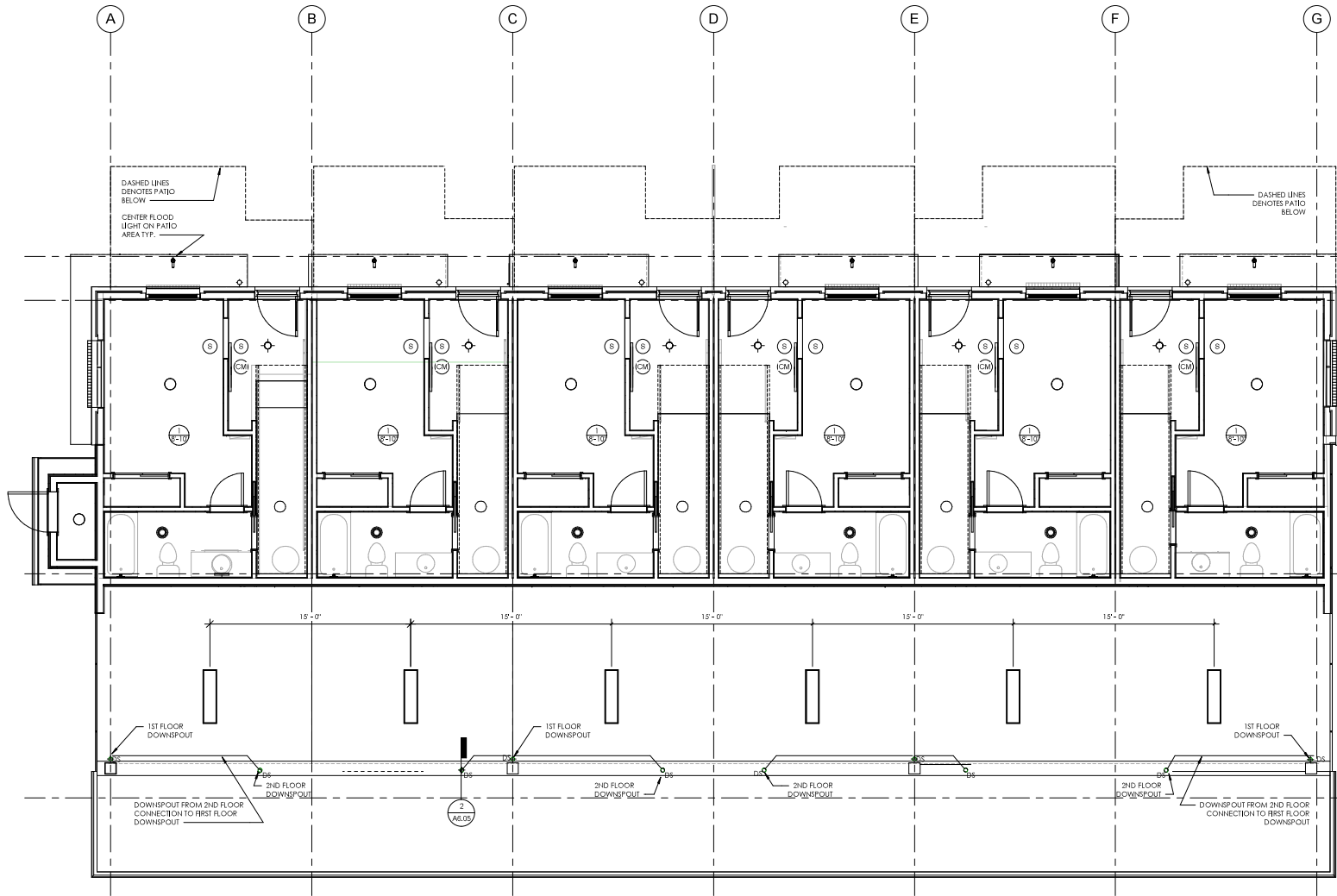
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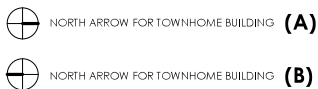
REFLECTED CEILING PLAN - FIRST FLOOR

A2.05

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1 CEILING PLAN - FLOOR 1
 1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND

- 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (ft.) AS NOTED ON PLAN
- SURFACE MOUNT LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE, PROVIDE WET LOCATION FIXTURE AS REQUIRED, PROVIDE WITH LED
- VANITY LIGHT FIXTURE, WALL MOUNTED
- BATH FAN/LIGHT FIXTURE
- SINGLE LIGHT SWITCH
- WALL SCONCE
- 1x4 LED LINEAR BOX LIGHT FIXTURE
- RAB-S ANGULAR FLOOD LIGHT FIXTURE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- DOWNSPOUT, SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION
- KITCHEN EXHAUST

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE FOUNDATION PERMIT # 16-1531 FOR ADDITIONAL INFORMATION.
2. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS.
3. NO TRIM SHALL BE CUT TO ACCOMMODATE SWITCH PLATES. CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
4. CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
5. ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
6. CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
7. ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (N.O.C.).
8. WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
9. ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.

11. ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
12. ALL CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED.
13. HARDWIRED W/ BATTERY BACKUP
14. FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.

0' 12' 24'

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 WESTMAN MILL
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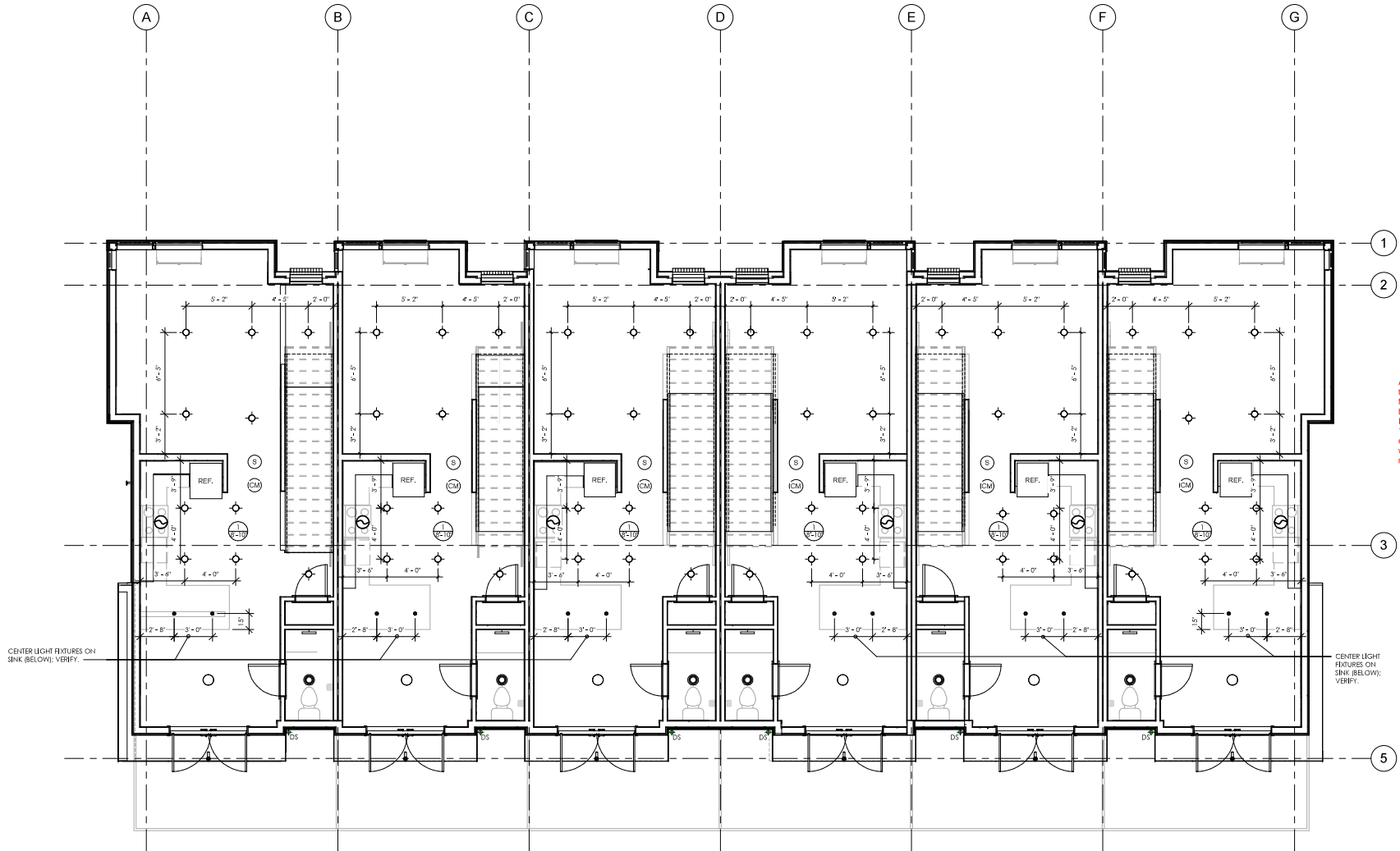
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REFLECTED
 CEILING PLAN -
 SECOND FLOOR

A2.06

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1 CEILING PLAN - FLOOR 2
 1/4" = 1'-0"

⊕ NORTH ARROW FOR TOWNHOME BUILDING (A)
 ⊕ NORTH ARROW FOR TOWNHOME BUILDING (B)

REFLECTED CEILING PLAN LEGEND

- ⊕ 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (H1) AS NOTED ON PLAN
- SURFACE MOUNT LIGHT FIXTURE
- ◆ RECESSED CAN LIGHT FIXTURE, PROVIDE WET LOCATION FIXTURE AS REQUIRED, PROVIDE WITH LED
- ⊕ VANITY LIGHT FIXTURE, WALL MOUNTED
- ⊕ BATH FAN/LIGHT FIXTURE
- ⊕ SINGLE LIGHT SWITCH
- ⊕ WALL SCONCE
- ⊕ 1x4 LED LINEAR BOX LIGHT FIXTURE
- ⊕ RAB-5 ANGULAR FLOOD LIGHT FIXTURE
- ⊕ SMOKE DETECTOR
- ⊕ CM CARBON MONOXIDE DETECTOR
- ⊕ DS DOWNSPROUT, SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION
- ⊕ KITCHEN EXHAUST

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL FLEES. SEE FOUNDATION PERMIT # 18-151 FOR ADDITIONAL INFORMATION.
2. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS.
3. NO TRIM SHALL BE CUT TO ACCOMMODATE SWITCH PLATES. CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
4. CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
5. ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
6. CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
7. ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (I.N.O.).
8. WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
9. ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.
10. ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
11. ALL CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED, HARDWIRED W/ BATTERY BACKUP.
12. FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
13. SEE SITE PLAN SHEET A1.01 FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.
- 14.

0' 10' 20' 40'

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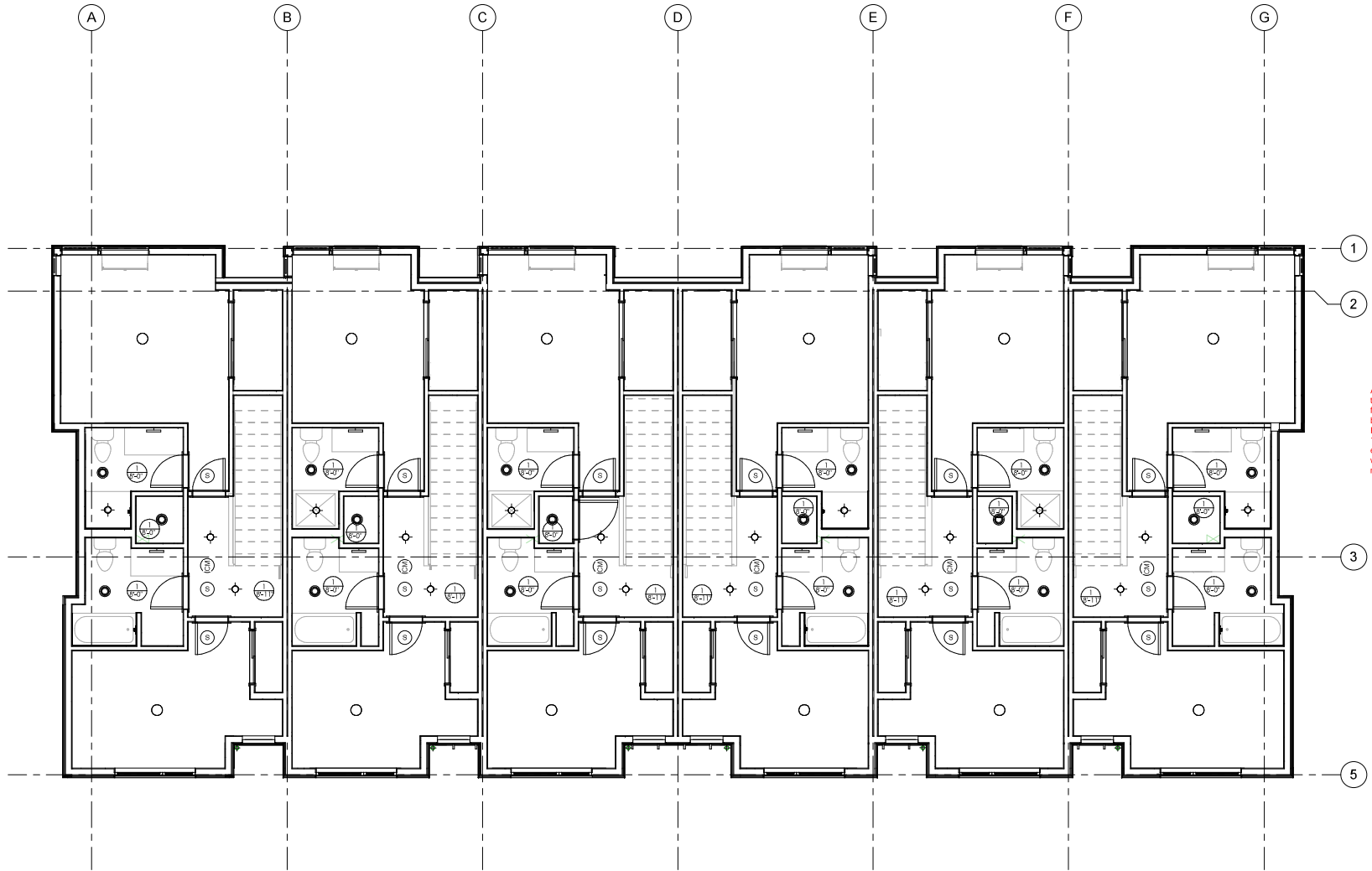
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REFLECTED
 CEILING PLAN -
 THIRD FLOOR

A2.07

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1 FLOOR 3 dims
 1/4" = 1'-0"

⊕ NORTH ARROW FOR TOWNHOME BUILDING (A)
 ⊕ NORTH ARROW FOR TOWNHOME BUILDING (B)

REFLECTED CEILING PLAN LEGEND

- | | |
|---|--|
| ⊕ 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (H.C.) AS NOTED ON PLAN | ⊙ SMOKE DETECTOR |
| ○ SURFACE MOUNT LIGHT FIXTURE | ⊕ CM CARBON MONOXIDE DETECTOR |
| ◆ RECESSED CAN LIGHT FIXTURE, PROVIDE VENT LOCATION FIXTURE AS REQUIRED, PROVIDE WITH LED | ⊙ DS DOWNSPOUT, SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION |
| ⊕ VANITY LIGHT FIXTURE, WALL MOUNTED | ⊙ KITCHEN EXHAUST |
| ⊕ BATH FAN/LIGHT FIXTURE | |
| ⊕ SINGLE LIGHT SWITCH | |
| ⊕ WALL SCONCE | |
| ⊕ 1x4 LED LINEAR BOX LIGHT FIXTURE | |
| ⊕ RAB-5 ANGULAR FLOOD LIGHT FIXTURE | |

GENERAL NOTES

- SOLID LINES ADDRESS THE LOCATION OF STRUCTURAL FLEES. SEE FOUNDATION PERMIT # 18-1531 FOR ADDITIONAL INFORMATION.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS.
- NO TRIM SHALL BE CUT TO ACCOMMODATE SWITCH PLATES.
- CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
- CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
- ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
- CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
- ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (I.N.O.).
- WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
- ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.
- ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
- ALL CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED, HARDWIRED BY BATTERY BACKUP.
- FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE SITE PLAN SHEET A1.01 FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.


AND SMOKE

0' 10' 20'

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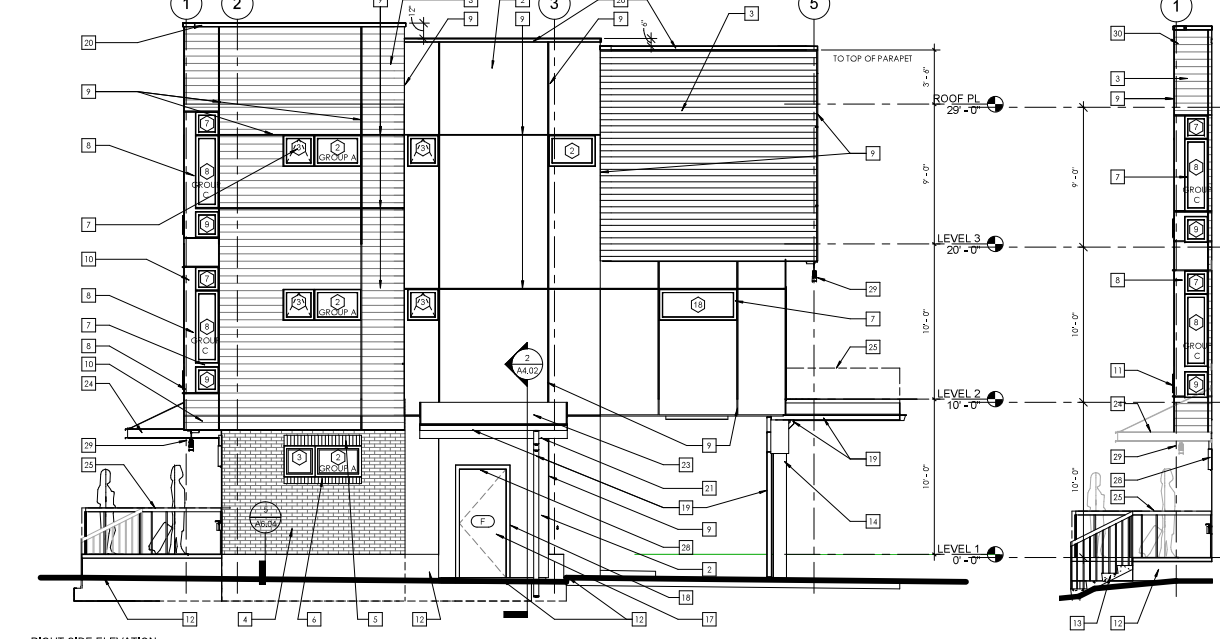
ELEVATIONS

A3.01

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2 FRONT ELEVATION (ENTRY)
 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION
 1/4" = 1'-0" (VERIFY SPRINKLER ROOM LOCATION ON SITE PLAN)
 20-1520

3 SIDE ELEVATION @ POP OUTS
 1/4" = 1'-0"

- GENERAL NOTES**
- SEE BASIS OF DESIGN FOR ADDITIONAL EXTERIOR FINISH INFORMATION
 - ALLEN WALL REVEALS WITH WINDOW AND DOOR FRAMES; SEE SHEET A3.02 FOR ADDITIONAL INFORMATION
 - EXTERIOR ELEVATION SIDING CHANGES SHALL ONLY OCCUR ON INSIDE CORNERS; TYP. UNO
 - CASEMENT WINDOWS <12", <11" AND <12" SHALL MEET THE REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE PER IBC 1030

- ELEVATION KEY NOTES**
- STRUCTURAL METAL: PER STRUCTURAL ENGINEER; PRIME AND PAINT COLOR: BLACK
 - FIBER CEMENT SIDING: JAMES HARDIE 3/8" HARDIE PANEL W/ SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D
 - FIBER CEMENT SIDING: ARTIFAN 5/8" REVEL CHANNEL W/ 9" EXPOSURE AND SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D
 - FACE BRICK: MUTUAL MATERIALS - STANDARD BRICK FOREST BLEND, EBONY, COAL CREEK
 - SINGLE BRICK SOLDER COURSE HEADER: MUTUAL MATERIALS COLOR: COAL CREEK
 - BRICK SILL COURSE: MUTUAL MATERIALS COLOR: COAL CREEK
 - FENESTRATION: PLY-GEN 1500 SERIES OR APPROVED EQUAL; SEE WINDOW SCHEDULE FOR OPERATION TYPE; SHEET A-602. COLOR: BLACK EXTERIOR, WHITE INTERIOR
 - WINDOW TRIM AND FLASHING PER DETAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - HORIZONTAL AND VERTICAL SIDING REVEALS; SIDING: CORNER TRIMS; AND WINDOW TRIM PER DETAILS; FIN: REGLET OR APPROVED EQUAL; SEE BASIS OF DESIGN FOR ADDITIONAL INFORMATION COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - FIBER CEMENT PANEL PER DETAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL PTHP GRILL: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - CONCRETE FOUNDATION: SMOOTH FINISH; SEAL AS REQUIRED
 - CONCRETE STAIRS: SMOOTH FINISH WITH BROOM FINISH TREADS; SEAL AS REQUIRED
 - CONCRETE COLUMN AND BEAM PER STRUCTURAL; SMOOTH FINISH; SEAL AS REQUIRED
 - ENTRY DOOR: PLY-GEN MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR
 - PATIO FRENCH DOOR: PLY-GEN MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR
 - HOLLOW METAL DOOR: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - HOLLOW METAL EXTERIOR DOOR FRAME: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL GUTTERS AND DOWNSPOUTS: SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL
 - METAL CAP TRIM PER DETAILS; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL
 - EAVES FASCIA (BEHIND GUTTERS): 5/4" x 6" CEDAR; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL
 - GABLE FASCIA TRIM: 1x3 CEDAR RAKE ON 5/4" x 6" CEDAR FASCIA; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL
 - 24 GAUGE STANDING SEAM METAL ROOF COLOR: MATCH WITH STRUCTURAL METAL
 - C CHANNEL ENTRY CANOPY PER STRUCTURAL; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL GUARD AND HANDRAILS: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - CONCRETE LANDING; BROOM FINISH; SLOPE (1:48) AWAY FROM DOOR; SEAL AS REQUIRED
 - EXTERIOR WALL SCONCE LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH
 - EXTERIOR FLOOD LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH



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**TOWNHOMES
WESTMAN MILL**
510 STATE AVE. OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

Building Plans Examiner - CP#D
380.753.6280 - Office
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08/08/2020 9:42:05 AM
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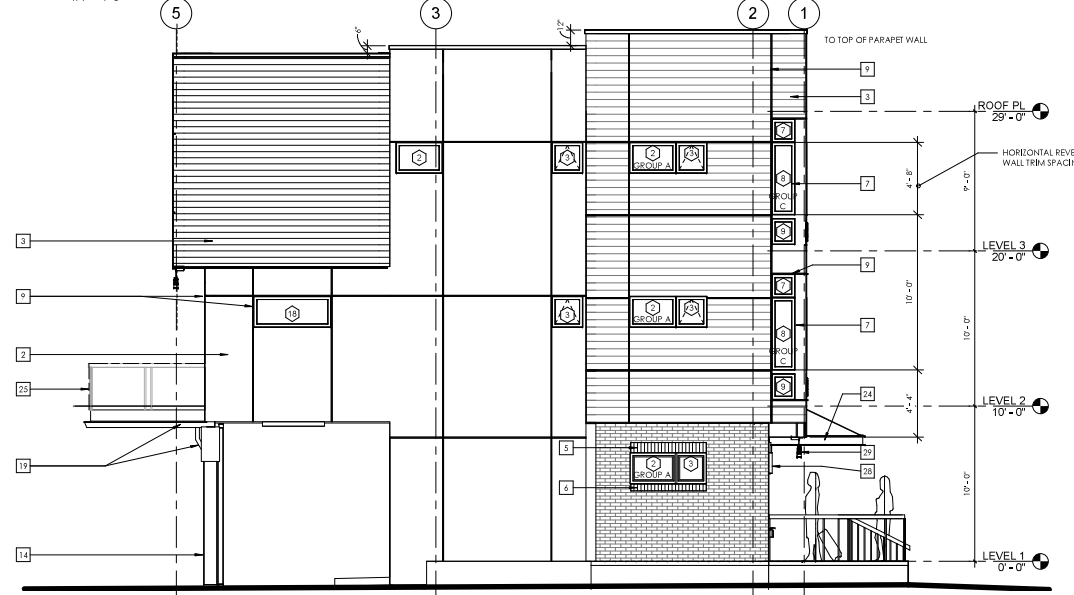
ELEVATIONS

A3.02

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1 REAR ELEVATION (PARKING)
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0" (VERIFY SPRINKLER ROOM LOCATION ON SITE PLAN)

GENERAL NOTES

1. SEE BASIS OF DESIGN FOR ADDITIONAL EXTERIOR FINISH INFORMATION
2. ALIEN WALL REVEALS WITH WINDOW AND DOOR FRAMES UNDO; SEE SHEET A3.02 FOR ADDITIONAL INFORMATION
3. EXTERIOR ELEVATION SIDING CHANGES SHALL ONLY OCCUR ON INSIDE CORNERS, TYP. UNDO
4. CASEMENT WINDOWS <1>, <11>, AND <15> SHALL MEET THE REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE PER IBC 1030

ELEVATION KEY NOTES

- | | |
|--|--|
| <ol style="list-style-type: none"> 1 STRUCTURAL METAL: PER STRUCTURAL ENGINEER; PRIME AND PAINT COLOR: BLACK 2 FIBER CEMENT SIDING: JAMES HARDIE 3/8" HARDBE PANEL W/ SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D 3 FIBER CEMENT SIDING: ARTISAN 5/8" BEVEL CHANNEL W/ 9" EXPOSURE AND SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D 4 FACE BRICK: MUTUAL MATERIALS - STANDARD BRICK FOREST BLEND, EBONY, COAL CREEK 5 SINGLE BRICK SOLDER COURSE HEADER: MUTUAL MATERIALS COLOR: COAL CREEK 6 BRICK 3/4 COURSE: MUTUAL MATERIALS COLOR: COAL CREEK 7 FENESTRATION: PLY-GEM 1500 SERIES OR APPROVED EQUAL; SEE WINDOW SCHEDULE FOR OPERATION TYPE; SHEET A-602; COLOR: BLACK EXTERIOR, WHITE INTERIOR 8 WINDOW TRIM AND FLASHING PER DETAILS; PRIME AND PAINT; COLOR: MATCH WITH STRUCTURAL METAL FINISH 9 HORIZONTAL AND VERTICAL SIDING REVEALS; SIDING: CORNER TRIMS, AND WINDOW TRIM PER DETAILS; FIN: REGLET OR APPROVED EQUAL; SEE BASIS OF DESIGN FOR ADDITIONAL INFORMATION; COLOR: MATCH WITH STRUCTURAL METAL FINISH 10 FIBER CEMENT PANEL PER DETAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 11 METAL P/HP GRILL: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 12 CONCRETE FOUNDATION: SMOOTH FINISH; SEAL AS REQUIRED 13 CONCRETE STAIRS: SMOOTH FINISH WITH BROOM FINISH TREADS; SEAL AS REQUIRED 14 CONCRETE COLUMN AND BEAM PER STRUCTURAL; SMOOTH FINISH; SEAL AS REQUIRED 15 ENTRY DOOR: PLY-GEM MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE; COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR 16 PATIO FRENCH DOOR: PLY-GEM MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE; COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR | <ol style="list-style-type: none"> 17 HOLLOW METAL DOOR: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 18 HOLLOW METAL EXTERIOR DOOR FRAME: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 19 METAL GUTTERS AND DOWNSPOUTS; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION; COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL 20 METAL CAP TRIM PER DETAIL; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION; COLOR: MATCH WITH STRUCTURAL METAL 21 EAVES FASCIA (BEHIND GUTTERS): 5/4" x6 CEDAR; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL 22 GABLE FASCIA TRIM: 1x3 CEDAR RAKE ON 5/4" x6 CEDAR FASCIA; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL 23 24 GAUGE STANDING SEAM METAL ROOF COLOR: MATCH WITH STRUCTURAL METAL 24 C CHANNEL ENTRY CANOPY PER STRUCTURAL; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 25 METAL GUARD AND HANDRAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 26 CONCRETE LANDING: BROOM FINISH; SLOPE (1:48) AWAY FROM DOOR; SEAL AS REQUIRED 27 EXTERIOR WALL SCONCE LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH 28 EXTERIOR SPOT LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH 29 SHEET METAL SCUPPER; COLOR: BLACK |
|--|--|



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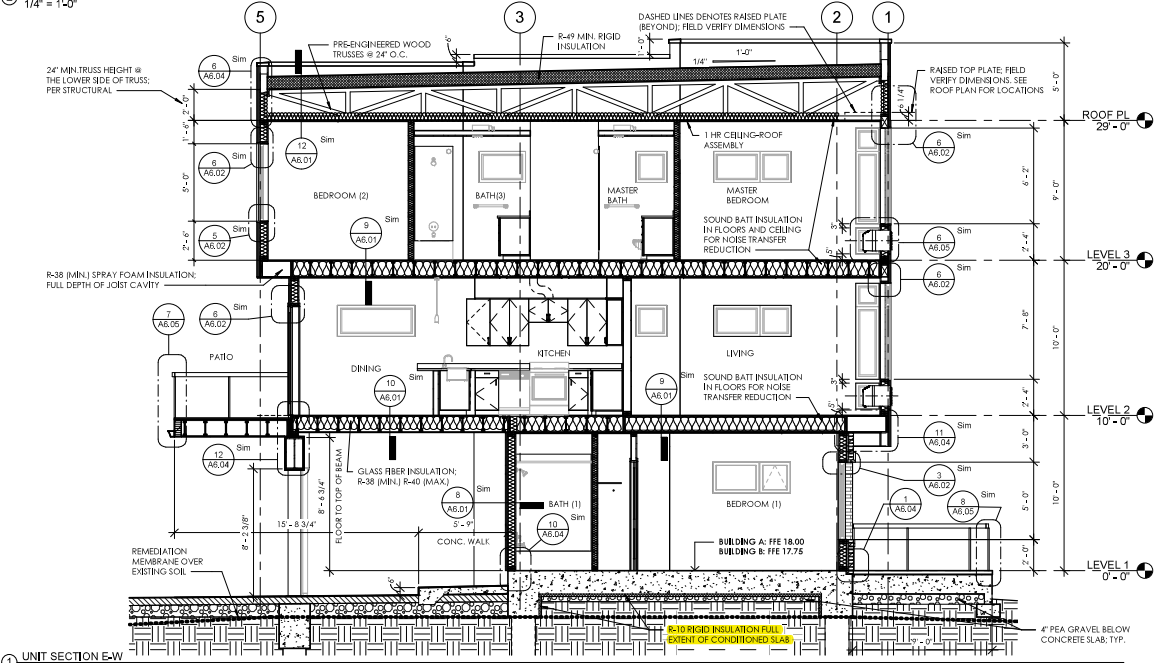
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ap@tas.com | tom@tas.com - email
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REVIEWS FOR CODE COMPLIANCE:

BUILDING SECTIONS

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20-153 UNIT SECTION E-W
1/4" = 1'-0"

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 rjennings@olympiawash.com - email
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BUILDING SECTIONS

A4.02

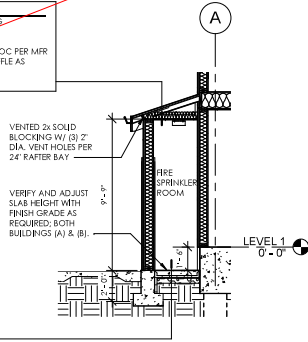
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ROOF SLAB CONSTRUCTION:
 • STANDING SEAM METAL ROOFING
 • 30# BUILDING PAPER
 • 1/2" APA RATED SHEATHING
 • ROOF FRAMING OR TRUSS AT 24" O.C PER MFR
 • R-38 FIBERGLASS INSULATION: BAFFLE AS SPECIFIED
 • 5/8" GWB

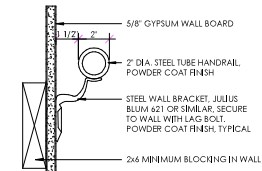
SEE 4.02 REV

NOTE: SEE FLOOR PLANS FOR WALL TYPE INFORMATION

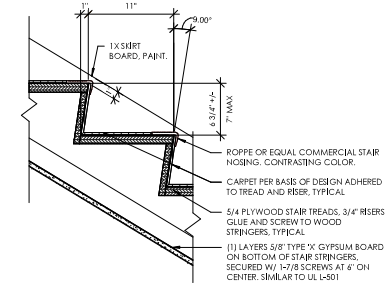
FLOOR SLAB CONSTRUCTION:
 • 4" REIN. (W/W) CONC. SLAB
 • 6" MIL. VAPOR BARRIER
 • R10 rigid INSULATION
 • 4" PEA GRAVEL BASE



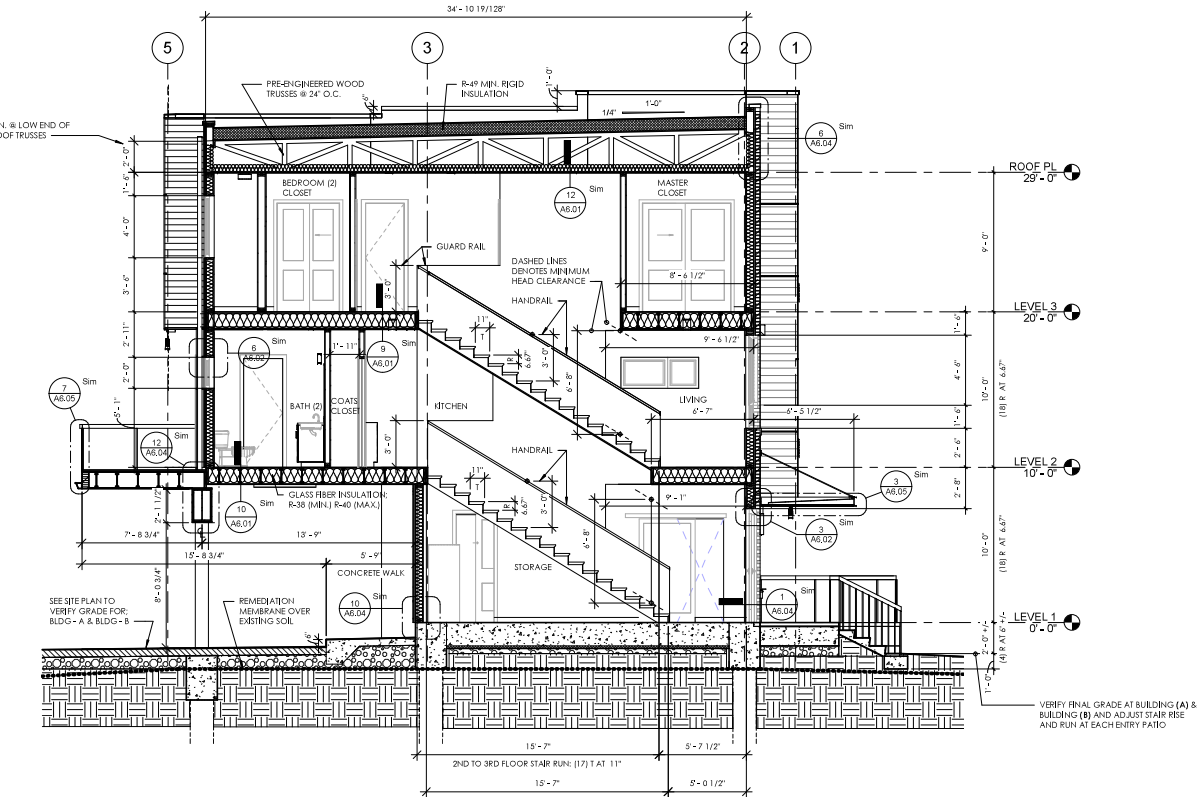
2 FIRE SPRINKLER SECTION
 1/4" = 1'-0"



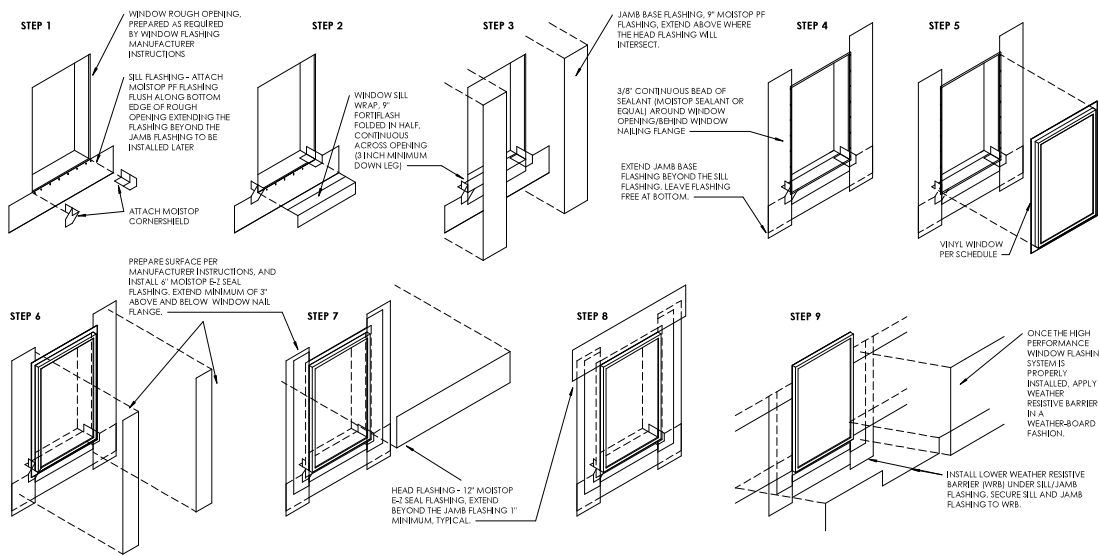
4 HAND RAIL DETAIL
 3\"/>



3 STAIR - WOOD STRINGER
 1 1/2\"/>



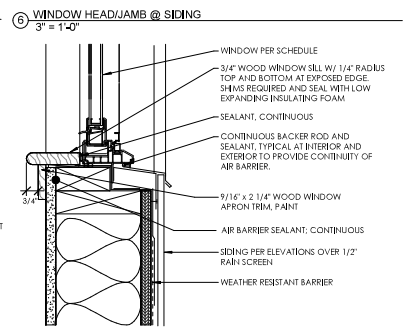
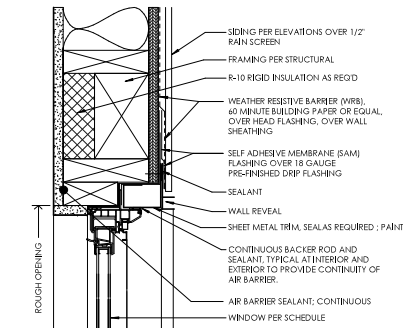
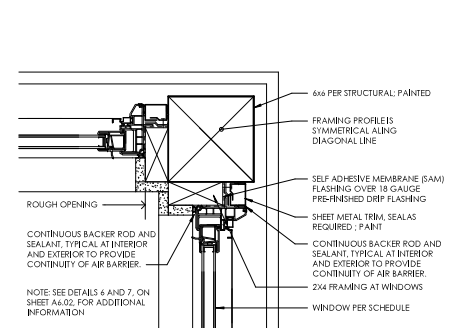
1 SECTION THRU STAIRS
 1/4\"/>



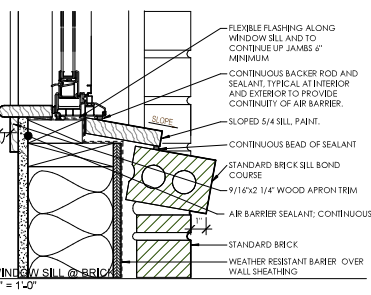
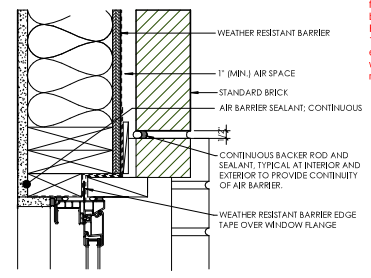
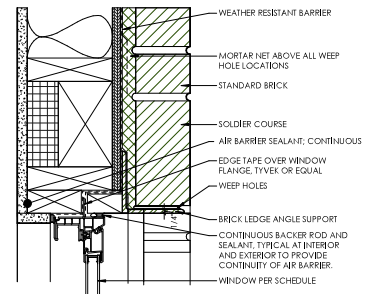
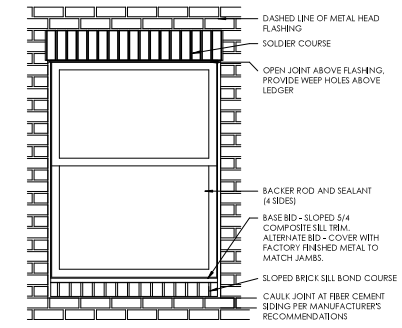
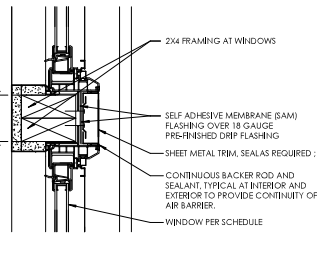
GENERAL NOTES:

- SEE FORTIFIBER BUILDING SYSTEMS HIGH PERFORMANCE WINDOW FLASHING SYSTEM WITH ADDITION OF CORNER SHIELD AND SILL WRAP FOR MANUFACTURER'S SPECIFIC INSTRUCTIONS.
- PREPARE ALL SURFACES AS RECOMMENDED BY WINDOW FLASHING MANUFACTURER.

9 TYPICAL WINDOW FLASHING
1/2" = 1'-0"



7 WINDOW FRAMING
3" = 1'-0"



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WINDOW
DETAILS

A6.02

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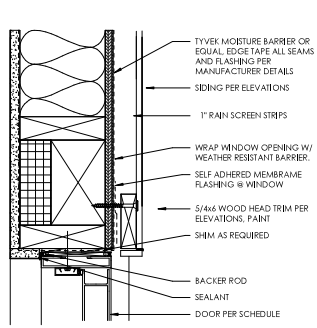
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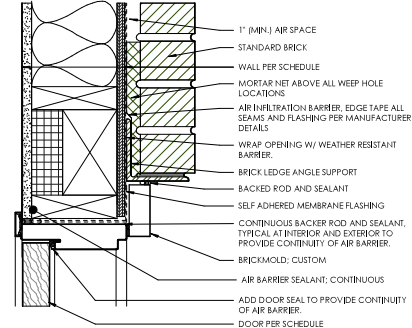
DOOR DETAILS

A6.03

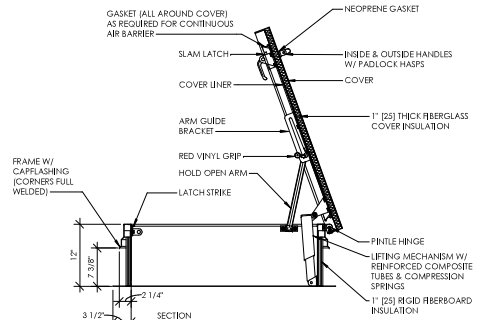
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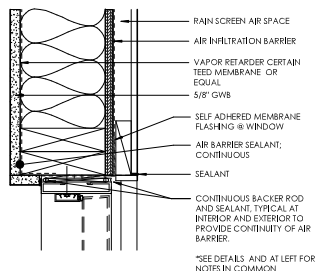
① DOOR HEAD @ PATIO
 3\"/>



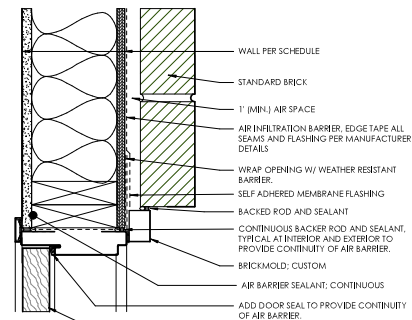
② DOOR HEAD AT BRICK
 3\"/>



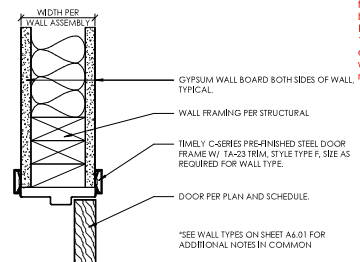
⑪ EXTERIOR ACCESS ROOF HATCH
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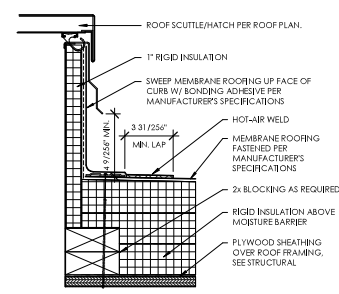
③ DOOR JAMB @ PATIO
 3\"/>



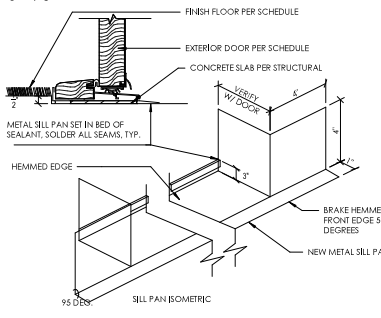
④ DOOR JAMB AT BRICK
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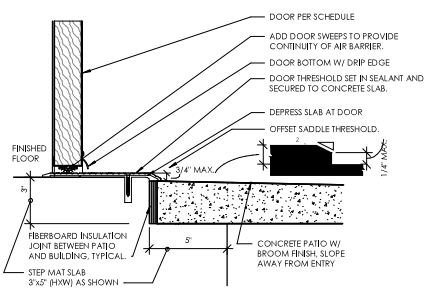
② DOOR HEAD/JAMB @ INTERIOR
 3\"/>



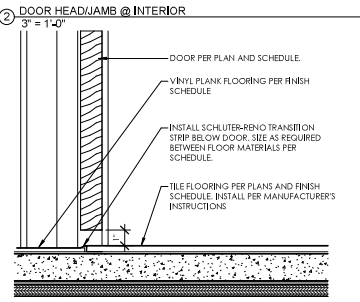
⑫ ROOF SCUTTLE
 3\"/>



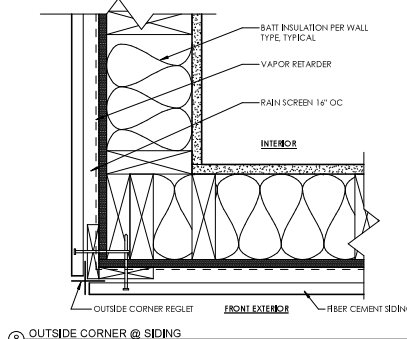
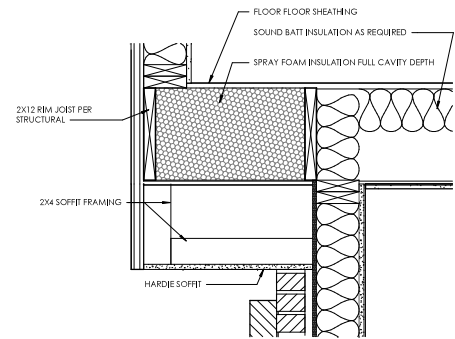
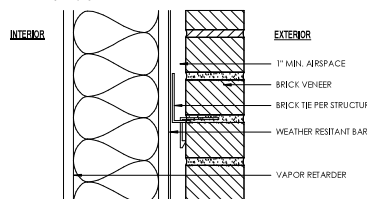
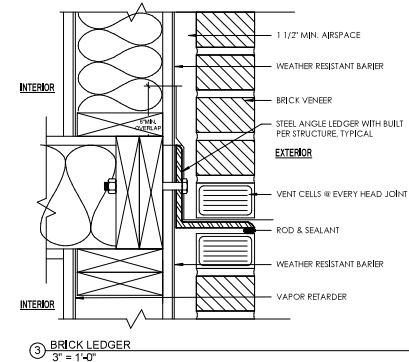
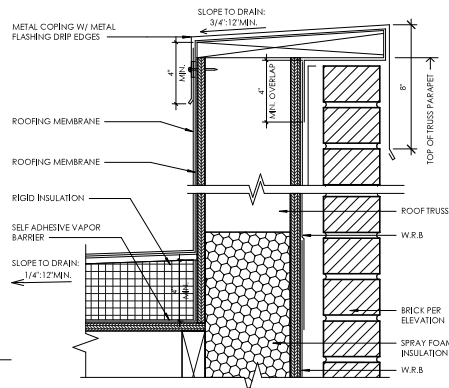
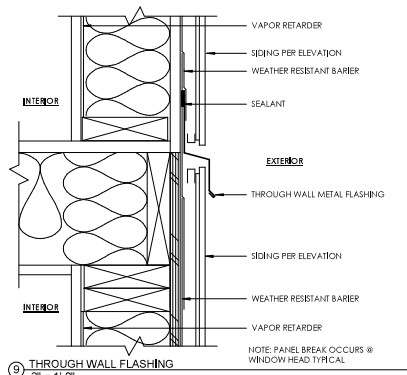
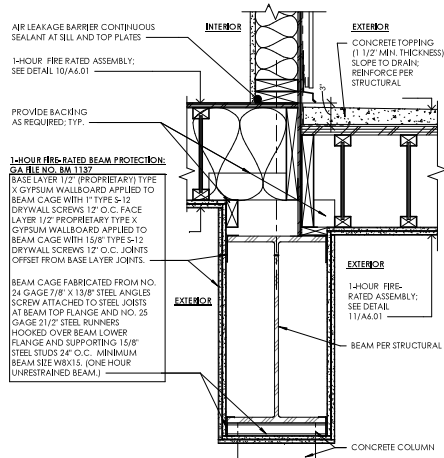
⑦ TYPICAL THRESHOLD FLASHING
 3\"/>



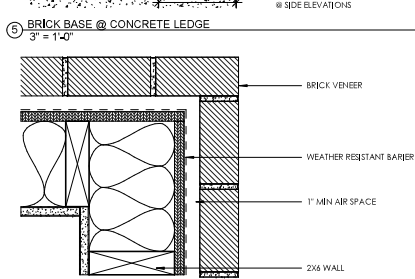
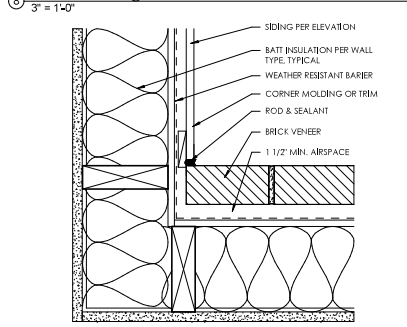
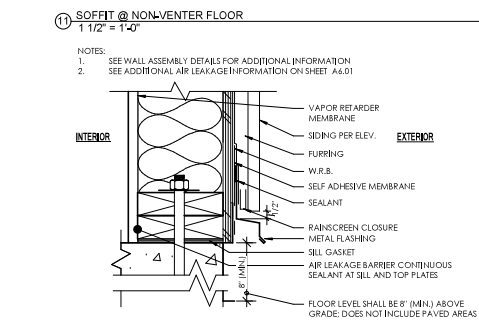
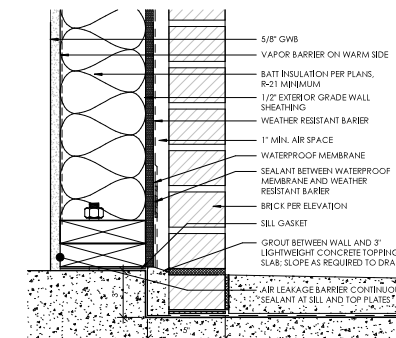
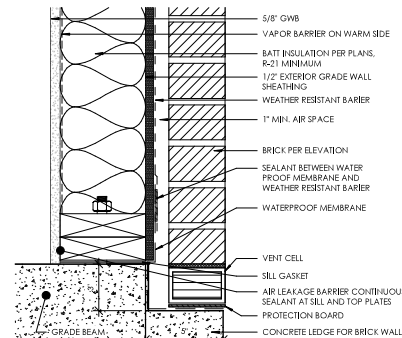
④ DOOR THRESHOLD @ CONCRETE SLAB
 3\"/>



① THRESHOLD @ INTERIOR
 3\"/>



8 PARAPET @ BRICK
3" = 1'-0"



10 BASE OF WALL @ CONCRETE (TYPICAL)
3" = 1'-0"

9 INSIDE CORNER @ BRICK & SIDING
3" = 1'-0"

4 OUTSIDE CORNER @ BRICK
3" = 1'-0"



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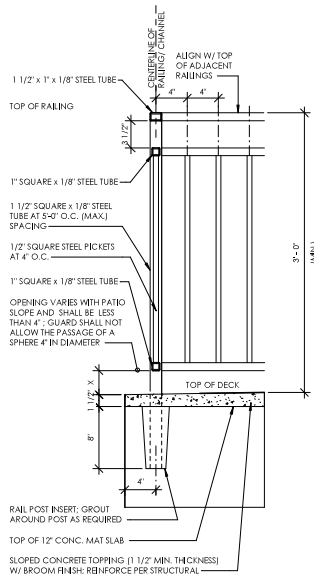
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REVIEWS FOR CODE CORRECTIONS

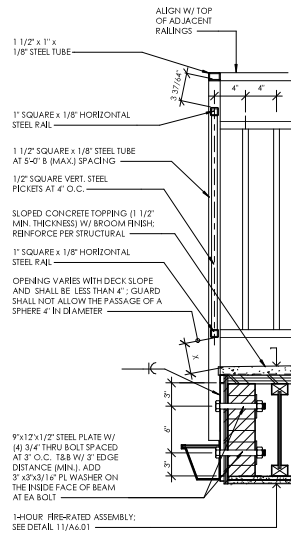
EXTERIOR
DETAILS

A6.04

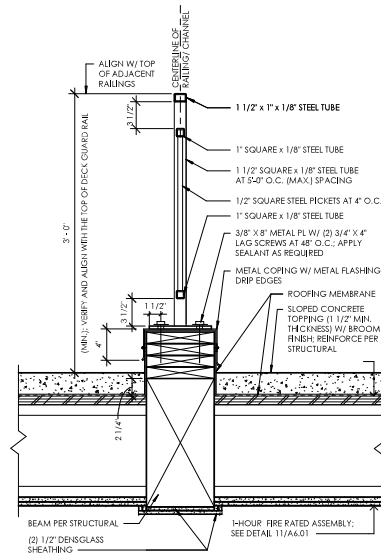
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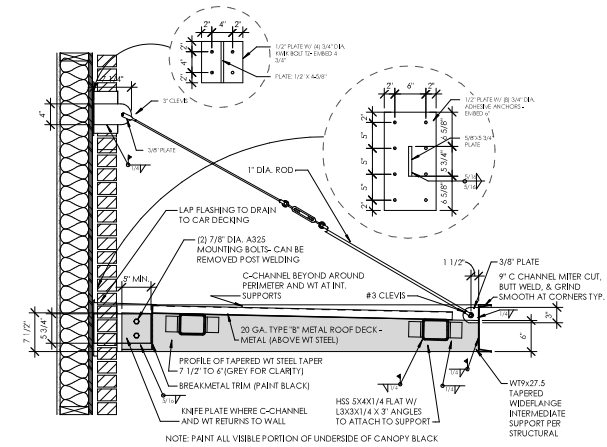
3 EXTERIOR GAIRD @ CONCRETE PATIO
1 1/2" = 1'-0"



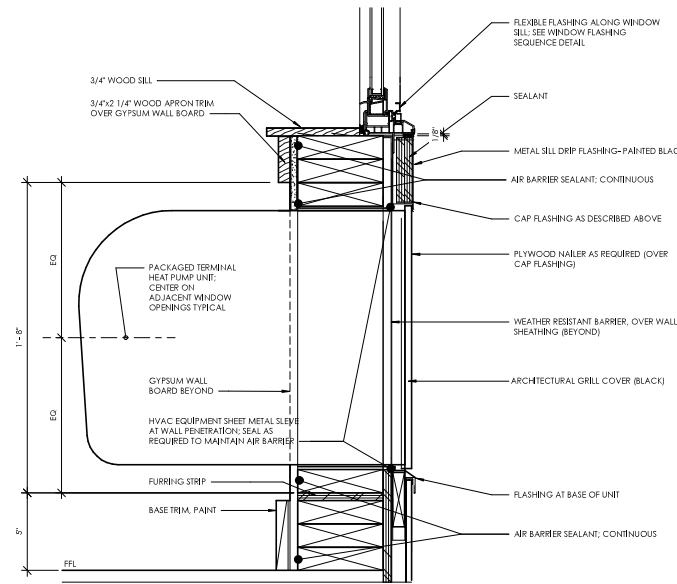
7 EXTERIOR GAIRD @ DECK
1 1/2" = 1'-0"



5 FENCE DETAIL
1 1/2" = 1'-0"

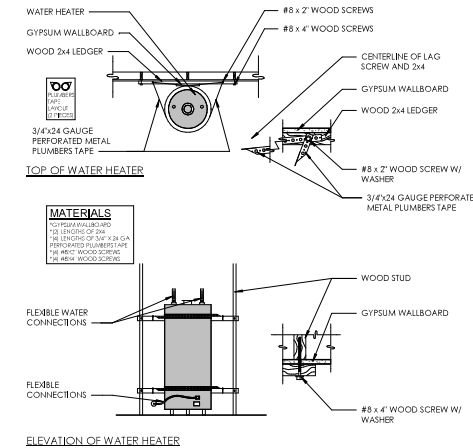


3 CANOPY DETAIL
1 1/2" = 1'-0"

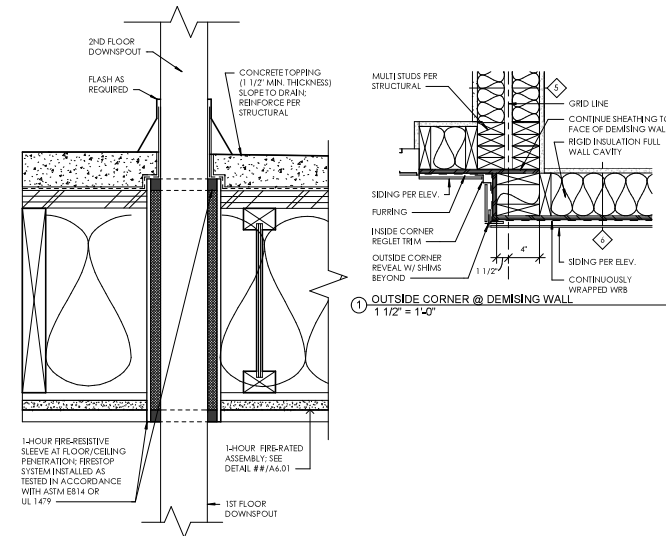


6 PTHP MECHANICAL UNIT
3" = 1'-0"

20-1520



4 WATER HEATER SEISMIC STRAPPING
1/4" = 1'-0"



2 DOWNSPOUT THRU 2ND FLOOR
3" = 1'-0"

1 OUTSIDE CORNER @ DEMISING WALL
1 1/2" = 1'-0"

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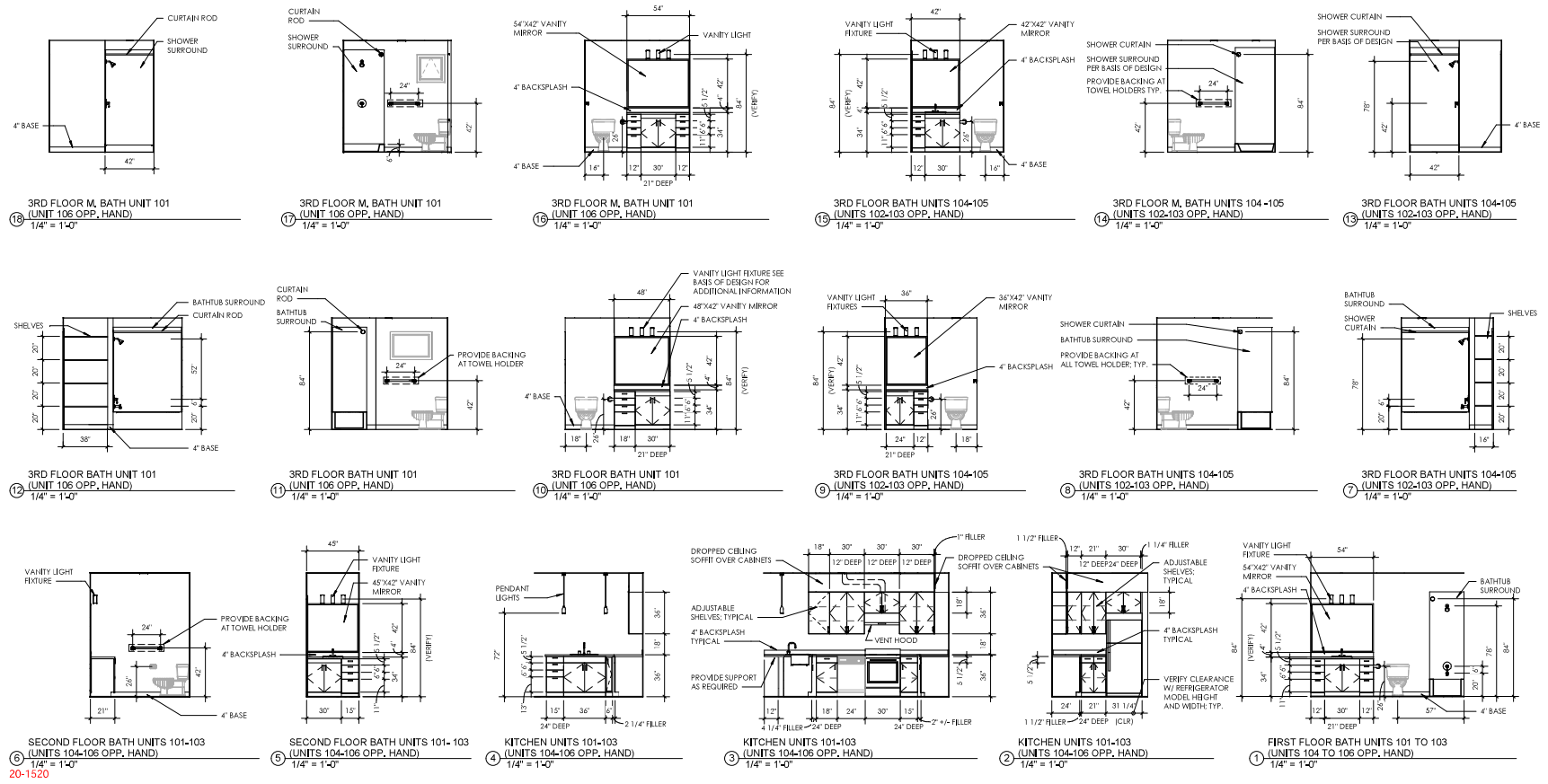
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 rgenton@olympiawash.com - email
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INTERIOR ELEVATIONS

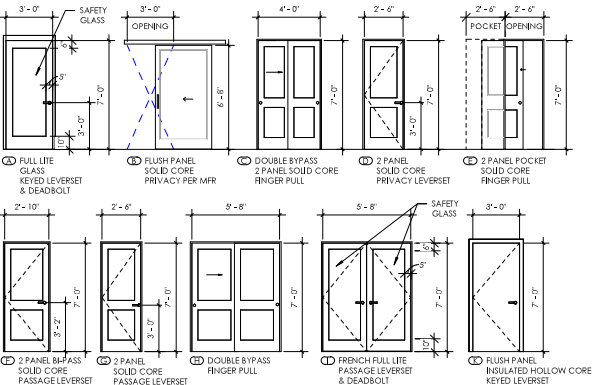
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DOOR SCHEDULE

DOOR TYPE	SIE		DOOR		FRAME		HARDWARE	REMARKS
	Width	Height	MAT.	FIN.	MAT.	FIN.		
A	36"	84"	MIL/CW/D*	FR/ST	STL	PT	1, 5, 6, 7, 8, 9, 12	* METAL CLAD EXTERIOR W/ WOOD INTERIOR. PROVIDE WITH OBSCURE GLASS.
B	36"	80"	SCWD	ST	MFR	NA**	**	** BATH DOOR HARD WARE W/ PRIVACY LOCK. MATCH W/ OIL RUBBED BRONZE FINISH; GWS HEAD AND JAMBS.
C	48"	84"	FR/HGWD	ST	ND	PT	4	CLOSET BYPASS; WOOD TRIM AT HEAD; GWS JAMBS.
D		84"	SCWD	ST	STL	PT	2, 5, 7	
E	30"	84"	SCWD	PT	WD	PT	***	*** POCKET DOOR HARDWARE; MATCH W/ OIL RUBBED BRONZE FINISH.
F	36"	84"	SCWD	ST	STL	PT	3, 5***	*** METAL CLAD EXTERIOR W/ WOOD INTERIOR. VERIFY ACTIVE (A) AND PASSIVE (P) LEAF; SEE FLOOR PLAN FOR LOCATIONS.
G	30"	84"	SCWD	ST	STL	PT	3, 5	
H	68"	84"	FR/HGWD	ST	WD	PT	4	CLOSET BYPASS; WOOD TRIM AT HEAD; GWS JAMBS.
I	72"	84"	MIL/CW/D***	FR/ST	WD	PT	5, 6, 7, 8, 9, 11, 12	



DOOR TYPES

1/4" = 1'-0"

HARDWARE TYPES - DESIGN BASIS

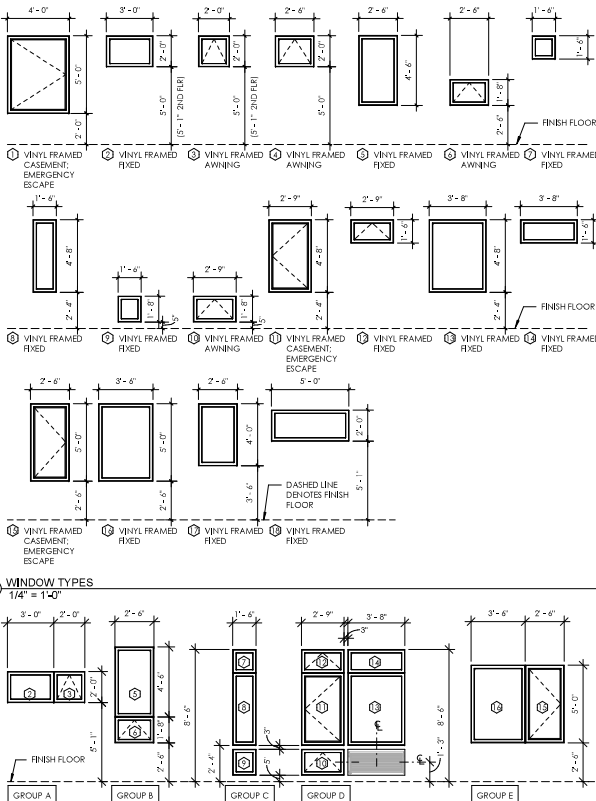
1	ENTRY	KEYED LEVERSET
2	PRIVACY	PRIVACY LEVERSET
3	PASSAGE	PASSAGE LEVERSET
4	BYPASS	FINGER PULL
5	HINGES	OIL RUBBED BRONZE FINISH
6	DEAD BOLT	OIL RUBBED BRONZE FINISH
7	DOOR BUMPER	WALL MOUNTED DOOR BUMPER
8	SMOKE / WEATHER SEAL	BLACK
9	THRESHOLD	BLACK
10	KEYPAD	COATED LOCK, OIL RUBBED BRONZE FINISH
11	FLUSH STOP	RECESSED FLUSH STOP
12	DOOR STOP	PECK DOWN DOOR STOP

GENERAL DOOR AND HARDWARE NOTES

- ALL SLIDE HINGE DOORS TO HAVE 1 1/2 Pairs OF HINGES, STOP, SILENCER, AND LATCH SET WITH LEVER HANDLE, UNLESS NOTED OTHERWISE (UNO).
- ALL HARDWARE TO BE HEAVY DUTY COMMERCIAL GRADE (SCHAEGLE, CORBIN, BRUSINI, OR OTHERS).
- EXTERIOR DOORS TO HAVE LOCK, THRESHOLD, WEATHER STRIPPING, DOOR BOTTOM SWEEP, AND CLOSER.
- ALL DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. CLOSER SHALL CONFORM TO OPENING FORCE REQUIREMENTS OF IBC 1008.1.3. ALL DOORS WITH CLOSER TO HAVE 10" HIGH x (WIDTH OF DOOR - 2") METAL KICKPLATE TO MATCH DOOR HARDWARE.
- LOCKS, LOCKING FUNCTION, APPROPRIATE SOUND/LIGHT GASKET, AND SWEEP OF ALL DOORS TO BE COORDINATED AND VERIFIED WITH OWNER.
- ALL GLAZING IN DOORS AND HAZARDOUS LOCATIONS TO BE SAFETY GLAZING PER IBC 2406.4.1 THROUGH 2406.4.7.
- EXTERIOR DOOR THRESHOLD SHALL BE NO GREATER THAN 3/4"; SEE CODE REVIEW NOTES FOR ADDITIONAL ACCESSIBLE EQUAL BY OTHERS.
- MAXIMUM AIR INFILTRATION RATE TO COMPLY WITH TABLE 402.4.3 OF THE WAS 51-11C-0243. SWINGING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.5 CFM PER SQUARE FOOT.
- ALL EXTERIOR DOORS SHALL BE AAMA PERFORMANCE RATED DOOR TO MEET MINIMUM THERMAL PERFORMANCE CRITERIA AND AIR LEAKAGE PER THE ENERGY CODE, WITH A WATER PENETRATION RESISTANCE RATING.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM A.F.F.
- FINISH OF HINGES TO MATCH LEVER HARDWARE AT EACH DOOR.
- VERIFY STEEL DOOR FINISHES WITH OWNER, FACTORY FINISH OR PAINTED IN FIELD.
- SEE DOOR BASIS OF DESIGN FOR ADDITIONAL INFORMATION.

ABBREVIATIONS:

AL	ALUMINUM	INSUL	INSULATED
AV	AWNING VENT WINDOW	LVP	LUXURY VINYL PLANKS
BB	BAMBOO	PAF	PAINT
CB	CASEMENT WINDOW	PIW	PICTURE WINDOW
CC	CONCRETE	RBR	RUBBER
CPT	CARPET	SOW	SOLID WOOD W/ GLAZED PANELS
CV	COVERED VINYL	SCWP	SOLID CORE WOOD
FF	FACTORY FINISH	SWVP	SOLID WOOD W/ WOOD PANELS
FG	FIBERGLASS	SH	SINGLE HUNG WINDOW
FGFP	FIBERGLASS W/ GLAZED PANELS	SKY	SKYLIGHT
GL	GLAZING	SL	HORIZONTAL SLIDER WINDOW
GWB	GYPSPUM WALL BOARD	ST	STEEL
HM	HOLLOW METAL	STL	STAIN
HW	HOPPER WINDOW	SV	STEEL VINYL
HCWD	HOLLOW CORE WOOD	VD	VINYL WOOD



WINDOW TYPES

1/4" = 1'-0"

WINDOW GROUPS

1/4" = 1'-0"

GENERAL WINDOW AND HARDWARE NOTES

- IBC 1015.8 WINDOW OPENINGS, WINDOWS IN GROUP R-2 AND R-3 BUILDINGS INCLUDING DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 34 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - OPERABLE WINDOWS WHERE THE TOP OF THE SILL OF THE OPENING IS LOCATED MORE THAN 75 FEET (22 800 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW AND THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2006.
 - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION.
 - OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2091.
 - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH IBC SECTION 1015.8.1.
- IBC 1015.8.1 WINDOW OPENING CONTROL DEVICES WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F2091. THE WINDOW OPENING CONTROL DEVICE AFTER OPERATOR ACTION TO RELEASE THE CONTROL DEVICES ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1030.2.
- CASEMENT WINDOWS < 1'-0" x 1'-0" AND < 1'-0" SHALL MEET THE REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE PER IBC 1030.
- IBC 2406.4.4 GLAZING IN HAZARDOUS LOCATIONS: THE LOCATIONS SPECIFIED IN IBC 2406.4.1 THROUGH 2406.4.7 SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS.
- WINDOWS IN BATHROOMS SHALL PROVIDED WITH OBSCURE GLASS.
- SEE WINDOW BASIS OF DESIGN FOR ADDITIONAL INFORMATION.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	BASE FINISH	WALLS		CEILING		REMARKS
			MAT.	FIN.	HT.	HT.	
ENTRY	ST/CONC	ND	GWB	PT	GWB	PT	8'-10"
BEDROOM (1)	CPT	RBR	GWB	PT	GWB	PT	8'-10"
BATH (1)	LVP	ND	GWB	PT	GWB	PT	8'-10"
UTILITY	CONC	GWB	PT	GWB	PT	VARIABLES	BELOW STAIRS 8'-10" AT HIGHEST LEVEL
KITCHEN	LVP	ND	GWB	PT	GWB	PT	8'-10"
DINING	LVP	ND	GWB	PT	GWB	PT	8'-10"
BATH (2)	LVP	ND	GWB	PT	GWB	PT	8'-10"
LIVING ROOM	LVP	ND	GWB	PT	GWB	PT	8'-10"
BEDROOM (2)	CPT	RBR	GWB	PT	GWB	PT	8'-11"
BATH (3)	LVP	ND	GWB	PT	GWB	PT	8'-11"
MASTER BEDROOM	CPT	RBR	GWB	PT	GWB	PT	8'-11"
MASTER BATH	LVP	ND	GWB	PT	GWB	PT	8'-11"
HALL	LVP	ND	GWB	PT	GWB	PT	8'-11"
LAUNDRY CLOSET	LVP	RBR	GWB	PT	GWB	PT	8'-11"

ROOM FINISH GENERAL NOTES

- GYPSPUM WALL BOARD (GWB) TO BE SEALED, FINE TEXTURED, AND PAINTED.
- WHEN GYPSPUM IS USED AS A BASE FOR TILE OR WALL PANELS FOR WATER CLOSET COMPARTMENT WALLS, WATER RESISTANT GYPSPUM BACKING BOARD SHALL BE USED PER 2015 IBC 2509.
- INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH THE FRAME SPREAD INDEX, CLASS "C" IN ROOMS, ENCLOSED SPACES, EXIT ACCESS CORRIDORS, AND OTHER EXIT WAYS. PER 2015 IBC 803.1.1 FOR GROUP R-2 OCCUPANCY BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, (UNO).
- INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOD/F4 "FILL TEST" (CPSC 16 CFR PART 1630) OR WITH ASTM D 2895 PER 2015 IBC 804.4.1 (AND 804.4.2 EXCEPTION) FOR GROUP R-2 OCCUPANCY BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, (UNO).
- MAKE CEILINGS AS HIGH AS POSSIBLE (UNO). SEE SELECTED CEILING PLAN FOR ADDITIONAL INFORMATION. SEE INTERIOR FINISH BASIS OF DESIGN, SHEET A8.02, FOR ADDITIONAL INFORMATION.



All work must be performed as per the approved plans; any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 IBC 107.4). Any changes to approved engineered plans must also have written approval from the Engineer of record (2015 IBC 107.3.4).

TOWNHOMES WESTMAN MILL
510 STATE AVE., OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

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REVIEWS FOR CODE CORRECTIONS:

SCHEDULES

A8.01

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City Of Olympia
Rec. 5-20-20

BASIS OF DESIGN: WESTMAN MILL TOWNHOMES

SITE FINISHES

- SITE FINISHES**
PATIOS AND WALKWAYS
- CONCRETE WITH BROOM FINISH (JUNO)
 - BOARDWALK: STAMPED CONCRETE, SLIP RESISTANT

- SCREENING**
- N/A (EXISTING; SEE PERMIT # 18-1531)

- BIKE RACKS**
- N/A (EXISTING; SEE PERMIT # 18-1531)

EXTERIOR BUILDING FINISHES

- ROOFING**
- TPO ROOF MEMBRANE, CLASS C

- SIDING**
- FIBER CEMENT SIDING-1: JAMES HARDIE, 5/16" HARDIE PANEL FIBER CEMENT SIDING (OR EQUAL), SMOOTH, PRIME AND PAINT WITH SHERWIN WILLIAMS COLOR TBD.
 - FIBER CEMENT SIDING-2: ARTISAN, 3/4" REVEL CHANNEL FIBER CEMENT SIDING, 9" EXPOSURE, SMOOTH, PRIME AND PAINT WITH SHERWIN WILLIAMS COLOR TBD.

- BRICK: MUTUAL MATERIALS – FACE BRICK – COLOR: FOREST BLEND, BONY, COAL CREEK
 - SOLID COURSE: MUTUAL MATERIALS – FACE BRICK – COAL CREEK
 - SILL COURSE: MUTUAL MATERIALS – FACE BRICK – COAL CREEK

- CONCRETE LEVEL 5 FINISH; SEAL AS REQUIRED; PAINT WITH ANTI GRAFFITI COATING

TRIM

- WINDOW TRIM:
 - COLOR: MATCH WITH EXPOSED STRUCTURAL METAL
 - SILL: 5/4" x6" CEDAR (HBBT), SLOPE TO DRAIN, PRIME AND PAINT
 - MISCELLANEOUS: EXPOSED METAL, REVEAL TRIM, AND FLASHING; PRIME AND PAINT
- EAVES FASCIA (BEHIND GUTTERS): 5/4" x6" CEDAR; PRIME AND PAINT TO MATCH STRUCTURAL STEEL
- GABLE FASCIA: 1x3 CEDAR RAKE ON 5/4" x8 CEDAR FASCIA; PRIME AND PAINT
- COLOR: MATCH EXPOSED STRUCTURAL METAL
- DOOR FRAME/TRIM: HOLLOW METAL DOOR FRAME AT ENTRY, PRIME AND PAINT
- COLOR: MATCH EXPOSED STRUCTURAL METAL

- WALL SIDING CORNER TRIM: FRY REGLET (OR EQUAL), PRIME AND PAINT TO MATCH EXPOSED STRUCTURAL METAL
 - COLOR: MATCH EXPOSED STRUCTURAL METAL
 - OUTER CORNER: FCP-LFO/SCNCR (AT 3/8" PANEL)
 - OUTER CORNER: FCP-LFO/SCNRLAP (AT 5/8" CHANNEL SIDING)
 - INNER CORNER: FCP-INSDR CWR (AT 3/8" PANEL)
 - INNER CORNER: FCP-WRM757625 (AT 5/8" CHANNEL SIDING)

- WALL SIDING AND WINDOW REVEAL TRIM: FRY REGLET (OR EQUAL), PRIME AND PAINT
 - COLOR: MATCH EXPOSED STRUCTURAL METAL
 - VERTICAL REVEAL: PCS 50-50 (AT 5/16" PANEL); ALIGN W/ WINDOW SIDE REVEAL
 - VERTICAL REVEAL: PCS 75-50 (AT 5/8" CHANNEL SIDING); ALIGN W/ WINDOW SIDE REVEAL
 - WINDOW SIDE REVEAL: FPM 75-50 (VERTICAL AT 5/8" CHANNEL SIDING); ALIGN VERTICAL REVEAL
 - WINDOW SIDE REVEAL: FPM 50-50 (VERTICAL AT 5/16" PANEL); ALIGN VERTICAL REVEAL
 - WINDOW HEAD & SILL: FCP-DRP CAP (AT 5/8" CHANNEL SIDING); ALIGN HORIZONTAL REVEAL
 - HORIZONTAL REVEAL: NOM. 1/2" FCP-DLH/HOT TRIM (AT 5/16" PANEL)
 - HORIZONTAL REVEAL: ... (AT 5/8" CHANNEL SIDING); ALIGN W/ WINDOW REVEAL
- RAIN SCREEN VENT STRIP: FRY REGLET (OR EQUAL), PRIME AND PAINT
 - COLOR: MATCH EXPOSED STRUCTURAL METAL
 - FRY REGLET (OR EQUAL): NOM. 3/4" FCP-V3735 (AT 1x FURRING STRIPS)

- WINDOWS**
- PLY-GEM 1500 SERIES OR APPROVED EQUAL: 7/8" HP2+ INSULATED GLASS, WITH WARM EDGE, ARGON, AND ONE LITE OF LOW-E & ONE INTERIOR SURFACE OF LOW-E VINYL FRAMES. COLOR: BLACK; FACTORY FINISH EXTERIOR: WHITE; FACTORY FINISH INTERIOR:
 - MAXIMUM AVERAGE NFRC RATINGS: U-VALUE OF 0.3, SHGC 0.4, PER WSEC; SEE WINDOW SCHEDULE FOR MORE INFORMATION.
 - PICTURE WINDOWS NFRC RATINGS: U-VALUE OF .26, SHGC VALUE OF .24, VT VALUE OF .47
 - CASEMENT WINDOWS NFRC RATING: U-VALUE OF .26, SHGC VALUE OF .24, VT VALUE OF .47
 - AWNING WINDOWS NFRC RATING: U-VALUE OF .26, SHGC VALUE OF .24, VT VALUE OF .47

- DOORS**
- PLY-GEM MIRA SERIES OR APPROVED EQUAL: ALUMINUM CLAD WOOD; 7/8" HP2+ INSULATED GLASS WITH WARM EDGE; MAXIMUM AVERAGE NFRC RATINGS OF U-VALUE 0.3, SHGC 0.4, PER WSEC; SEE WINDOW SCHEDULE FOR MORE INFORMATION.
 - COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR
 - ENTRY DOOR: INSULING; U-VALUE OF .34, SHGC VALUE OF .21, VT VALUE OF .39
 - PATIO DOOR: FRENCH OUTSWING; U-VALUE OF .3, SHGC VALUE OF .17, VT VALUE OF .31

- SHEET METAL**
- PARAPET COPING CAP, GUTTERS, DOWNSPOUTS, AND SCUPPER/OVERFLOW; FACTORY FINISH TO MATCH EXPOSED STRUCTURAL METAL

- EXPOSED STRUCTURAL METAL**
- PRIME AND PAINT WITH SHERWIN WILLIAMS "BEST BRONZE" SW 6140

- ENTRY CANOPY**
- STEEL CHANNEL FRAME
 - 3/4" DIA. SUSPENSION ROD WITH ADJUSTABLE TURNBUCKLE
 - CORRUGATED METAL CANOPY ROOFING SLOPED TO DRAIN
 - PRIME AND PAINT ALL METAL ELEMENTS TO MATCH WINDOW TRIM

- EXTERIOR GUARD**
- PRIME AND PAINT STEEL MEMBERS TO MATCH WINDOW TRIM.
 - POST: 1/2" x 3" STEEL POST; CUSTOM SHAPE (WELD TO 2" X 1/2" CONNECTION PLATE).
 - 1/2" SQUARE VERTICAL STEEL PICKETS AT 4" OC.
 - TOP RAIL CAP: 2x6 CEDAR; SLOPE TO DRAIN BACK TO BALCONY; STAIN AND SEAL WITH MARINE VARNISH.

- EXTERIOR HANDRAIL**
- HANDRAIL: GALVANIZED METAL 1 1/2" I.D. PIPE; PRIME AND PAINT TO MATCH WINDOW TRIM

- PATIOS**
- CONCRETE WITH BROOM FINISH, 1" (MIN.) THICKNESS; SLOPE TO DRAIN AT 1:48 (MAX.)

INTERIOR FINISHES

- CEILING**
- GWS: LIGHT ORANGE PEEL TEXTURE; PAINT WITH SHERWIN WILLIAMS, COLOR TBD, EGG SHELL SHEEN (JUNO); VERIFY ALL PAINTS WITH TEST SAMPLE BEFORE FINAL PAINTING; COORDINATE W/ OWNER AND DESIGN PROFESSIONAL

- WALLS**
- GWS WALLS: LIGHT ORANGE PEEL TEXTURE; PAINT WITH SHERWIN WILLIAMS, COLOR TBD, EGG SHELL SHEEN (JUNO); VERIFY ALL PAINTS WITH TEST SAMPLE BEFORE FINAL PAINTING; COORDINATE W/ OWNER AND DESIGN PROFESSIONAL

- WALL BASE**
- AT CARPETED AREAS: 4" RUBBER BASE: JOHNSONITE MANDALAY; COLOR TBD
 - AT VINYL FLOORING: 4" PAINT GRADE WOOD TRIM, PAINT: SHERWIN WILLIAMS, COLOR TBD
 - AT TILE FLOORING: 4" TILE BASE TO MATCH 4" X 4" SINGLE BULLNOSE

- DOORS AND HARDWARE**
- TIMELY C1-SERIES PRE-FINISHED STEEL DOOR FRAME W/ 1A-23 TRIM, PRIME AND PAINT TO MATCH W/ WINDOW TRIM
 - AT RATED METAL FRAMES: TIMELY (OR EQUAL) PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL; COLOR TBD
 - SOLID CORE WOOD LEAF: SIMPSON; FLUSH PANEL (VERTICAL GRAIN FR) WITH CLEAR STAIN FINISH; OR EQUAL
 - STEEL DOOR LEAF: PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL
 - METAL FRAMES: TIMELY (OR EQUAL) PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL
 - HARDWARE: ALL SIDE HINGE SWING DOORS TO HAVE 1 1/2" PAIR OF HINGES, STOP, SILENCER, AND LATCH SET WITH LEVER DOOR HANDLE; "ATHENS" OR "SPARTA" LEVER DESIGN (OR EQUAL); 426 "OIL RUBBED BRONZE" FINISH
 - SEE DOOR SCHEDULE NOTES FOR ADDITIONAL INFORMATION

- ELECTRICAL TRIM: WHITE**

- FLOORING**
- AT ALL UNITS: VINYL PLANK: KARNDIEN K-TRADE SERIES, PVP151 "VIVARA"; VERIFY WITH OWNER AND ARCHITECT
 - AT ALL BATHROOMS: 12X24 TILE UNIED TILE – CROSSVILLE; GOTHAM-A-V224 MAINLINE; VERIFY GROUT AND MATCHING CAULK WITH OWNER AND ARCHITECT
 - AT ENTRY: STAINED CONCRETE; VERIFY COLOR WITH OWNER AND ARCHITECT
 - STAIRWAYS: CARPET TILE OR SHEET CARPET; VERIFY WITH OWNER AND ARCHITECT

- FLOOR TRANSITIONS**
- TYPICALLY USE SCHLUTER SYSTEMS EDGING (OR EQUAL) AT FLOOR MATERIAL TRANSITIONS, STAINLESS STEEL OR DARK ANODIZED ALUMINUM

TRIM

- WALL BASE: SEE WALL BASE (ABOVE)
- WINDOWS: GWS WRAP WITH 5/8" WOOD SILL (ROUNDED NOSE) AND 3/4" APRON TRIM; CLEAR
- FACTORY FINISH
- DOOR FRAMES: SEE DOOR, METAL FRAMES (ABOVE)

- WINDOW BLINDS: ROLLER SHADES; LEVOLOR - BLACK-OUT - C-COLOR: WHITE**

- CASEWORK**
- ARTISTOKRAFT, BREILIN, FINISH AND COLOR TBD
 - PULLS: STANDARD WIRE PULLS (PANA CENTER TO CENTER) WITH "OIL RUBBED BRONZE" FINISH (JUNO)
 - HARDWARE: EUROPEAN HINGES, SOFT-CLOSE, (JUNO)

- COUNTERTOP EDGE AND BACKSPLASH: CORIAN QUARTZ**

PLUMBING FIXTURES

- TYPICAL**
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
 - VERIFY THE SELECTION AND INSTALLATION OF ALL FIXTURES WITH OWNER

- KITCHEN SINK AND FAUCET ALL UNITS:**
- SINK: MOEN 2000 SERIES, C202131; (2) EQUAL BOWLS. (1) HOLE (PROVIDE EXTRA HOLES FOR DISH WASHER VENT OR SOAP DISPENSER IF REQUIRED), 33"X22"X8" (WDXH); STAINLESS; EQUAL MAY BE SUBSTITUTED
 - FAUCET: KOHLER MODEL K-10433, FORTÉ, CHROME; EQUAL MAY BE SUBSTITUTED

- BATHROOM**
- LAVATORY: KOHLER: K-2196-1 "PENNINGTON" SELF RIMMING, SINGLE HOLE W/ "WHITE" FINISH; EQUAL MAY BE SUBSTITUTED
 - LAVATORY FAUCET: DELTA; Z2C101, CHROME; EQUAL MAY BE SUBSTITUTED
 - WATER CLOSET: TOTO; C3T248E, "ENTRADA"; 1.28 GPF; MATCH WITH LAVATORY COLOR AND FINISH
 - SHOWER ENCLOSURE: KOHLER; K-13940, SONATA, WHITE
 - BATHUB AND ENCLOSURE: MODEL #100LSC, WHITE

- BATHROOM ACCESSORIES:**
- TOILET TISSUE DISPENSER: CHROME FINISH
 - TOWEL BARS: CHROME FINISH

APPLIANCES AND EQUIPMENT

- TYPICAL**
- SEE INTERIOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION
 - SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EQUIPMENT INFORMATION
 - VERIFY THE SELECTION AND INSTALLATION OF ALL APPLIANCES AND EQUIPMENT WITH OWNER

- KITCHEN**
- DISHWASHER: WHIRLPOOL; MODEL # WDF130FPAH, STAINLESS STEEL
 - REFRIGERATOR: WHIRLPOOL; MODEL # WRT197FD, STAINLESS STEEL
 - RANGE: WHIRLPOOL; MODEL # WFC310, STAINLESS STEEL
 - RANGE HOOD: WHIRLPOOL; MODEL # UXT4130, STAINLESS STEEL

- LAUNDRY**
- WASHING MACHINE: WHIRLPOOL; MODEL # WFW5620HW, WHITE
 - DRYER: WHIRLPOOL; MODEL # WED5620HW, WHITE



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TOWNHOMES
WESTMAN MILL
510 STATE AVE., OLYMPIA, WA 98501

Project No: 1514



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BASIS OF DESIGN

A8.02

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City Of Olympia
Rec. 5-20-20

BUILDING CODE CALCULATIONS AND NOTES

MODEL CODE 2015 IBC
 AND ICC 117-2009
 CITY OF OLYMPIA MUNICIPAL CODE (OMC)

BUILDING INFORMATION

- TYPE OF CONSTRUCTION: VE
- AUTOMATIC SPRINKLER PROTECTION PER IRC 903.3.1.1, NFPA 13
- GROSS BUILDING AREA: 10181 SF

301 OCCUPANCY CLASSIFICATIONS

- 310 RESIDENTIAL, GROUP R-2, APARTMENTS
- 311.3 CONDO AND GROUP R-2, COVERED PARKING (OPEN)

406.5 OPEN FLOORING GARAGES

406.5.2 OPENINGS FOR NATURAL VENTILATION PURPOSES, THE EXTERIOR SIDE OF THE STRUCTURE SHALL HAVE UNIFORMLY DISTRIBUTED OPENINGS ON TWO OR MORE SIDES. THE AREA OF SUCH OPENINGS IN EXTERIOR WALLS ON A FLOOR SHALL NOT BE LESS THAN 20 PERCENT OF THE TOTAL PERIMETER WALL AREA OF EACH FLOOR. THE AGGREGATE LENGTH OF THE OPENINGS CONSIDERED TO BE PROVIDING NATURAL VENTILATION SHALL BE NOT LESS THAN 40 PERCENT OF THE PERIMETER OF THE FLOOR.

420.1 GENERAL OCCUPANCIES IN GROUP R-3 SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 420.1 THROUGH 420.4 AND OTHER APPLICABLE PROVISIONS OF THIS CODE.

- 420.2 WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS AND HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR IN ACCORDANCE WITH SECTION 708.
- 420.5 AUTOMATIC SPRINKLER SYSTEM. GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.6. QUICKEST OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2.
- 420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8, 907.2.9 AND 907.2.10, RESPECTIVELY. SINGLE OR MULTIPLE EXISTING SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.2.11.

501.2 ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION.

- REQUIRED:** ADDRESS IDENTIFICATION SHALL COMPLY WITH 501.2 AND SHALL BE A MINIMUM OF 6 INCHES HIGH PER CITY OF OLYMPIA PERMIT REQUIREMENTS.

504 BUILDING HEIGHT AND NUMBER OF STORES ABOVE GRADE.

REQUIRED:	R-2 = 40'-0"; 3 STORES (MAX)
PROPOSED:	R-2 = 40'-0"; 3 STORES (MAX)
PROPOSED:	S-2 = 11'-0"; 1 STORES

506 BUILDING AREAS WITH AUTOMATIC SPRINKLER PROTECTION PER IRC 903.3.1.2 PER TABLE 506.2. SEE MIXED USE OCCUPANCY FOR FURTHER INFORMATION.

REQUIRED:	R-2 = 40'-0"; 3 STORES (MAX)
PROPOSED:	R-2 = 40'-0"; 3 STORES (MAX)
PROPOSED:	S-2 = 11'-0"; 1 STORES

506.2.3 EQUATION S₂ = A₂ + (A₁ + (N₁ X 1) X S₁)

A₂ = ALLOWABLE AREA (SQUARE FEET)
 A₁ = 2333 SF (R-2); 6750 SF (S-2)
 N₁ = 7000 SF (R-2); 13500 SF (S-2)
 F₁ = SF (SEE 506.3.3 BELOW)
 S₁ = 3 STORES (R-2); 2 STORES (S-2)

506.3 AMOUNT IF AREA INCREASE EQUATION: IF = (F₁ - 0.25)/30

IF = AREA FACTOR INCREASE DUE TO FRONTAGE.
 F = BUILDING PERIMETER FRONTING ON PUBLIC WAY OR OPEN SPACE W/ MIN. OF 20 FT = 230.25'
 P = PERIMETER OF ENTIRE BUILDING (FT) = 95'-0" + 40'-5" + 94'-1" + 40'-0" = 270.67'
 W = WIDTH OF PUBLIC WAY OR OPEN SPACE (FT) IN ACCORDANCE WITH SECTION 506.3.2 = 30'

IF = (230.25/270.67 - 0.25)/30 = 30/30 = 40

101 ALLOWABLE FLOOR AREA ON FIRST FLOOR OF SPRINKLERED BUILDING WITH TYPE VB CONSTRUCTION
 (6839/2073) X 4393 + (1) 4580/2073) X 14580 = **12,085 SF** (+ 3,897 SF OR)

102 ALLOWABLE BUILDING AREA FOR SPRINKLERED TYPE VB = 12,085 + 6,393 + 6,393 = 24,870 SF (+10419 SF OR)

508 MIXED USE AND OCCUPANCY

- 508.4 SEPARATED OCCUPANCIES. PER TABLE 508.4 R-2 AND S-2 OCCUPANCIES REQUIRE A 1 HOUR SEPARATION. MINIMUM ONE HOUR SEPARATION PROVIDED. SEE FLOOR PLAN SHEETS FOR RATED SEPARATION.

402 CONSTRUCTION CLASSIFICATION TYPE VB

- TABLE 602. FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS IN A GROUP R OCCUPANCY BUILDING, WITH FIRE SEPARATION DISTANCE OF LESS THAN 5 FEET SHALL BE 1 HOUR
- SOUTH FACING EXTERIOR SIDE ELEVATION WALLS ARE 5'-0" FROM AN IMAGINARY PROPERTY LINE (MOST RESTRICTIVE), SOUTH FACING EXTERIOR WALLS SHALL HAVE A ONE-HOUR FIRE SEPARATION RATING.

705.8 OPENING IN EXTERIOR WALLS EXTERIOR:

- 705.8.1 ALLOWABLE AREA OF OPENINGS. EXCEPTION 2. BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR ROOF BEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.
- TABLE 705.8. MAXIMUM AREA OF UNPROTECTED EXTERIOR WALL OPENINGS. IN A FULLY SPRINKLERED BUILDING WITH FIRE SEPARATION DISTANCE OF 5'-0" SHALL BE 198 OR LESS
- WALL AREA OF SOUTH FACING SIDE ELEVATIONS = 990.5 SF
- OPENING AREA OF SOUTH FACING SIDE ELEVATIONS = 72.75 SF (MOST RESTRICTIVE)
- 72.75 SF / 990.5 SF = 7.34% (C 187)

708.3 FIRE PARTITIONS, WALLS SEPARATING DWELLING UNITS SHALL BE CONSIDERED FIRE PARTITIONS AND SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR

711 HORIZONTAL ASSEMBLIES

- 711.2.3 SUPPORTING CONSTRUCTION: THE SUPPORTING STRUCTURE OF THE FIRE RATED HORIZONTAL ASSEMBLY SHALL BE RATED.

714.3.1.1 FIRE-RESISTANCE RATED ASSEMBLIES. PENETRATIONS SHALL BE INSTALLED AS TESTED IN AN APPROVED FIRE RESISTANCE RATED ASSEMBLY.

- 714.3.1.2 THROUGH-PENETRATION FIRESTOP SYSTEM. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 149. WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.1 INCH (2.49 IN) OF WATER AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED.

715.3 FIRE TEST CRITERIA. FIRE-RESISTANT JOINT SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF EITHER ASTM E1966 OR UL 2079

718.2.2 CONCEALED WALL SPACES. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

- VERTICALLY AT THE CEILING AND FLOOR LEVELS.
- HORizontally AT INTERVALS NOT EXCEEDING 10 FEET.

WASHINGTON STATE ENERGY CODE NOTES

MODEL CODE 2015 WSEC (SEE MECHANICAL DRAWINGS FOR WSEC COMPLIANT ENERGY CALCULATIONS)

GENERAL PROJECT INFORMATION

NEW CONSTRUCTION: 10 UNIT TOWNHOME BUILDINGS WITH 1381 SF (AT LARGEST UNIT)

APPLICABLE OCCUPANCY: R2 MULTIFAMILY, TOWNHOMES, I-3 STORES

BUILDING ENVELOPE COMPLIANCE

NEW BUILDING ENVELOPE
 HEATED 8332 SF R2 OCCUPANCY
 UNHEATED 2087 SF S2 OCCUPANCY

SCOPE OF MECHANICAL WORK: ELECTRIC WALL HEATERS AND EXHAUST VENTING AT UNITS

LOCATION OF DUCTWORK OR MECHANICAL EQUIPMENT: ATTICS, WALLS, CEILING SPACES

COMPLIANCE PATH: PER TABLE R602.1.1 (ZONE 4C), ADJUSTED PER TABLE 406.2.3b & 5b
 SMALL DWELLING UNITS LESS THAN 1500 SQUARE FEET IN CONDITIONED FLOOR AREA WITH LESS THAN 300 SQUARE FEET OF PENETRATION AREA); ... 1.5

CREDITS

HOUSE VENTILATION: PROVIDE WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE.

HEATING: FHP UNITS ON EACH FLOOR WITH THERMOSTAT CONTROLLED VENTILATION OF CONDITIONED AIR FROM HEATED SPACES. HIGH EFFICIENCY AIR-SOURCE HEAT PUMPS SHALL HAVE A MINIMUM HPF OF 9.0 (PER WSEC, TABLE 406.2.3b).

THERMOSTAT: PROGRAMMABLE PER R403.1.1

INSULATION & AREA:

CEILING:	R-49	3342 SF (TOTAL PER BUILDING)
WALL:	R-21 BATT	8137 SF (TOTAL PER BUILDING)
FLOOR:	R-21	1810 SF (TOTAL PER BUILDING)
SLAB:	R-10 (ENTIRE SLAB)	1810 SF (TOTAL PER BUILDING)
HOT WATER PIPE:	R-4	
ELEC. W/IR. TRCS:	R-10	
DUCTS:	R-8	

FENESTRATION:

U-VALUE:	38 (MAX. AVERAGE)	SF (WINDOWS)
SHGC:	NA	63 SF (DOORS)

WINDOWS:

INSULATED GLASS WITH VINYL FRAMES. VERIFY WITH BIDDER DESIGN WHOLE-HOUSE VENTILATION SYSTEM TO CONFIRM WINDOWS THAT REQUIRE VENTED FRAMES. SEE BASIS OF DESIGN FOR U-VALUE FOR EACH WINDOW TYPE.

DOORS:

ALUMINUM CLAD WINDOW WITH INSULATED GLASS. SEE BASIS OF DESIGN FOR U-VALUE FOR EACH WINDOW TYPE.

FLOOR HEATER: ELECTRIC WALL HEATER (50 GAL)

KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS. ALL LAVATORY FAUCETS SHALL BE RATED PER GPM-RATES SHALL BE TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA 125.1 (PER WSEC, TABLE 406.2.5a)

LIGHTING: A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER R404.1.

VAPOR BARRIER & MIL VIBRODENT: SEALING CALK WITH SEALANT AROUND DOORS, WINDOWS, MATERIAL INTERSECTION GAPS.

AIRLEAKAGE SEAL ALL PENETRATIONS FOR WINDOWS, PLUMBING, WIRING, AND DUCTS ETC. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED AND TESTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. PER 402.4.1.2, THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALES), WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

EXHAUST FANS: 50 CFM IN BATHROOMS, LAUNDRIES, OR SIMILAR ROOMS AND 100 CFM FOR KITCHENS PER SEC. M1507.4, TABLE M1507.4

NOTES:

- NEW CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF THE 2015 EDITION OF THE WASHINGTON STATE ENERGY CODE (WSEC).
- IF CIRCULATING HOT WATER SYSTEMS ARE PROVIDED, AN AUTOMATIC OR READY ACCESSIBLE MANUAL SWITCH SHALL BE INSTALLED TO TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
- THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

1020 EMERGENCY ESCAPE AND RESCUE

- 1020.2 MINIMUM SIZE AND RESCUE ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. OPENINGS AT GRADE SHALL BE ALLOWED TO HAVE A MINIMUM OPENING OF 5 SQUARE FEET.
- 1020.2.1 MINIMUM DIMENSIONS: THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES; THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
- 1020.3 MAXIMUM HEIGHT FROM FLOOR, EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (118 mm) MEASURED FROM THE FLOOR.

1107 ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS

- 1107.4.2.1.1 TYPE A UNITS IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 10 DWELLING UNITS OR SLEEPING UNITS, AT LEAST 5 PERCENT, BUT NOT LESS THAN ONE, OF THE UNITS SHALL BE TYPE A UNIT. ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE A UNITS.
- ALL DEVELOPMENT TYPE A ACCESSIBLE UNITS SHALL BE PROVIDED IN THE MAIN BUILDING (PHASE D) REQUIRED: PHASE I + PHASE II (UNIT COUNT) X .65 = 175 UNITS X 12 UNITS X .65 = REQUIRED: 4 PROVIDED: TYPE A ACCESSIBLE UNITS IN PHASE I + PHASE II = 4 (UNITS X 4 UNITS) PROVIDED: 4**
- 1107.7 GENERAL EXCEPTIONS, WHERE SPECIFICALLY PERMITTED BY SECTION 1107.5 OR 1107.6, THE REQUIRED NUMBER OF TYPE A UNITS AND TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTIONS 1107.7.1 THROUGH 1107.7.5.
- 1107.7.1 STRUCTURES WITHOUT ELEVATOR SERVICE, WHERE NO ELEVATOR SERVICE IS PROVIDED IN A STRUCTURE, ONLY THE DWELLING UNITS AND SLEEPING UNITS THAT ARE LOCATED ON STORES INDICATED IN SECTIONS 1107.7.1.1 AND 1107.7.1.2 ARE REQUIRED TO BE TYPE A UNITS AND TYPE B UNITS, RESPECTIVELY. THE NUMBER OF TYPE A UNITS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 1107.4.2.1.1.
- THE OPPORTUNITY FOR ACCESSIBLE TOWNHOME DWELLINGS. PER SECTIONS 1107.7.1.1 AND 1107.7.1.2, ARE NOT PROVIDED DUE TO THE FOLLOWING:
 - THREE STORY TOWNHOMES ARE DESIGNED WITHOUT AN ELEVATOR
 - BEDROOMS AND LIVING SPACES ARE ON SEPARATE LEVELS
 - LIVING SPACES ARE LOCATED ONLY ON THE SECOND STORY.

1612.5.1 ASCE 24 SEA LEVEL RISE:

1612.5.1.1 THE ELEVATION OF THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER AS REQUIRED BY THE LOWEST FLOOR ELEVATION INSPECTION IN SECTION 110.3.3 AND FOR THE FINAL INSPECTION IN SECTION 110.3.3.1.1.

OMC 16.80.030 GENERAL PROVISIONS

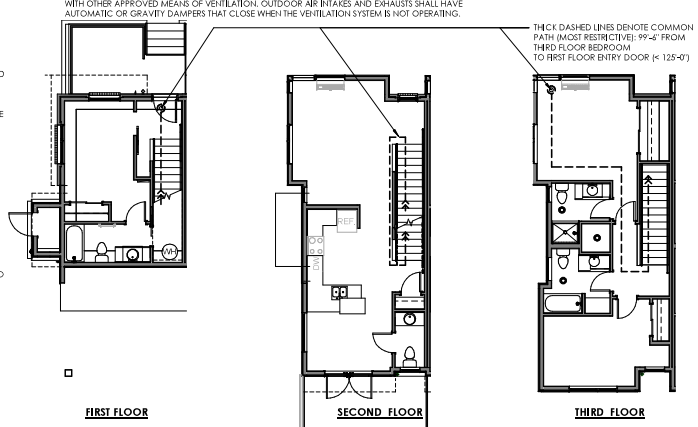
- LANDS TO WHICH THIS ORDINANCE APPLIES. THIS ORDINANCE SHALL APPLY TO ALL AREAS BELOW 16 FEET NORTH AVENUE (RETIRED DATUM INVADED) AS DESIGNATED SEA LEVEL RISE FLOOD DAMAGE AREAS IDENTIFIED BY THE CITY OF OLYMPIA PUBLISHED MAP.
- BASED FOR ESTABLISHING AREAS OF SEA LEVEL RISE FLOOD DAMAGE. THE AREAS OF SEA LEVEL RISE FLOOD DAMAGE IDENTIFIED BY THE CITY OF OLYMPIA IN A SCIENTIFIC AND ENGINEERING MAP TITLED "MAP FOR CITY OF OLYMPIA, WASHINGTON" EXHIBIT A IS HEREBY ADOPTED BY REFERENCE AND DECLARED TO BE A PART OF THIS ORDINANCE. THE SEA LEVEL RISE FLOOD DAMAGE AREA MAP IS ON FILE AT THE CITY OF OLYMPIA. THE BEST AVAILABLE INFORMATION FOR SEA LEVEL RISE FLOOD DAMAGE AREA IDENTIFICATION AS OUTLINED SHALL BE THE BASIS FOR REGULATION UNTIL A NEW SEA LEVEL RISE STUDY IS ISSUED THAT SUPPLANTEES DATA UTILIZED BY THE CITY OF OLYMPIA.
- OMC 16.80.050.2.a.** ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS SHALL BE CONSTRUCTED WITH MATERIALS AND UTILITY EQUIPMENT PROTECTED TO A LEVEL OF 16 FEET OR GREATER TO RESIST FLOOD DAMAGE.
 - REQUIRED:** FIRST FLOOR LEVEL OF BUILDING SHALL BE ABOVE THE FLOOD ELEVATION OF 16'-0" PER 1612.5.1.1.
 - REQUIRED:** SPRINKLER ROOM ELECTRICAL SERVICE AND ELECTRICAL EQUIPMENT SHALL BE PLACED ABOVE THE FLOOD ELEVATION OF 16'-0" PER OMC

2902.1 NUMBER OF PLUMBING FIXTURES FOR TYPE R2 OCCUPANCY PER IRC (MCA) CHAPTER 29, TABLE 2902.1

REQUIRED:	(1) WATER CLOSET, (1) LAVATORY, (1) BATHSHOWER, (1) KITCHEN SINK, (1) AUTOMATIC WASHER CONNECTION
PROVIDED:	(4) WATER CLOSET, (1) LAVATORY, (2) BATHSHOWER, (1) KITCHEN SINK, (1) AUTOMATIC WASHER CONNECTION

NOTES:

- EXTERIOR WALKING SURFACES SHALL BE STABLE, FIRM, SLIP RESISTANT, AND DRAIN-HAVE A RUN SLOPE NO GREATER THAN 1:50 AND A CROSS SLOPE NO GREATER THAN 1:48.



TYPICAL UNIT EGRESS PLAN
 1/8" = 1'-0"



All work must be performed as per the approved plans; any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 IBC 107.4). Any changes to approved engineered plans must also have written approval from the Engineer of record (2015 IBC 107.3.4).

TOWNHOMES WESTMAN MILL
 510 STATE AVE., OLYMPIA, WA 98501

Full engineered stamped signed truss drawings shall be provided at framing inspection.

Project No: 1514
CD SET
 04/17/2020

Bulking Plans Examined - CP#D
 380.753.6280 - Office
 greg@thomas.com - email
 08/09/2020 9:47:04 AM
 REVISED PER CODE COMPLIANCE

CODE REVIEW.

A0.02

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 City Of Olympia
 Rec. 5-20-20



VICINITY MAP
510 STATE AVE NE, OLYMPIA, WA 98501 PARCEL # 6613000403

GENERAL SITE NOTES
1. PARKING DESIGN MEETS REQUIREMENTS FOR DOWNTOWN STRUCTURED PARKING DIMENSIONS PER OMC 18.38.220.

SITE INFORMATION

EXISTING SITE:	47,017 SF
SITE AREA=	47,017 SF
EXISTING PARCEL AREA=	47,017 SF
EXISTING LANDSCAPE (PERVIOUS)=	0%
EXISTING IMPERVIOUS COVERAGE	
NEW:	
BUILDING FOOTPRINT =	15,928 SF
TRASH ENCLOSURE FOOTPRINT =	978 SF
PAVED PARKING AREA (IMPERVIOUS) =	30,262 SF
HARDSCAPE =	11,185 SF
TOTAL IMPERVIOUS	58,615 SF
NEW LANDSCAPE AREA (PERVIOUS) =	8,402 SF
TOTAL PERVIOUS =	8,402 SF

UNIT COUNT SUMMARY

MAIN BUILDING (SOUTH)	74 UNITS
TOWNHOME (EAST)	6 UNITS
TOWNHOME (WEST)	6 UNITS
TOTAL UNITS	86 UNITS

RETAIL AND COMMERCIAL COUNT SUMMARY

SPACE A	1,954 SF
SPACE B	1,133 SF
SPACE C	937 SF
SPACE D	1,205 SF
SPACE E	1,150 SF
SPACE F	2,116 SF
TOTAL SF FOR RETAIL AND COMMERCIAL	8,497 SF

PARKING SUMMARY

OFF-STREET PARKING (EXISTING) =	0 SPACES
OFF-STREET PARKING (NEW) =	69 SPACES
OFF-STREET PARKING TOTAL =	69 SPACES
26 COVERED SPACES	
43 UNCOVERED SPACES	

30% OF ALL SPACES CAN BE COMPACT = 20 COMPACT SPACES PROVIDED (NOTED W/ 'C') 30% x 69 = 21 SPACES

OMC 18.38.040 PARKING & LOADING REGULATIONS
RETAIL PARKING REQUIREMENT TABLE 38.01
RETAIL: 3.5 SPACES PER 1,000 SF
8,500 SF x 3.5 = 29.75 x 3.5 = 29.75 (30) STALLS REQUIRED FOR RETAIL.

LONG TERM BI-CYCLE STORAGE REQUIREMENTS
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/6,000 SF)
MAIN BUILDING (54 RESIDENTIAL UNITS @ 1/1,000)
MAIN BUILDING (20 RESIDENTIAL STUDIO @ 0/UNITS)
RESIDENTIAL TOWNHOME (EAST)
RESIDENTIAL TOWNHOME (WEST)
LONG TERM BI-CYCLE TOTAL REQUIRED = 56 SPACES
LONG TERM BI-CYCLE PROVIDED (NEW AT MAIN BUILDING) = 56 SPACES

SHORT TERM BI-CYCLE STORAGE REQUIREMENTS
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)
MAIN BUILDING (74 RESIDENTIAL UNITS @ 1/1,000)
RESIDENTIAL TOWNHOME (EAST)
RESIDENTIAL TOWNHOME (WEST)
SHORT TERM BI-CYCLE PARKING REQUIRED = 17 SPACES
SHORT TERM BI-CYCLE PARKING EXISTING = 0 SPACES
SHORT TERM BI-CYCLE PARKING PROVIDED = 18 SPACES

BUILDING AREA	LANDSCAPE AREA
HARDSCAPE	PAVEMENT
BOARDWALK	



2 SITE PLAN
1/16" = 1'-0"
Scale bar and north arrow.

CITY OF OLYMPIA
COMMUNITY PLANNING & DEVELOPMENT
APPROVED Site Plan
Catherine K. McCoy
City Engineer
The work was performed as per the terms of the contract. Any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 BC 107.4). Any changes to approved engineering plans must also have written approval from the Engineer of record (2015 BC 107.3.4).

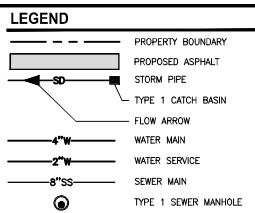
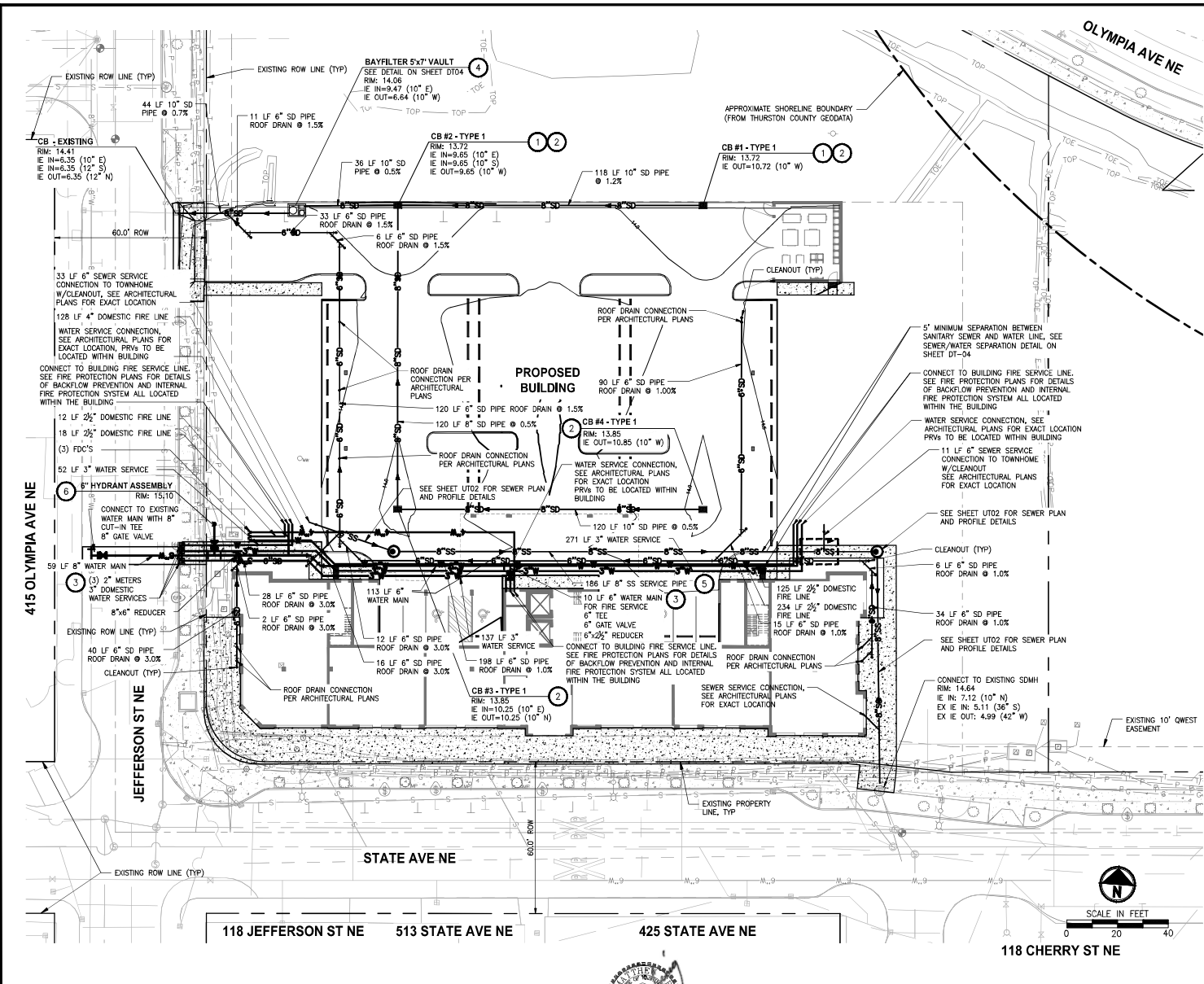
**EAST BAY LOT A
WESTMAN MILL**
510 STATE AVE. OLYMPIA, WA. 98501

Project No: 1514
Building Plans Examiner - CP&D
360.753.6280 - Office
ap@tas.com | c@tas.com - email
08/09/2020 8:47:04 AM
REVISED FOR CODE CORRECTIONS

SITE PLAN - PROJECT

A1.01
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City Of Olympia
Rec. 5-20-20

DATE: 12/15/2017
 DRAWN BY: S. CRAIG
 CHECKED BY: S. CRAIG
 DESIGNED BY: S. NIELSON
 PROJECT NO: PS07369002-UT
 DATE: DECEMBER 2017
 SCALE: 1" = 30'



- ### CONSTRUCTION NOTES
1. INSTALL CATCH BASIN ADJACENT TO TRAFFIC CURB PER CITY OF OLYMPIA DETAIL 5-6 ON SHEET DT-03.
 2. TYPE 1 CATCH BASIN, SEE WSDOT STD. PLAN B-520-01 ON SHEET DT-04.
 3. MAKE SERVICE CONNECTION TO EXISTING WATER MAIN PER CITY OF OLYMPIA DETAIL 6-3 ON SHEET DT-03. WATER METERS TO HAVE NON-SLIP LIDS.
 4. INSTALL 4'x6' BAYSAYER BAYFILTER, SEE DETAIL ON SHEET DT-04.
 5. INSTALL SEWER SERVICE PER CITY OF OLYMPIA STD. DETAIL 7-19 ON SHEET DT-02.
 6. INSTALL 6" FIRE HYDRANT ASSEMBLY PER CITY OF OLYMPIA STD. DETAIL 6-8 ON SHEET DT-03.
 7. INSTALL TYPE 1 MANHOLE PER CITY OF OLYMPIA DETAIL 7-1 ON SHEET DT04.

- ### GENERAL NOTES
1. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THIS WORK.
 2. CATCH BASINS ARE CALLED OUT TO CENTER OF STRUCTURE.
 3. PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
 4. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND GRADES.
 5. SEE SHEET DT-01 FOR TRENCH RESTORATION DETAIL.
 6. SYMBOLS ARE NOT TRUE SIZE.
 7. MAINTAIN 3' MIN COVER OVER WATER MAIN FROM FINISHED GRADE UNLESS OTHERWISE NOTED.
 8. A MINIMUM 6-INCH SAND CUSHION IS REQUIRED FOR ANY UTILITY LINE WITHIN 6-INCHES OF ANOTHER UTILITY LINE AT CROSSING.
 9. PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
 10. THE CONTRACTOR SHALL BE AWARE THAT WATER MAIN DEFLECTION MAY BE REQUIRED TO AVOID PROPOSED AND EXISTING UTILITIES. DEFLECTIONS SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT CREATE ADDITIONAL HIGH OR LOW POINTS IN THE MAIN. THE CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTH, LOCATION, AND SHALL CALCULATE WATER DEFLECTIONS ACCORDINGLY.
 11. POT HOLE AND VERIFY EXACT LOCATIONS OF UTILITIES PRIOR TO INSTALLATION OF UTILITIES.
 12. ALL WATER METER BOXES AND LIDS LOCATED WITHIN DRIVABLE SURFACES SHALL BE TRAFFIC WITH STEEL LIDS PER CITY OF OLYMPIA.
 13. CONTRACTOR TO USE VERTICAL AND HORIZONTAL BENDS AS NEEDED.
 14. THRUST BLOCKING SHALL BE INSTALLED AT ALL TEES AND BENDS PER CITY OF OLYMPIA STANDARD DETAIL.
 15. VERTICAL BENDS SHALL BE RESTRAINED AND BLOCKED PER CITY OF OLYMPIA STANDARD DETAIL.
 16. ALL CONSTRUCTION MUST COMPLY WITH THE WSDOT STANDARD SPECIFICATION (LATEST EDITION) UNLESS OTHERWISE SUPERSEDED BY CITY STANDARDS.
 17. INSTALL STANDARD GRATE AND FRAME PER CITY OF OLYMPIA DETAIL 5-5 ON SHEET DT-03.
 18. AT CONNECTION TO EXISTING SYSTEM, ALL NEW SEWER CONNECTIONS WILL BE PHYSICALLY PLUGGED UNTIL ALL TESTS HAVE BEEN COMPLETED AND THE CITY APPROVES THE REMOVAL OF THE PLUG. CONNECTION OF A PIPELINE TO A SYSTEM WHERE A MANHOLE IS NOT AVAILABLE WILL BE ACCOMPLISHED BY POURING A CONCRETE BASE AND SETTING MANHOLE SECTIONS. THE EXISTING PIPE WILL NOT BE CUT INTO UNTIL APPROVAL IS RECEIVED FROM THE CITY.

DATUM

HORIZONTAL - WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.

VERTICAL - NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELEV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

**PERMIT SET
NOT FOR CONSTRUCTION**



REVISIONS	DATE	BY	DESIGNED
			S. NIELSON
			S. CRAIG
			CHECKED
			APPROVED

ONE INCH AT FULL SCALE,
IF NOT SCALE ACCORDINGLY

FILE NAME:
PS07369002-UT

DATE:
2/7-7369-002

DATE:
DECEMBER 2017



Parametrix
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PROJECT NAME:
**EAST BAY LOT A
WESTMAN MILL**
OLYMPIA, WASHINGTON

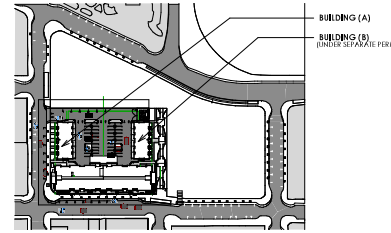
UTILITY PLAN

DRAWING NO.
07 OF 16

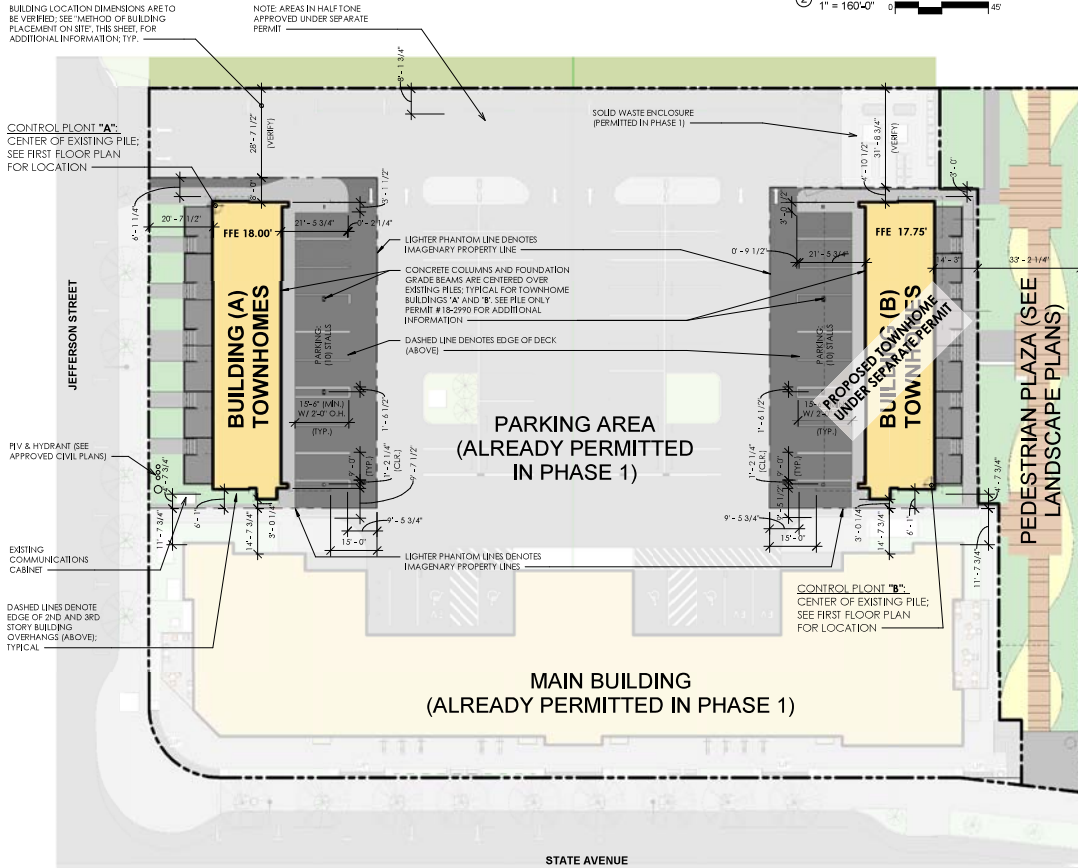
UT-01

METHOD OF BUILDING PLACEMENT ON SITE

- GOAL: IDENTIFY CONTROL POINTS FOR TOWNHOME BUILDINGS (A) & (B) AND ESTABLISH A METHOD TO LOCATE AND LAYOUT THE BUILDING ON THE PROPERTY.
- FOUNDATION GRADE BEAMS, CONCRETE COLUMNS, GRID LINES, BUILDING FOOTPRINT AND ORIENTATION ARE ESTABLISHED BY THE LOCATION OF EXISTING STRUCTURAL FILES. SEE APPROVED FILE ONLY PERMIT # 18-2990 AND PLANS (8/16/2018) FOR ADDITIONAL INFORMATION.
- FOUNDATION GRADE BEAMS AND COLUMNS ARE CENTERED OVER EXISTING FILES.
- CONTROL POINT "A" IS ESTABLISHED AT THE INTERSECTION OF GRID "I" AND GRID "G" AT THE EXTERIOR NORTHWEST CORNER OF BUILDING "A". SEE SITE PLAN AND BUILDING PLANS FOR CONTROL POINT LOCATIONS.
- CONTROL POINT "B" IS ESTABLISHED AT THE INTERSECTION OF GRID "I" AND GRID "G" AT THE EXTERIOR SOUTH EAST CORNER OF BUILDING "B". SEE SITE PLAN AND BUILDING PLANS FOR CONTROL POINT LOCATIONS.



② SITE - CONTEXT
1" = 160'-0"



① SITE PLAN PHASE II
1" = 20'-0"

GENERAL NOTES:
SEE PRIOR APPROVED PERMIT # 18-0411 FOR APPROVED SITE/CIVIL INFORMATION
SEE PRIOR APPROVED PERMIT # 18-1531 FOR APPROVED FOUNDATION PERMIT (MAIN BUILDING AND TOWNHOMES)
SEE PRIOR APPROVED PERMIT # 18-2072 FOR APPROVED BUILDING PERMIT (MAIN BUILDING)

PHASE II TOWNHOME APPLICABLE SITE INFORMATION:

UNIT COUNT SUMMARY:
TOWNHOME WEST - (BUILDING A) = 4 UNITS
TOWNHOME EAST - (BUILDING B) = 6 UNITS
TOTAL UNITS PHASE II = 12 UNITS

PARKING SUMMARY:
2 PARKING SPACE PER UNIT X 12 UNITS = 24 STALLS
NOTE: 48 STALLS AVAILABLE
MINIMUM LONG TERM BICYCLE PARKING REQUIREMENTS = NONE
MINIMUM SHORT TERM BICYCLE PARKING REQUIREMENTS = NONE

NOTE: SEE INFORMATION FROM PHASE I APPROVED SITE PLAN FOR ADDITIONAL INFORMATION

SITE INFORMATION FROM PHASE I APPROVED SITE PLAN

EXISTING SITE PER PERMIT #18-2072:
SITE AREA = 64,581 SF
EXISTING PARCEL AREA = 64,581 SF
EXISTING LANDSCAPE (PERVIOUS) = 64,581 SF
EXISTING IMPERVIOUS COVERAGE = 0%

NEW:
BUILDING FOOTPRINT = 18,068 SF
TRAIN ENCLOSURE FOOTPRINT = 932 SF
PAVED PARKING AREA (IMPERVIOUS) = 28,788 SF
HARDSCAPE = 10,938 SF
TOTAL IMPERVIOUS = 68,774 SF
NEW LANDSCAPE AREA (PERVIOUS) = 7,805 SF
TOTAL PERVIOUS = 7,805 SF

UNIT COUNT SUMMARY
MAIN BUILDING (EXISTING) = 75 UNITS
TOWNHOME WEST - (BUILDING A) = 6 UNITS
TOWNHOME EAST - (BUILDING B) = 6 UNITS
TOTAL UNITS = 87 UNITS

RETAIL AND COMMERCIAL SUMMARY
TOTAL SF FOR RETAIL AND COMMERCIAL (EXISTING) = 8,497 SF

PARKING SUMMARY
OFF-STREET PARKING (EXISTING) = 0 SPACES
OFF-STREET PARKING (NEW) = 49 SPACES
OFF-STREET PARKING TOTAL = 49 SPACES
24 COVERED SPACES
43 UNCOVERED SPACES

RESIDENTIAL OFF STREET PARKING (54) = (3) ACCESSIBLE STALLS PER IBC 1106.1 (1) DESIGNATED AS VAN ACCESSIBLE
COMMERCIAL OFF STREET PARKING (13) = (1) ACCESSIBLE STALLS PER IBC 1106.1 (1) DESIGNATED AS VAN ACCESSIBLE
TOTAL ADA ACCESSIBLE PARKING = (4) ACCESSIBLE STALLS
30% OF ALL SPACES CAN BE COMPACT = 30% x 49 = 21 SPACES
12 COMPACT SPACES PROVIDED (NOTED W/ "C")

CMC 18.38.040 PARKING & LOADING REGULATIONS
RETAIL PARKING REQUIREMENT TABLE 38.01
RETAIL: 3.5 SPACES PER 1,000 SF
8,497 SF / 1,000 SF = 8.5 X 3.5 = 29.75 = (30) STALLS REQUIRED FOR RETAIL

J ON STREET CREDIT (1) STALL PER 20 LF OF CURB
20 LF OF CURB ON STATE + 140 LF OF CURB ON JEFFERSON = (17) ON STREET STALLS FOR RETAIL PARKING
(5) PARALLEL PARKING STALLS ALONG ACCESS DRIVE DEDICATED TO RETAIL
(8) PERPENDICULAR STALLS DEDICATED TO RETAIL PARKING
TOTAL RETAIL PARKING REQUIRED: 30
TOTAL RETAIL PARKING PROVIDED: 30

LONG TERM BICYCLE STORAGE REQUIREMENTS
MAIN BUILDING (9,564 SF RETAIL / COMMERCIAL @ 1/6,000 SF) = 2 SPACES
MAIN BUILDING (54 RESIDENTIAL UNITS @ 1/1,000 SF) = 54 SPACES
MAIN BUILDING (20 RESIDENTIAL STUDIO @ 0/UNITS) = 0 SPACES
RESIDENTIAL TOWNHOME (EAST) = 0 SPACES
RESIDENTIAL TOWNHOME (WEST) = 0 SPACES
LONG TERM BICYCLE TOTAL REQUIRED = 56 SPACES
LONG TERM BICYCLE PROVIDED (EXIST AT MAIN BUILDING) = 56 SPACES

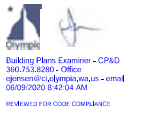
SHORT TERM BICYCLE STORAGE REQUIREMENTS
MAIN BUILDING: 8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF (EXISTING) = 9 SPACES
MAIN BUILDING: 75 RESIDENTIAL UNITS @ 1/1,000 SF (EXISTING) = 8 SPACES
RESIDENTIAL TOWNHOME (EAST) = 0 SPACES
RESIDENTIAL TOWNHOME (WEST) = 0 SPACES
SHORT TERM BICYCLE PARKING REQUIRED = 17 SPACES
SHORT TERM BICYCLE PARKING (EXISTING) = 18 SPACES



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TOWNHOMES
WESTMAN MILL
510 STATE AVE., NE, OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020



SITE PLAN

A1.01

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TOWNHOMES WESTMAN MILL
 510 STATE AVE., OLYMPIA, WA 98501

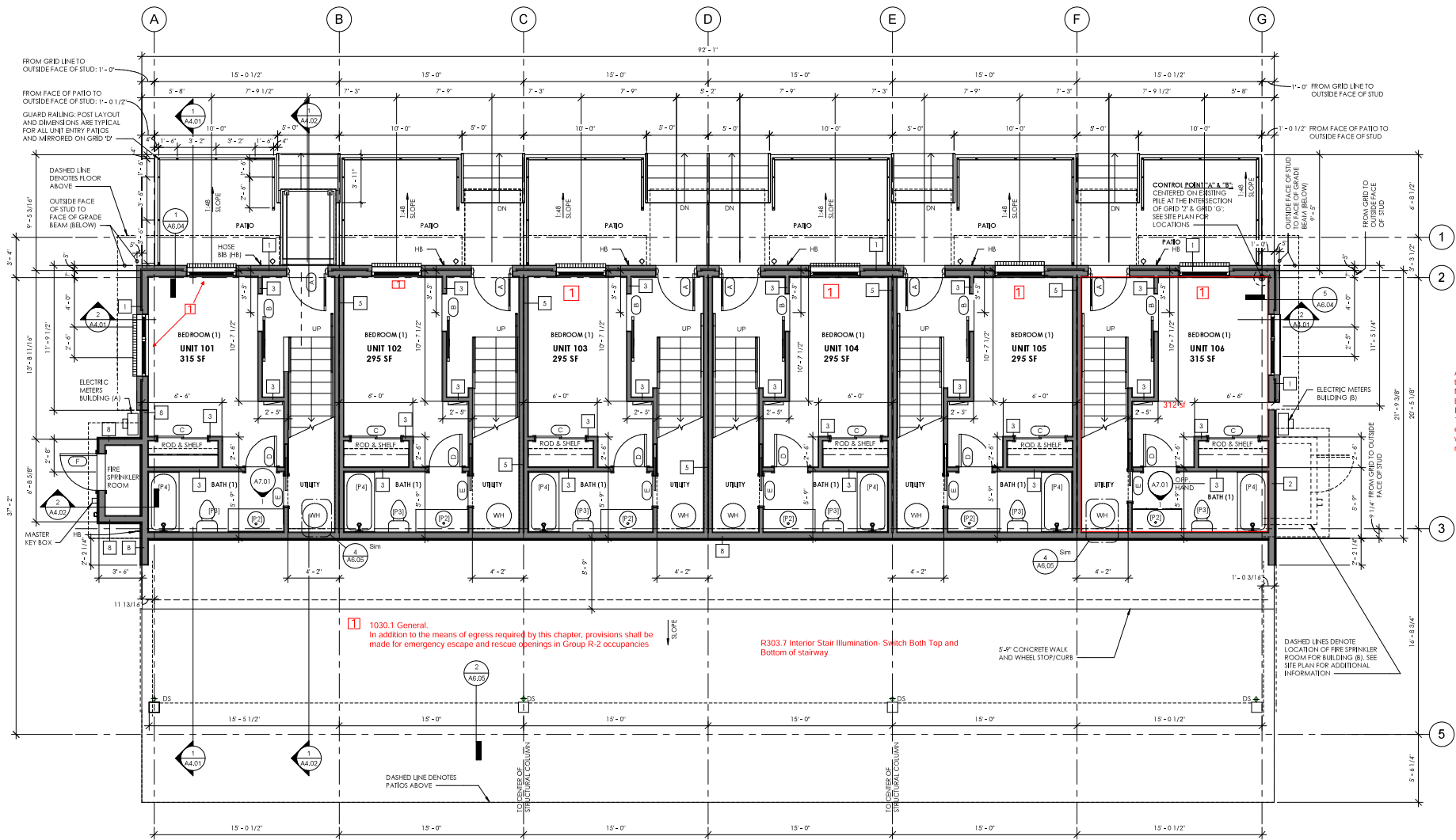
Project No: 1514
CD SET
 04/17/2020

Olympia
 Building Plans Examiner - CP4D
 360.753.6280 - Office
 rjennings@olympiawa.gov - email
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FIRST FLOOR PLAN

A2.01

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LEVEL 1
 1/4" = 1'-0"



FLOOR PLAN LEGEND

- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.6.01
- DOOR CALL OUT, SEE SCHEDULE ON SHEET A.8.01
- WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.8.01
- WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL.
- HOSE BIB (HB)
- DOWNSPOUT
- DRAINAGE AREA; SEE CALCULATIONS SHEET A2.04
- ELECTRIC PANEL PER ELECTRICAL

APPLIANCE LEGEND

- A1 DISHWASHER: WHIRLPOOL; MODEL# WDF136PAH, STAINLESS STEEL
- A2 REFRIGERATOR: WHIRLPOOL; WRT138FTD, STAINLESS STEEL
- A3 RANGE, RANGE HOOD: WHIRLPOOL; HOOD- UXT4130 AND RANGE- WPC310; STAINLESS STEEL
- A4 WASHING MACHINE: WHIRLPOOL; WFW5420HW, WHITE
- A5 DRYER: WHIRLPOOL; WED5620HW, WHITE

PLUMBING LEGEND

- P1 KITCHEN SINK & FAUCET: STAINLESS STEEL, MODEL# PFF922
- P2 BATHROOM LAVATORY & FAUCET: KOHLER, K-2196-1, WHITE; DELTA; 22C10, CHROME
- P3 WATER CLOSET: WHITE TOILET CST345E, WHITE
- P4 BATHROOM BATHUB, WHITE, MODEL# 100LSC
- P5 SHOWER ENCLOSURE: KOHLER, K-1690-0, SONATA, WHITE

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE PILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION.
2. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
4. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES, SEE SHEET A8.01 FOR WINDOW SCHEDULE
5. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION
6. UNIT DIMENSION WALLS ALIGN WITH GRIDS B - F
7. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION

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TOWNHOMES WESTMAN MILL
 510 STATE AVE. OLYMPIA, WA 98501

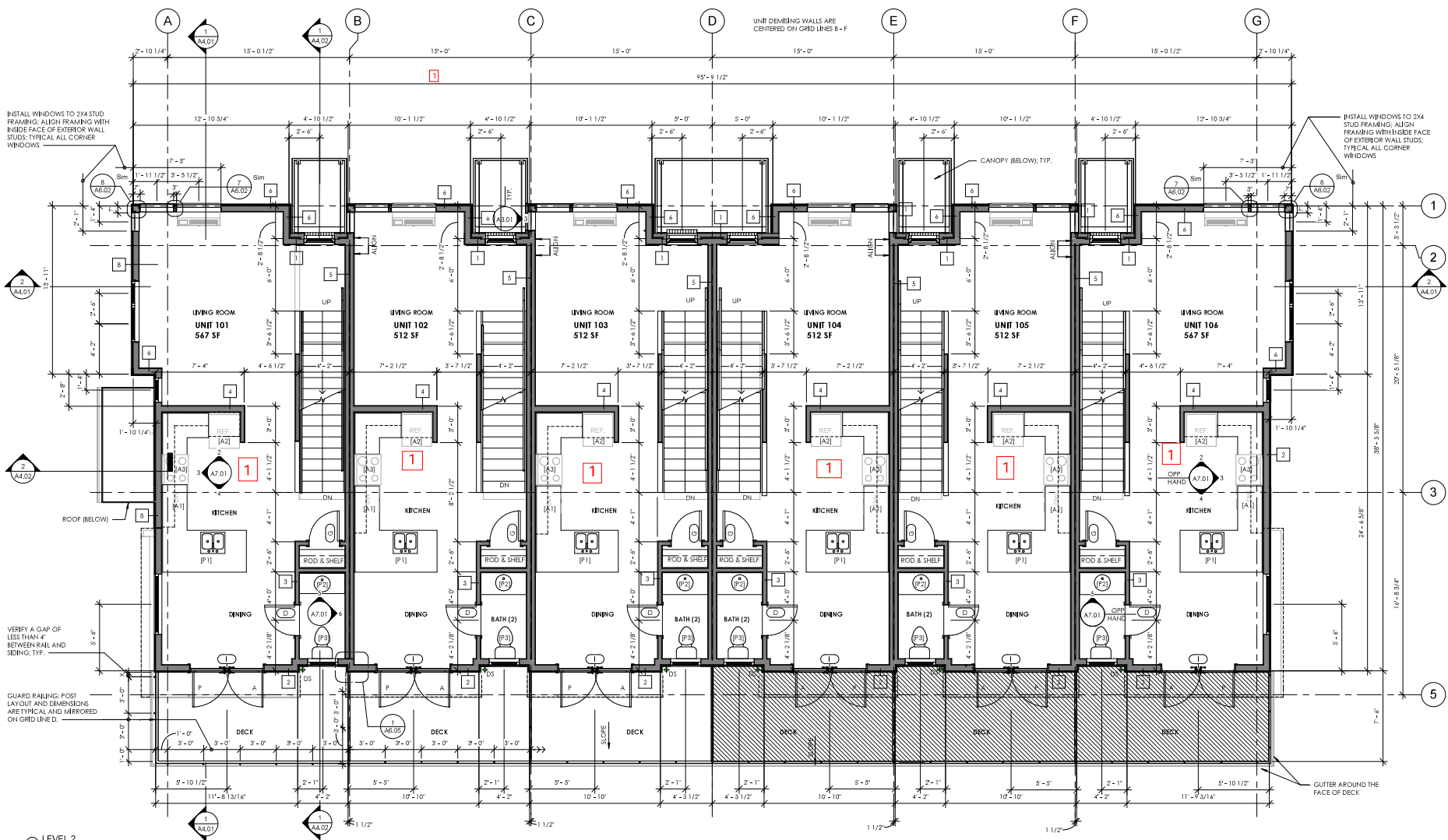
Project No: 1514
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spencer@olympiawa.gov - email
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 REVIEWS FOR CODE CORRECTIONS

SECOND FLOOR PLAN

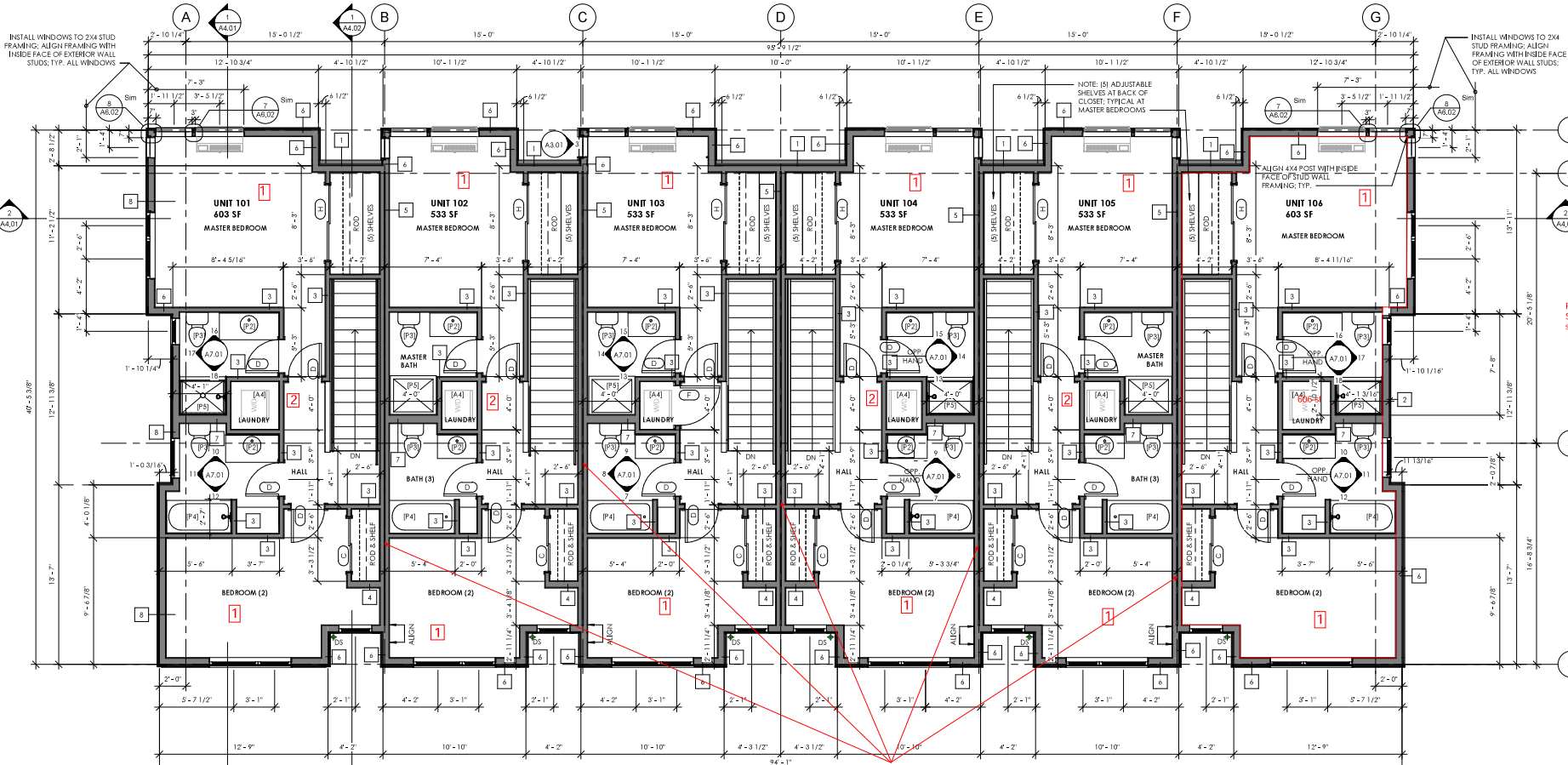
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- 1 LEVEL 2**
 1/4" = 1'-0"
- FLOOR PLAN LEGEND**
- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
 - DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
 - WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.601
 - DOOR CALL OUT, SEE SCHEDULE ON SHEET A.601
 - WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.601
 - WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL.
 - HOSE BIB (HB)
- APPLIANCE LEGEND**
- A1 DISHWASHER, WHIRLPOOL, MODEL# WDF190PAH, STAINLESS STEEL.
 - A2 REFRIGERATOR, WHIRLPOOL, WRT138FD, STAINLESS STEEL.
 - A3 RANGE, RANGE HOOD, WHIRLPOOL HOOD - UXT4130 AND RANGE - WPC310, STAINLESS STEEL.
 - A4 WARMING MACHINE, WHIRLPOOL, WFW5620HW, WHITE.
 - A5 DRYER, WHIRLPOOL, WED5620HW, WHITE.
- PLUMBING LEGEND**
- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL, MODEL# PFSR22.
 - P2 BATHROOM LAVATORY & FAUCET, KOHLER, K-2194-1, WHITE.
 - P3 WATER CLOSET, WHITE, TOTO CST248E, WHITE.
 - P4 BATHROOM BATHUB, WHITE, MODEL# 1005SC.
 - P5 SHOWER ENCLOSURE, KOHLER, K-1690S, SONATA, WHITE.
- GENERAL NOTES**
1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL FLEES. SEE FILE ONLY PERMIT # 18-2990 FOR ADDITIONAL INFORMATION. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
 3. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES, SEE SHEET A8.01 FOR WINDOW SCHEDULE.
 4. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
 5. UNIT DEMBRING WALLS ALIGN WITH GRIDS B-F.
 6. SEE SHEET A4.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.
 - 7.
- APPLIANCE LEGEND**
- DS ○ DOWNSPOUT
 - DRAINAGE AREA, SEE CALCULATIONS SHEET A2.04
 - ELECTRIC PANEL PER ELECTRICAL
- 1** UPC 609.10 Provide Water Hammer Protection
 UPC 807.3 Domestic DW must have air gap
 IRC M1503 Range hood must be 100CFM minimum and discharge to the outdoors

R303.7 Interior Stair Illumination- Switch Both Top and Bottom of stairway



INSTALL WINDOWS TO 2X4 STUD FRAMING, ALIGN FRAMING WITH INSIDE FACE OF EXTERIOR WALL STUDS TYP. ALL WINDOWS

INSTALL WINDOWS TO 2X4 STUD FRAMING, ALIGN FRAMING WITH INSIDE FACE OF EXTERIOR WALL STUDS TYP. ALL WINDOWS

NOTE: (S) ADJUSTABLE SHELVES AT BACK OF CLOSET; TYPICAL AT MASTER BEDROOMS

ALIGN 4X4 POST WITH INSIDE FACE OF STUD WALL FRAMING TYP.



R303.7 Interior Stair Illumination- Switch Both Top and Bottom of Stairway

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TOWNHOMES WESTMAN MILL
510 STATE AVE. OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020



THIRD FLOOR PLAN

A2.03

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1 LEVEL 3
1/4" = 1'-0"

NORTH ARROW FOR TOWNHOME BUILDING (A)

NORTH ARROW FOR TOWNHOME BUILDING (B)

2 All laundry closets shall have doors per door type F (see door schedule) and be provided with hinges located on the master bedroom side of the opening. See REV A2.03 regarding this door swing

1 1030.1 General. EMERGENCY ESCAPE AND RESCUE
In addition to the means of egress required by this chapter, provisions shall be made for emergency escape and rescue openings in Group R-2 occupancies

3 Demising wall fireblocking shall be provided through the use of mineral fiber at 10' feet on center horizontally & vertically. Draft stopping must be at the top of each wall to floor/ceiling and each ceiling/roof assembly; see detail S/A6.01 for additional information

R303.7 Interior Stair Illumination- Switch Both Top and Bottom of Stairway

FLOOR PLAN LEGEND

- 1 SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE
- 1 DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE
- 1 WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.01
- A DOOR CALL OUT, SEE SCHEDULE ON SHEET A.01
- W WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.01
- WH WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL
- HW HOSE BIB (HB)

- DS DOWNPOUT
- DA DRAINAGE AREA; SEE CALCULATIONS SHEET A2.04
- EP ELECTRIC PANEL PER ELECTRICAL

APPLIANCE LEGEND

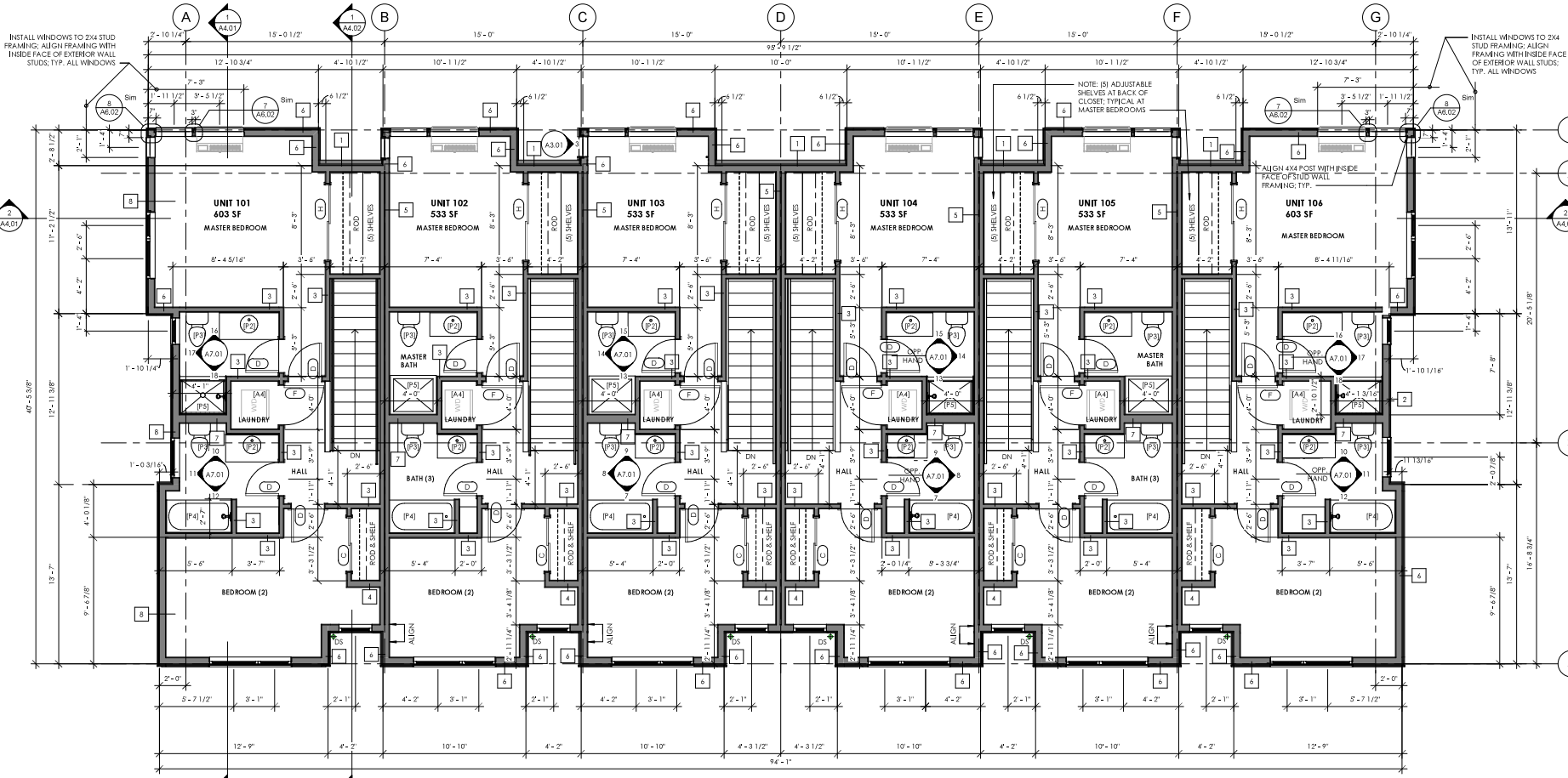
- A1 DISHWASHER: WHIRLPOOL; MODEL# WDF130FAH, STAINLESS STEEL
- A2 REFRIGERATOR: WHIRLPOOL; WRT138FID, STAINLESS STEEL
- A3 RANGE, RANGE HOOD: WHIRLPOOL; HOOD - UXT4130 AND RANGE - WFC3D0 STAINLESS STEEL
- A4 WASHING MACHINE: WHIRLPOOL; WFW5620HW, WHITE
- A5 DRYER: WHIRLPOOL; WED5620HW, WHITE

PLUMBING LEGEND

- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL; MODEL# PFR22
- P2 BATHROOM LAVATORY & FAUCET; KOHLER, K-2194-1, WHITE
- P3 DELTA; 22C101, CHROME
- P4 WATER CLOSET, WHITE TOILET CST243F, WHITE
- P5 BATHROOM BATHTUB, WHITE; MODEL# 100.LC
- P6 SHOWER ENCLOSURE; KOHLER, K-1690-0, SONATA, WHITE

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE FILE ONLY PERMIT # 18-2790 FOR ADDITIONAL INFORMATION.
2. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION.
4. SEE BUILDING ELEVATIONS SHEETS A3.01 & A3.02 FOR WINDOW TYPES. SEE SHEET A8.01 FOR WINDOW SCHEDULE.
5. SEE ELECTRICAL PLANS FOR ELECTRIC METERS AND PANELS LOCATION.
6. UNIT DEMISING WALLS ALIGN WITH GRIDS 8 - F
7. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION



1 LEVEL 3
1/4" = 1'-0"

NORTH ARROW FOR TOWNHOME BUILDING (A)
NORTH ARROW FOR TOWNHOME BUILDING (B)

FLOOR PLAN LEGEND

- 1 A1.01 SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- 1 A1.01 DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- 1 WALL TYPE CALL OUT, SEE DETAILS ON SHEET A.01.
- A DOOR CALL OUT, SEE SCHEDULE ON SHEET A.01.
- WINDOW CALL OUT, SEE SCHEDULE ON SHEET A.01.
- WH WATER HEATER PROVIDE MANUFACTURERS MINIMUM CLEARANCES, TYPICAL.
- HOSE BIB (HB)
- DS DOWNPOUT
- DRAINAGE AREA, SEE CALCULATIONS SHEET A2.04
- ELECTRIC PANEL PER ELECTRICAL

APPLIANCE LEGEND

- A1 DISHWASHER: WHIRLPOOL; MODEL# WDF130FAH, STAINLESS STEEL
 - A2 REFRIGERATOR: WHIRLPOOL; WRT138FID, STAINLESS STEEL
 - A3 RANGE, RANGE HOOD, WHIRLPOOL; HOOD - UXT4130 AND RANGE - WFC3D, STAINLESS STEEL
 - A4 WASHING MACHINE: WHIRLPOOL; WFW5620HW, WHITE
 - A5 DRYER: WHIRLPOOL; WED5620HW, WHITE
- PLUMBING LEGEND
- P1 KITCHEN SINK & FAUCET, STAINLESS STEEL; MODEL# PFR22
 - P2 BATHROOM LAVATORY & FAUCET; KOHLER, K-2194-1, WHITE
 - DELTA; 22C101, CHROME
 - P3 WATER CLOSET, WHITE TOILET C31243F, WHITE
 - P4 BATHROOM BATH TUB, WHITE; MODEL# 100.LC.
 - P5 SHOWER ENCLOSURE; KOHLER; K-1694D, SONATA, WHITE

GENERAL NOTES

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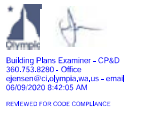
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TOWNHOMES
WESTMAN MILL
510 STATE AVE., OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020



THIRD FLOOR PLAN

A2.03

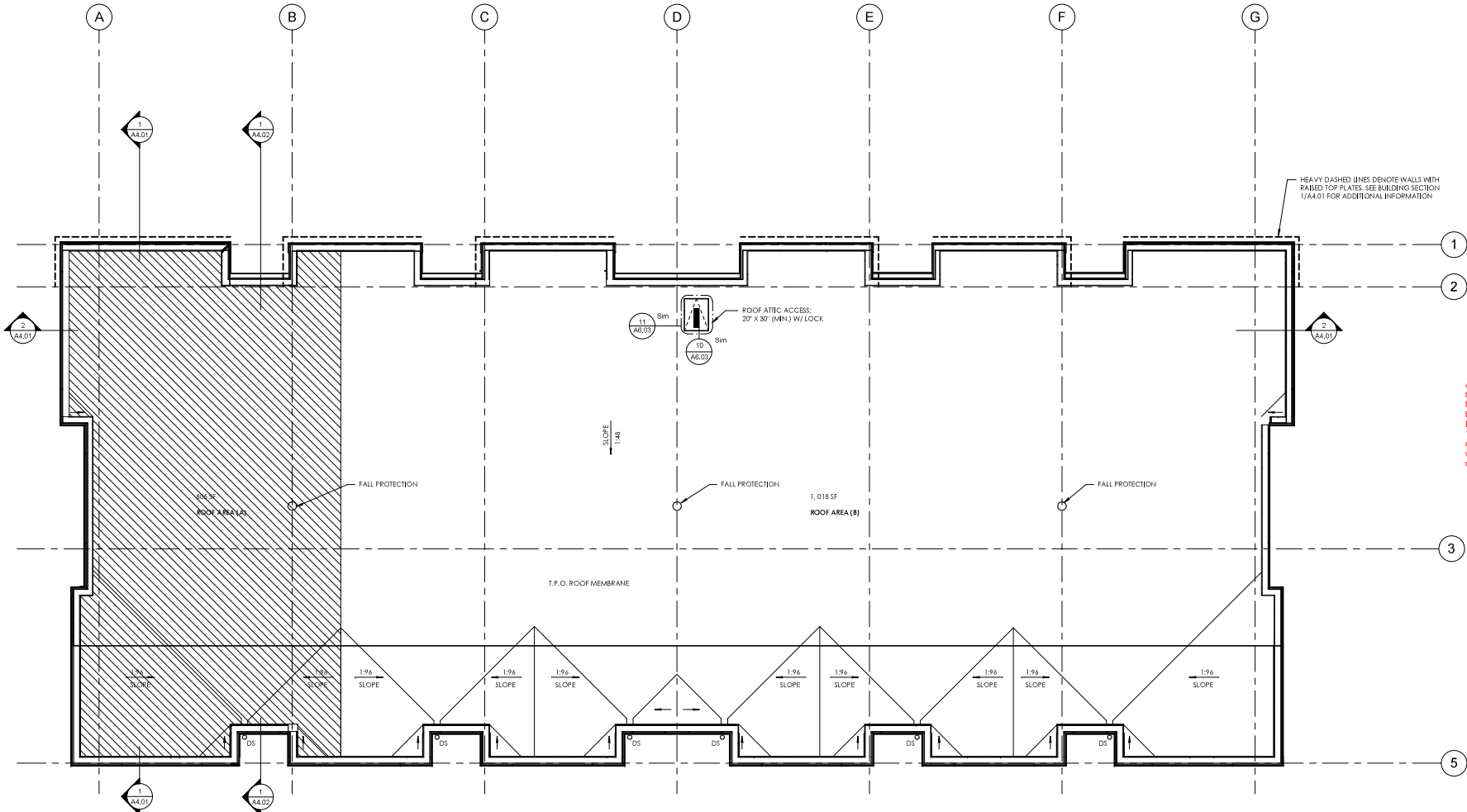
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City Of Olympia
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TOWNHOMES WESTMAN MILL
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Project No: 1514
CD SET
 04/17/2020

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 360.753.6280 - Office
 rjennings@olympiawash.us - email
 08/08/2020 8:42:05 AM
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1 ROOF
 1/4" = 1'-0"

- NORTH ARROW FOR TOWNHOME BUILDING (A)
- NORTH ARROW FOR TOWNHOME BUILDING (B)

ROOF DRAINAGE CALCULATIONS

TOTAL ROOF AREA TO BE DRAINED = 3646 SF
 TOTAL SECOND FLOOR PATIO AREA = 730 SF
 ROOF AREA EXAMPLE A = 805 SF
 ROOF AREA EXAMPLE B = 1018 SF
 PATIO AREA EXAMPLE C (SEE SHEET A2.02) = 345 SF (FOR GUTTERS)
 ROOF + PATIO AREAS (A + C) = 805 SF + 345 SF = 1170 SF (FOR DOWNSPOUTS)

CODE CALCULATIONS AND TABLES ARE BASED ON 2015 UPC, CHAPTER 11:
 MAXIMUM RATE OF ANTICIPATED RAINFALL FOR A 100 YEAR OCCURRENCE: APPENDIX D, TABLE D 101.1 = 1"/HR
 DOWNSPOUT SIZE PER TABLE 1101.12, THE FLOW RATE THROUGH VERTICAL LEADERS SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER VILL HANDLE = 8800 SF OF ROOF AREA

GUTTER SIZE PER TABLE 1106.3, THE SIZE OF GUTTERS (EXTRAPOLATED) WITH THE SLOPE OF 1/8" (MIN.) SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER VILL HANDLE = 680 SF OF ROOF AREA
 SIZING OF HORIZONTAL RAINWATER PIPING PER TABLE 1107.1 WITH THE SLOPE OF 1/8" (MIN.) SHALL NOT EXCEED THE FOLLOWING:
 3" DIAMETER VILL HANDLE = 3288 SF OF ROOF AREA

PROJECT DRAINAGE ELEMENTS	PROPOSED
DOWNSPOUTS:	3" DIAMETER TYPICAL
GUTTERS:	3" DIAMETER TYPICAL
HORIZONTAL PIPING (ABOVE PARKING AREA):	3" DIAMETER TYPICAL

ROOF PLAN LEGEND

- DOWNSPOUT: SEE ROOF DRAINAGE FOR DIAMETER
- DRAINAGE AREA: SEE CALCULATIONS ON THIS SHEET



ROOF PLAN

A2.04

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TOWNHOMES
 WESTMAN MILL
 510 STATE AVE. OLYMPIA, WA 98501

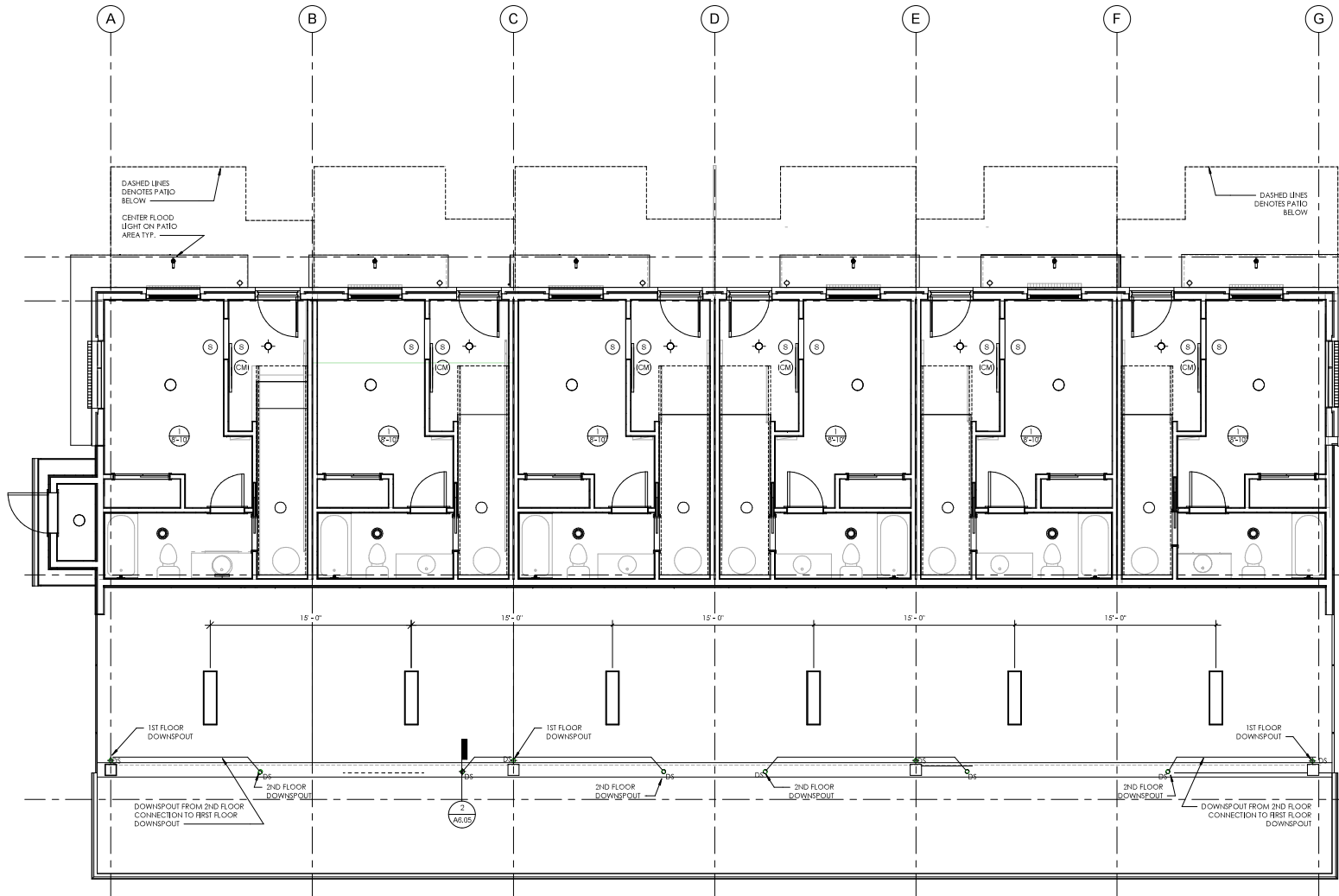
Project No: 1514
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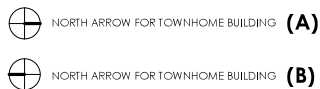
REFLECTED
 CEILING PLAN -
 FIRST FLOOR

A2.05

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 City Of Olympia
 Rec. 5-20-20



1 CEILING PLAN - FLOOR 1
 1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND

- 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (ft.) AS NOTED ON PLAN
- SURFACE MOUNT LIGHT FIXTURE
- ◐ RECESSED CAN LIGHT FIXTURE. PROVIDE WET LOCATION FIXTURE AS REQUIRED. PROVIDE WITH LED
- ⌋ VANITY LIGHT FIXTURE, WALL MOUNTED
- ⌋ BATH FAN/LIGHT FIXTURE
- ⌋ SINGLE LIGHT SWITCH
- ⌋ WALL SCONCE
- ⌋ 1x4 LED LINEAR BOX LIGHT FIXTURE
- ⌋ RAB-S ANGULAR FLOOD LIGHT FIXTURE
- ⊙ SMOKE DETECTOR
- ⊙ CM CARBON MONOXIDE DETECTOR
- ⊙ DS DOWNSPOUT. SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION
- ⊙ KH KITCHEN EXHAUST

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL PILES. SEE FOUNDATION PERMIT # 16-1531 FOR ADDITIONAL INFORMATION.
2. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS. NO TRIM SHALL BE CUT TO ACCOMMODATE SWITCH PLATES.
3. CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
4. CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
5. ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
6. CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
7. ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (N.O.C.).
8. WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
9. ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.
10. ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
11. ALL CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED.
12. HARDWIRED W/ BATTERY BACKUP
13. FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
14. SEE SITE PLAN, SHEET A1.01, FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.

0' 10' 20'

All work must be performed as per the approved plans; any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 IBC 107.4). Any changes to approved engineered plans must also have written approval from the Engineer of record (2015 IBC 107.3.4).

TOWNHOMES
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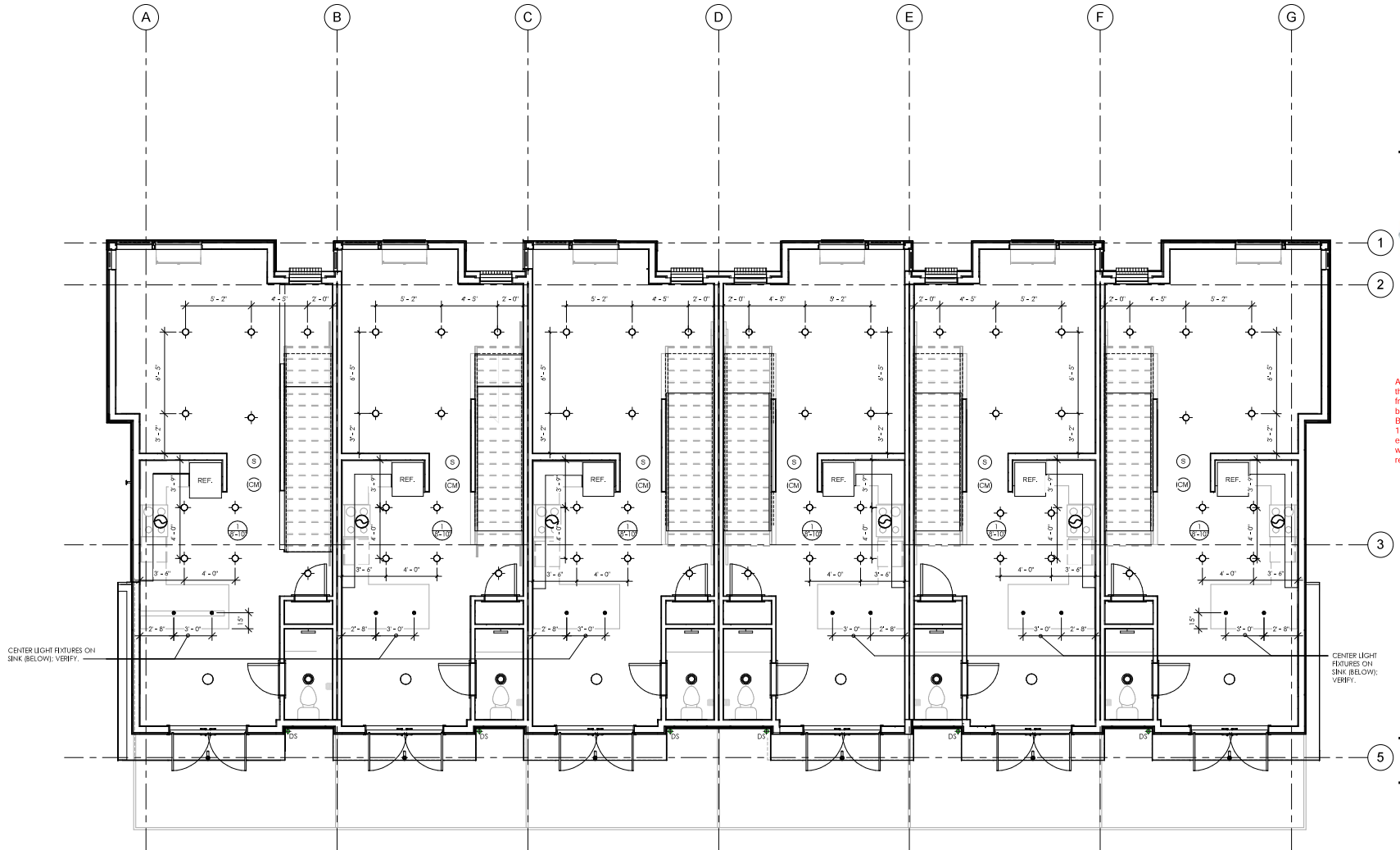
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REFLECTED
 CEILING PLAN -
 SECOND FLOOR

A2.06

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1 CEILING PLAN - FLOOR 2
 1/4" = 1'-0"

⊕ NORTH ARROW FOR TOWNHOME BUILDING (A)
 ⊕ NORTH ARROW FOR TOWNHOME BUILDING (B)

REFLECTED CEILING PLAN LEGEND

- ⊕ 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (H1) AS NOTED ON PLAN
- SURFACE MOUNT LIGHT FIXTURE
- ◆ RECESSED CAN LIGHT FIXTURE, PROVIDE WET LOCATION FIXTURE AS REQUIRED, PROVIDE WITH LED
- ⊕ VANITY LIGHT FIXTURE, WALL MOUNTED
- ⊕ BATH FAN/LIGHT FIXTURE
- ⊕ SINGLE LIGHT SWITCH
- ⊕ WALL SCONCE
- ⊕ 1x4 LED LINEAR BOX LIGHT FIXTURE
- ⊕ RAB-5 ANGULAR FLOOD LIGHT FIXTURE
- ⊕ SMOKE DETECTOR
- ⊕ CM CARBON MONOXIDE DETECTOR
- ⊕ DS DOWNSPROUT, SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION
- ⊕ KITCHEN EXHAUST

GENERAL NOTES

1. GRID LINES ADDRESS THE LOCATION OF STRUCTURAL FLEES. SEE FOUNDATION PERMIT # 18-151 FOR ADDITIONAL INFORMATION.
2. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS.
3. NO TRIM SHALL BE CUT TO ACCOMMODATE SWITCH PLATES. CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
4. CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
5. ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
6. CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
7. ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (I.N.O.).
8. WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
9. ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.
10. ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
11. ALL CARBON MONOXIDE ALARMS SHALL BE CENTER CONNECTED, HARDWIRED W/ BATTERY BACKUP.
12. FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
13. SEE SITE PLAN SHEET A1.01 FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.
- 14.

0' 10' 20' 40'

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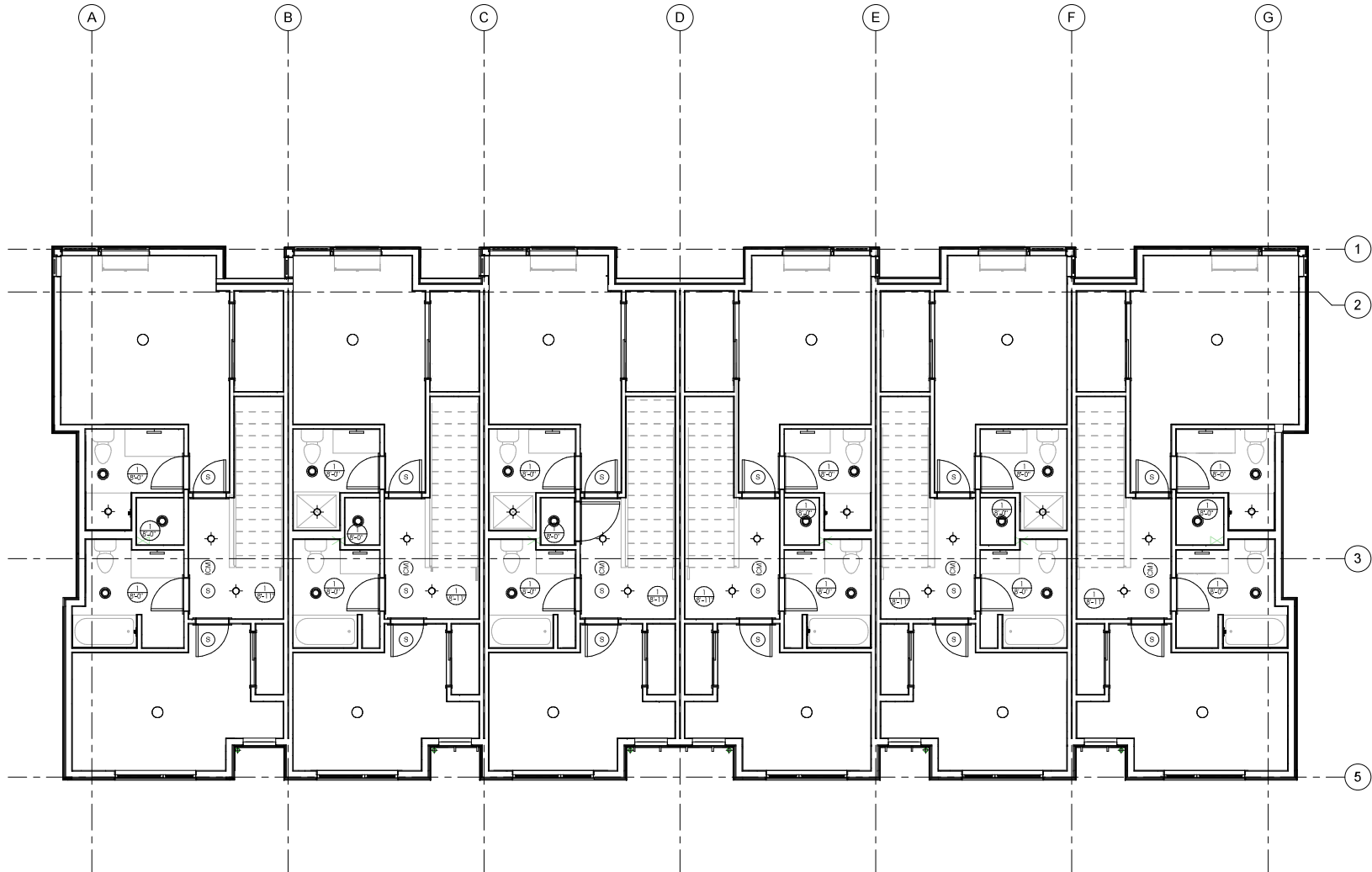
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REFLECTED CEILING PLAN - THIRD FLOOR

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AND SMOKE



1 FLOOR 3 dims
 1/4" = 1'-0"

NORTH ARROW FOR TOWNHOME BUILDING (A)
 NORTH ARROW FOR TOWNHOME BUILDING (B)

REFLECTED CEILING PLAN LEGEND

- | | | | |
|--|---|--|---|
| | 5/8" GYPSUM WALL BOARD, APPROXIMATE CEILING HEIGHT (H.C.) AS NOTED ON PLAN | | SMOKE DETECTOR |
| | SURFACE MOUNT LIGHT FIXTURE | | CARBON MONOXIDE DETECTOR |
| | RECESSED CAN LIGHT FIXTURE, PROVIDE VENT LOCATION FIXTURE AS REQUIRED, PROVIDE WITH LED | | DOWNSPOUT, SEE ROOF PLAN A2.04 FOR ADDITIONAL INFORMATION |
| | VANITY LIGHT FIXTURE, WALL MOUNTED | | KITCHEN EXHAUST |
| | BATH FAN/LIGHT FIXTURE | | |
| | SINGLE LIGHT SWITCH | | |
| | WALL SCONCE | | |
| | 1x4 LED LINEAR BOX LIGHT FIXTURE | | |
| | RAB-5 ANGULAR FLOOD LIGHT FIXTURE | | |

GENERAL NOTES

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- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE INSTALLED PER CURRENT CODE AND LOCAL JURISDICTION REQUIREMENTS.
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- CONTRACTOR SHALL PROVIDE SUBMITTAL CUT SHEETS TO ARCHITECT FOR REVIEW ON ALL LIGHTING PRODUCTS TO BE INSTALLED PRIOR TO ORDERING.
- CONTRACTOR SHALL PROVIDE ALL BACKING AS REQUIRED FOR ALL FIXTURES.
- ALL SURFACE MOUNT FIXTURES SHALL BE INSTALLED FLUSH TO FINISH SURFACE.
- CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS PRIOR TO COVER.
- ALL CEILING MOUNTED FIXTURES SHALL BE CENTERED IN SPACE UNLESS NOTED OTHERWISE (U.N.O.).
- WALL MOUNTED LIGHT FIXTURES SHALL BE CENTERED ON WALL UNLESS NOTED OTHERWISE. SEE EXTERIOR AND INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS.
- ALL LIGHT FIXTURE GROUPS ABOVE SINKS SHALL BE CENTERED ON SINK.
- ALL INTERIOR FIXTURES SHALL HAVE A MINIMUM OF 75% OF LIGHTING TO BE SUPPLIED WITH HIGH EFFICIENCY LAMPS.
- ALL CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED, HARDCWIRED BY BATTERY BACKUP.
- FIXTURE LOCATIONS ARE SHOWN FOR REFERENCE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE SITE PLAN SHEET A1.01 FOR ADDITIONAL INFORMATION FOR BUILDING (A) AND BUILDING (B) ORIENTATION.

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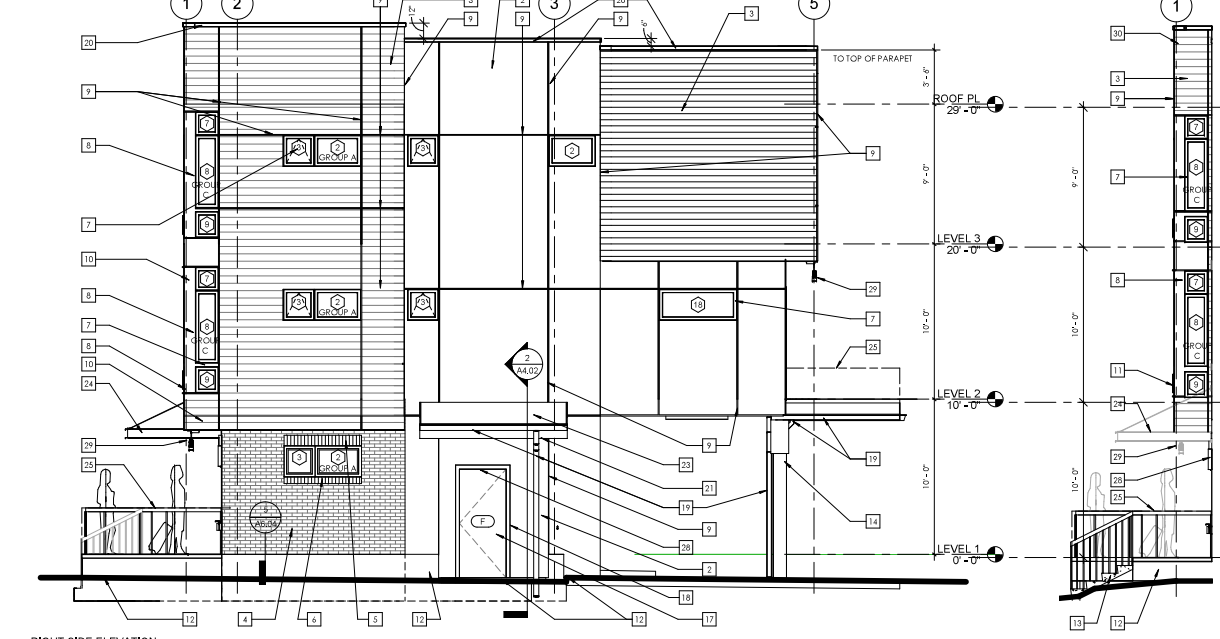
ELEVATIONS

A3.01

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2 FRONT ELEVATION (ENTRY)
 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION
 1/4" = 1'-0" (VERIFY SPRINKLER ROOM LOCATION ON SITE PLAN)
 20-1520

3 SIDE ELEVATION @ POP OUTS
 1/4" = 1'-0"

- GENERAL NOTES**
- SEE BASIS OF DESIGN FOR ADDITIONAL EXTERIOR FINISH INFORMATION
 - ALLEN WALL REVEALS WITH WINDOW AND DOOR FRAMES UNID; SEE SHEET A3.02 FOR ADDITIONAL INFORMATION
 - EXTERIOR ELEVATION SIDING CHANGES SHALL ONLY OCCUR ON INSIDE CORNERS; TYP. UNID
 - CASEMENT WINDOWS <12", <11" AND <12" SHALL MEET THE REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE PER IBC 1030

- ELEVATION KEY NOTES**
- STRUCTURAL METAL: PER STRUCTURAL ENGINEER; PRIME AND PAINT COLOR: BLACK
 - FIBER CEMENT SIDING: JAMES HARDIE 3/8" HARDIE PANEL W/ SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D
 - FIBER CEMENT SIDING: ARTIFAN 5/8" REVEL CHANNEL W/ 9" EXPOSURE AND SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D
 - FACE BRICK: MUTUAL MATERIALS - STANDARD BRICK FOREST BLEND, EBONY, COAL CREEK
 - SINGLE BRICK SOLDIER COURSE HEADER: MUTUAL MATERIALS COLOR: COAL CREEK
 - BRICK SILL COURSE: MUTUAL MATERIALS COLOR: COAL CREEK
 - FENESTRATION: PLY-GEN 1500 SERIES OR APPROVED EQUAL; SEE WINDOW SCHEDULE FOR OPERATION TYPE; SHEET A-602. COLOR: BLACK EXTERIOR, WHITE INTERIOR
 - WINDOW TRIM AND FLASHING PER DETAILS; PRIME AND PAINT. COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - HORIZONTAL AND VERTICAL SIDING REVEALS; SIDING CORNER TRIMS; AND WINDOW TRIM PER DETAILS; FINI REGLET OR APPROVED EQUAL; SEE BASIS OF DESIGN FOR ADDITIONAL INFORMATION. COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - FIBER CEMENT PANEL PER DETAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL PHF GRILL: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - CONCRETE FOUNDATION: SMOOTH FINISH; SEAL AS REQUIRED
 - CONCRETE STAIRS: SMOOTH FINISH WITH BROOM FINISH TREADS; SEAL AS REQUIRED
 - CONCRETE COLUMN AND BEAM PER STRUCTURAL; SMOOTH FINISH; SEAL AS REQUIRED
 - ENTRY DOOR: PLY-GEN MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE. COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR
 - PATIO FRENCH DOOR: PLY-GEN MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE. COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR
 - HOLLOW METAL DOOR: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - HOLLOW METAL EXTERIOR DOOR FRAME: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL GUTTERS AND DOWNSPOUTS: SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION. COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL
 - METAL CAP TRIM PER DETAILS; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION. COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL
 - EAVES FASCIA (BEHIND GUTTERS): 5/4" x 6" CEDAR; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL
 - GABLE FASCIA TRIM: 1x3 CEDAR RAKE ON 5/4" x 6" CEDAR FASCIA; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL
 - 24 GAUGE STANDING SEAM METAL ROOF COLOR: MATCH WITH STRUCTURAL METAL
 - C CHANNEL ENTRY CANOPY PER STRUCTURAL; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - METAL GUARD AND HANDRAILS: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH
 - CONCRETE LANDING; BROOM FINISH; SLOPE (1:48) AWAY FROM DOOR; SEAL AS REQUIRED
 - EXTERIOR WALL SCONCE LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH
 - EXTERIOR FLOOD LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH

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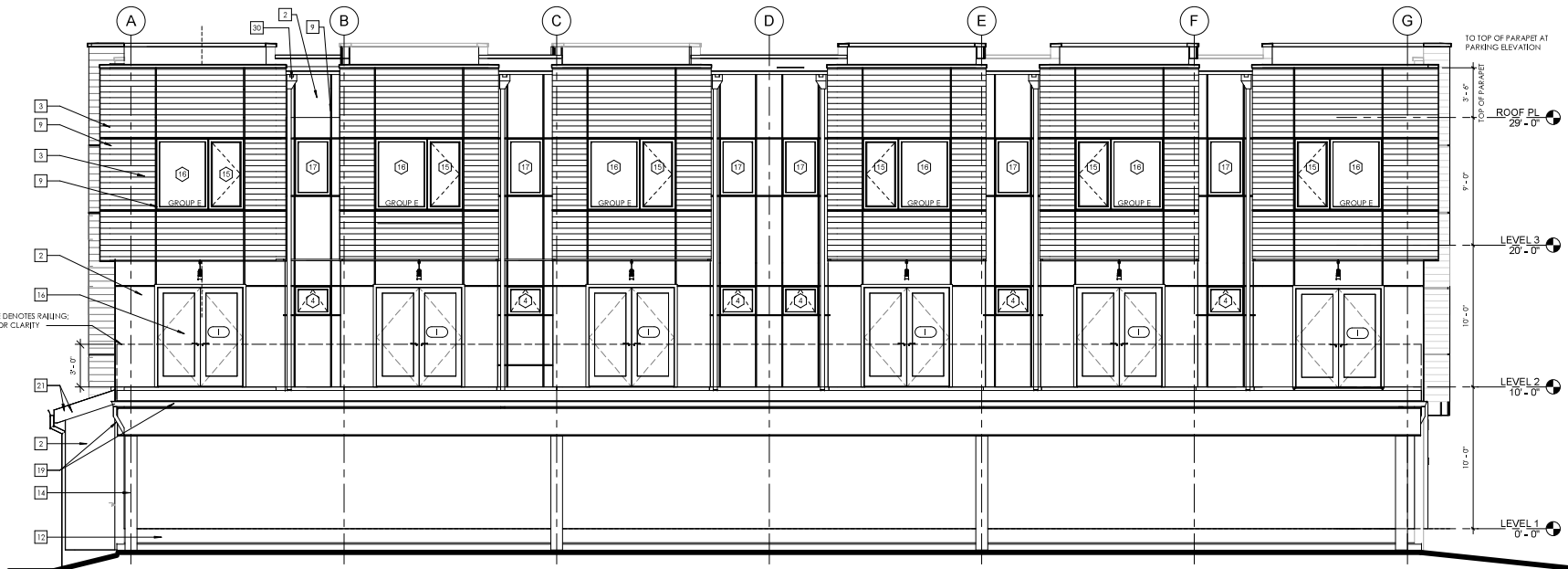
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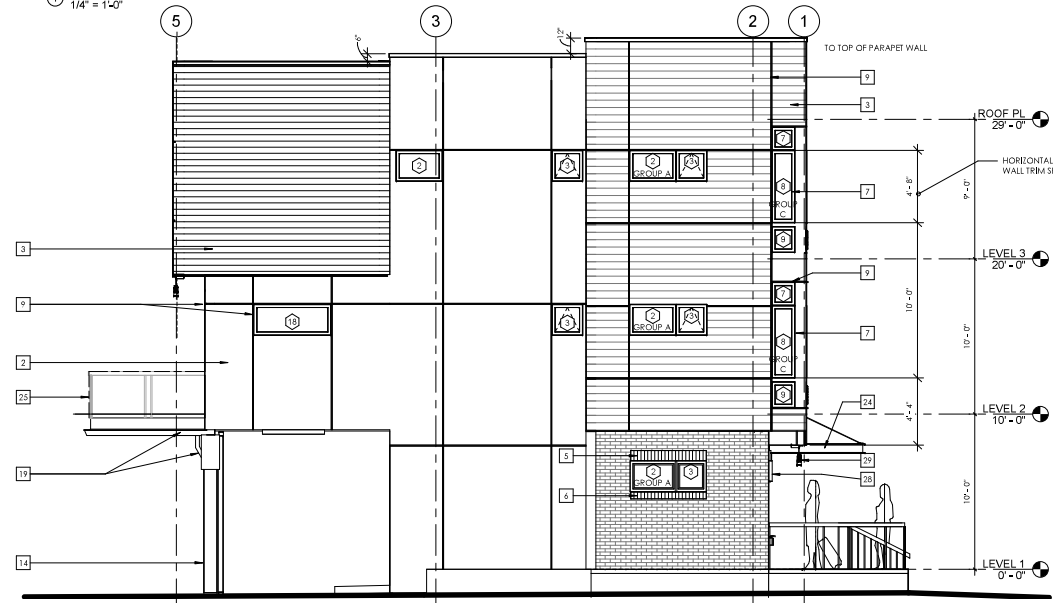
ELEVATIONS

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1 REAR ELEVATION (PARKING)
 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 1/4" = 1'-0" (VERIFY SPRINKLER ROOM LOCATION ON SITE PLAN)

GENERAL NOTES

1. SEE BASIS OF DESIGN FOR ADDITIONAL EXTERIOR FINISH INFORMATION
2. ALIEN WALL REVEALS WITH WINDOW AND DOOR FRAMES UNDO; SEE SHEET A3.02 FOR ADDITIONAL INFORMATION
3. EXTERIOR ELEVATION SIDING CHANGES SHALL ONLY OCCUR ON INSIDE CORNERS, TYP. UNDO
4. CASEMENT WINDOWS <1>, <11>, AND <15> SHALL MEET THE REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE PER IBC 1030

ELEVATION KEY NOTES

- | | |
|--|---|
| <ol style="list-style-type: none"> 1 STRUCTURAL METAL: PER STRUCTURAL ENGINEER; PRIME AND PAINT COLOR: BLACK 2 FIBER CEMENT SIDING: JAMES HARDIE 3/8" HARDIE PANEL W/ SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D 3 FIBER CEMENT SIDING: ARTISAN 5/8" BEVEL CHANNEL W/ 9" EXPOSURE AND SMOOTH FINISH; PRIME AND PAINT COLOR: SHERWIN WILLIAMS T8D 4 FACE BRICK: MUTUAL MATERIALS - STANDARD BRICK FOREST BLEND, EBONY, COAL CREEK 5 SINGLE BRICK SOLDER COURSE HEADER: MUTUAL MATERIALS COLOR: COAL CREEK 6 BRICK 3/4 COURSE: MUTUAL MATERIALS COLOR: COAL CREEK 7 FENESTRATION: PLY-GEM 1500 SERIES OR APPROVED EQUAL; SEE WINDOW SCHEDULE FOR OPERATION TYPE; SHEET A-602; COLOR: BLACK EXTERIOR, WHITE INTERIOR 8 WINDOW TRIM AND FLASHING PER DETAILS; PRIME AND PAINT; COLOR: MATCH WITH STRUCTURAL METAL FINISH 9 HORIZONTAL AND VERTICAL SIDING REVEALS; SIDING: CORNER TRIMS, AND WINDOW TRIM PER DETAILS; FIN: REGLET OR APPROVED EQUAL; SEE BASIS OF DESIGN FOR ADDITIONAL INFORMATION; COLOR: MATCH WITH STRUCTURAL METAL FINISH 10 FIBER CEMENT PANEL PER DETAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 11 METAL P/HP GRILL: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 12 CONCRETE FOUNDATION: SMOOTH FINISH; SEAL AS REQUIRED 13 CONCRETE STAIRS: SMOOTH FINISH WITH BROOM FINISH TREADS; SEAL AS REQUIRED 14 CONCRETE COLUMN AND BEAM PER STRUCTURAL; SMOOTH FINISH; SEAL AS REQUIRED 15 ENTRY DOOR: PLY-GEM MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE; COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR 16 PATIO FRENCH DOOR: PLY-GEM MIRA SERIES OR APPROVED EQUAL; ALUMINUM CLAD WOOD; SEE DOOR SCHEDULE; COLOR: RADIANCE SUNSET FACTORY FINISH EXTERIOR; NATURAL WOOD (STAIN READY) INTERIOR | <ol style="list-style-type: none"> 17 HOLLOW METAL DOOR: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 18 HOLLOW METAL EXTERIOR DOOR FRAME: PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 19 METAL GUTTERS AND DOWNSPOUTS; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION; COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL 20 METAL CAP TRIM PER DETAIL; SEE BASIS OF DESIGN "SHEET METAL" FOR ADDITIONAL INFORMATION; COLOR: FACTORY FINISH MATCH WITH STRUCTURAL METAL 21 EAVES FASCIA (BEHIND GUTTERS): 5/4" x6 CEDAR; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL 22 GABLE FASCIA TRIM: 1x3 CEDAR RAKE ON 5/4" x6 CEDAR FASCIA; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL 23 24 GAUGE STANDING SEAM METAL ROOF COLOR: MATCH WITH STRUCTURAL METAL 24 C CHANNEL ENTRY CANOPY PER STRUCTURAL; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 25 METAL GUARD AND HANDRAILS; PRIME AND PAINT COLOR: MATCH WITH STRUCTURAL METAL FINISH 26 CONCRETE LANDING: BROOM FINISH; SLOPE (1:48) AWAY FROM DOOR; SEAL AS REQUIRED 27 EXTERIOR WALL SCONCE LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH 28 EXTERIOR SPOT LIGHT FIXTURE; COLOR: BLACK FACTORY FINISH 30 SHEET METAL SCUPPER; COLOR: BLACK |
|--|---|

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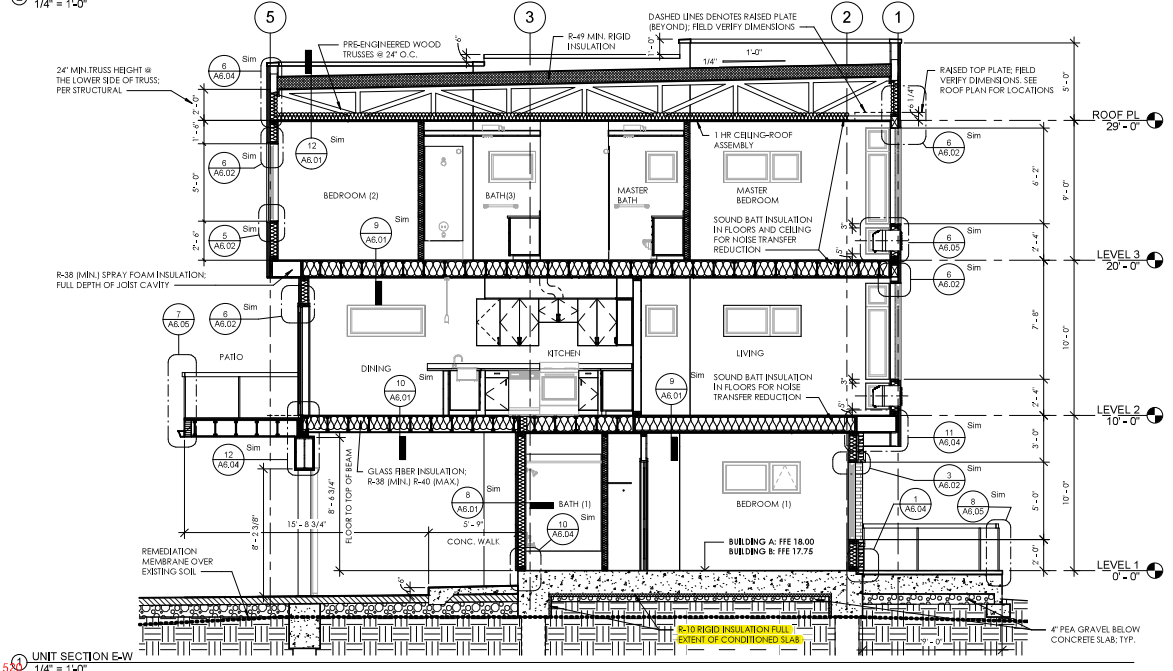
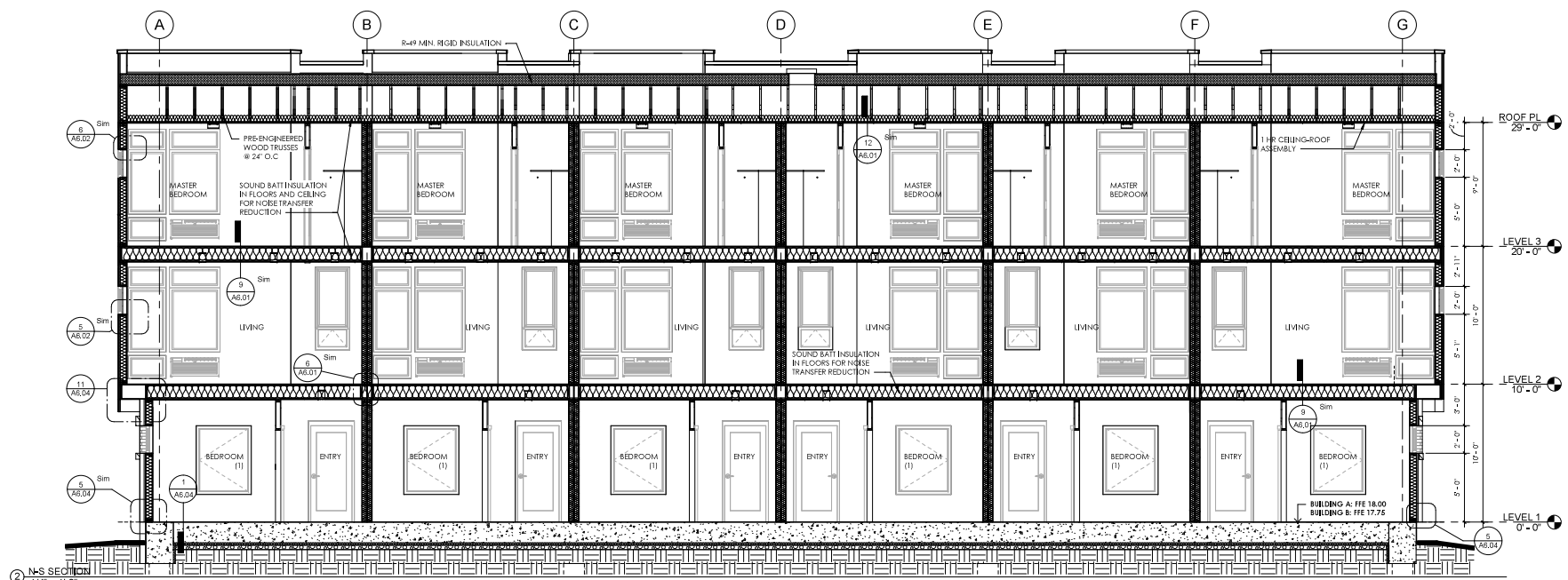
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BUILDING SECTIONS

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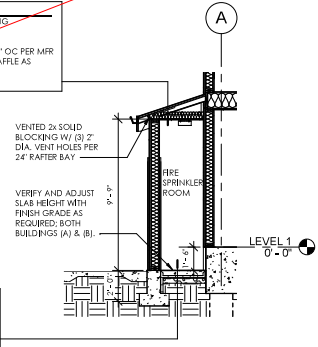
20-153 UNIT SECTION E-W
 1/4" = 1'-0"

ROOF SLAB CONSTRUCTION:
 • STANDING SEAM METAL ROOFING
 • 30# BUILDING PAPER
 • 1/2" APA RATED SHEATHING
 • ROOF FRAMING OR TRUSS AT 24" O.C PER MFR
 • R-38 FIBERGLASS INSULATION: BAFFLE AS SPECIFIED
 • 5/8" GWB

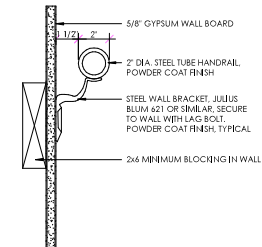
SEE 4.02 REV

NOTE: SEE FLOOR PLANS FOR WALL TYPE INFORMATION

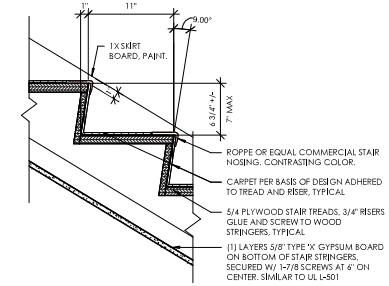
FLOOR SLAB CONSTRUCTION:
 • 4" REIN. (W/W) CONC. SLAB
 • 6" MIL. VAPOR BARRIER
 • R10 RIGID INSULATION
 • 4" PEA GRAVEL BASE



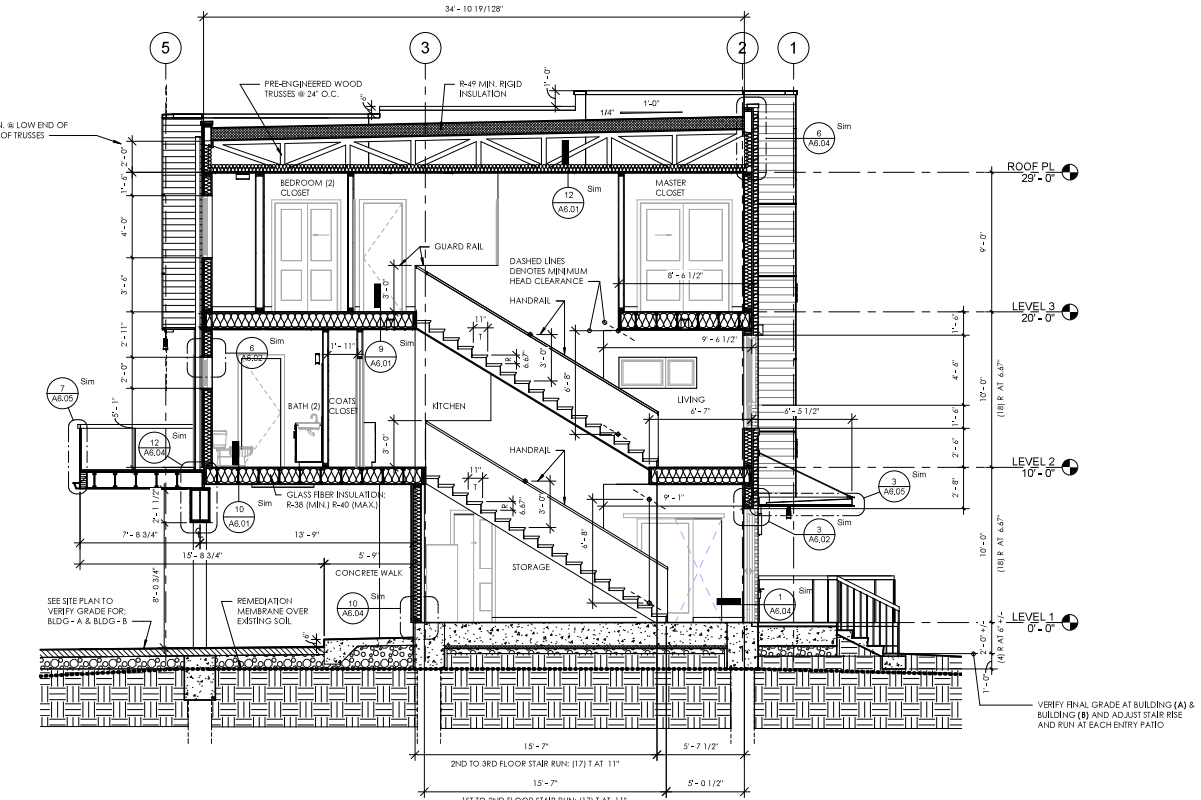
2 FIRE SPRINKLER SECTION
 1/4" = 1'-0"



4 HAND RAIL DETAIL
 3\"/>



3 STAIR - WOOD STRINGER
 1 1/2\"/>



1 SECTION THRU STAIRS
 1/4\"/>

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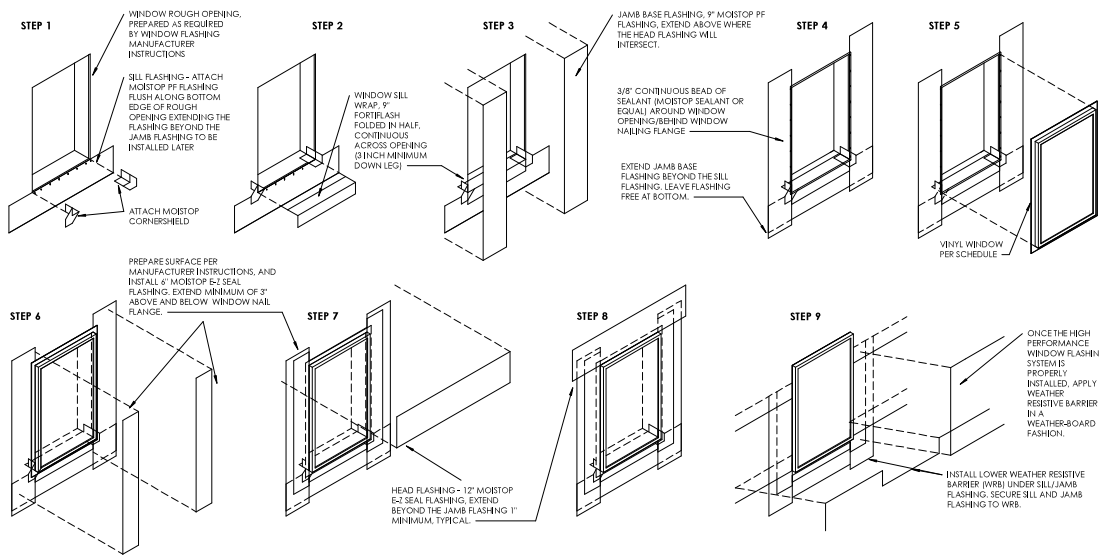
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BUILDING SECTIONS

A4.02

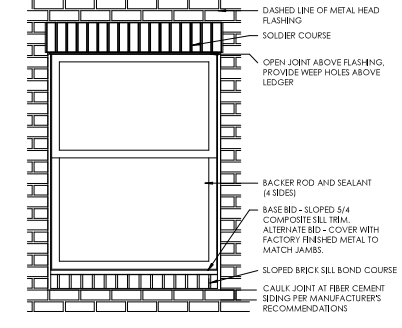
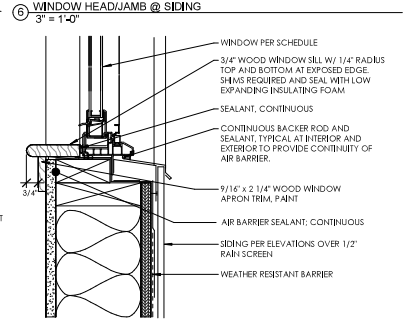
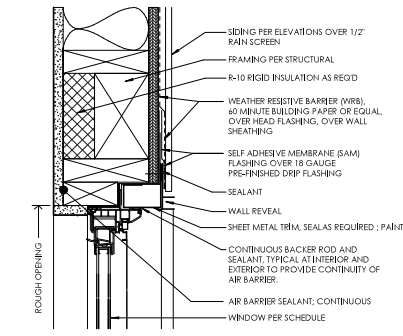
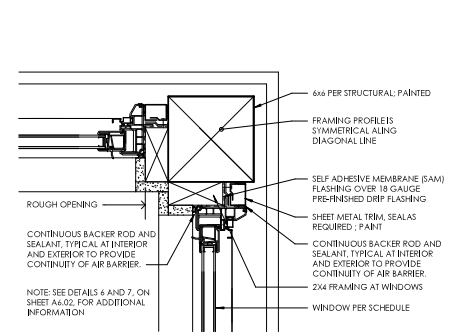
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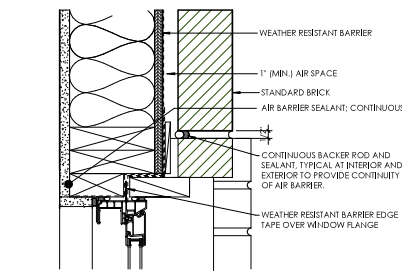
GENERAL NOTES:

- SEE FORTIFIBER BUILDING SYSTEMS HIGH PERFORMANCE WINDOW FLASHING SYSTEM WITH ADDITION OF CORNER SHIELD AND SILL WRAP FOR MANUFACTURER'S SPECIFIC INSTRUCTIONS.
- PREPARE ALL SURFACES AS RECOMMENDED BY WINDOW FLASHING MANUFACTURER.

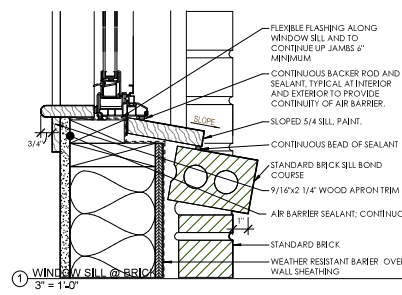
9 TYPICAL WINDOW FLASHING
1/2" = 1'-0"



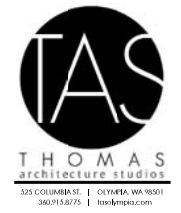
3 WINDOW HEAD @ BRICK
3" = 1'-0"



2 WINDOW JAMB @ BRICK
3" = 1'-0"



1 WINDOW SILL @ BRICK
3" = 1'-0"



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TOWNHOMES
WESTMAN MILL
510 STATE AVE., OLYMPIA, WA 98501

Project No: 1514
CD SET
04/17/2020

Bulking Plans Examiner - CP4D
360.753.6280 - Office
ap@cityofolympia.com - email
08/09/2020 8:42:06 AM
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WINDOW DETAILS

A6.02

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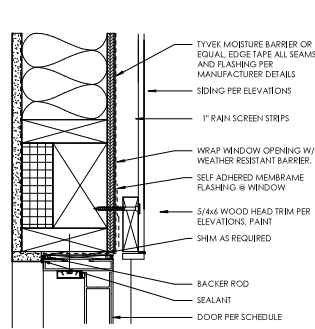
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04/17/2020

Building Plans Examiner - CP&D
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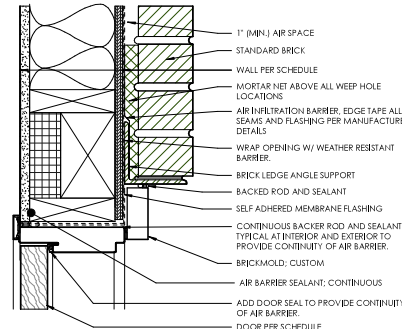
DOOR DETAILS

A6.03

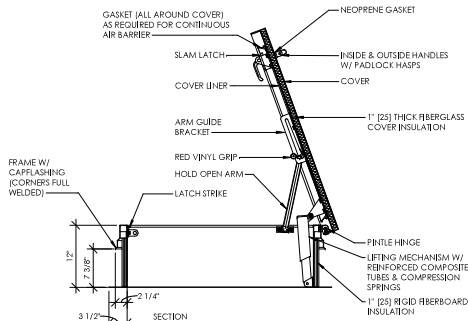
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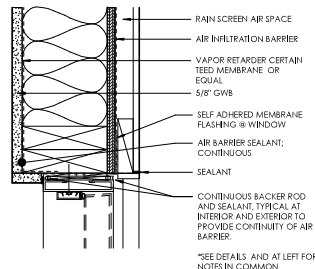
5 DOOR HEAD @ PATIO
3\"/>



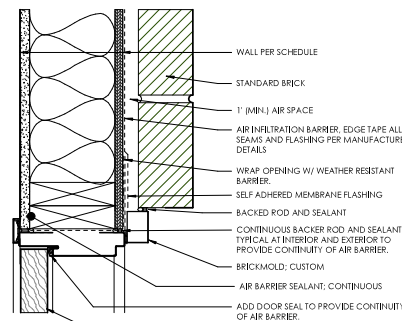
6 DOOR HEAD AT BRICK
3\"/>



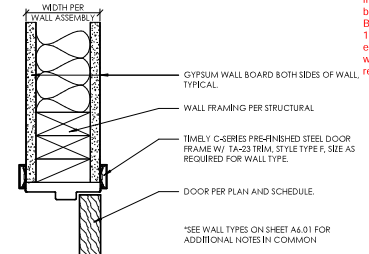
11 EXTERIOR ACCESS ROOF HATCH
1\"/>



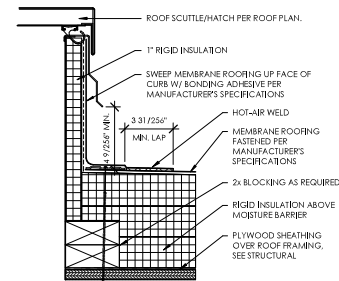
8 DOOR JAMB @ PATIO
3\"/>



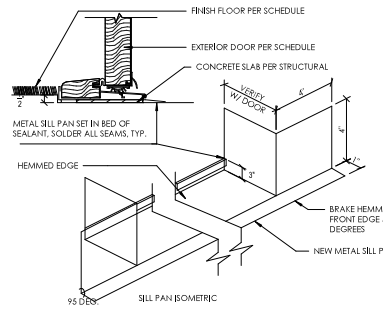
9 DOOR JAMB AT BRICK
3\"/>



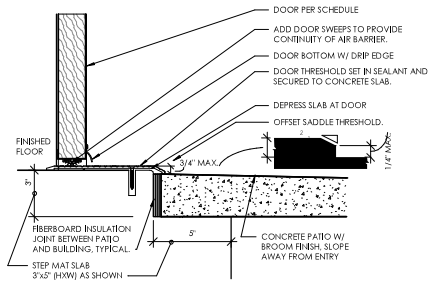
2 DOOR HEADJAMB @ INTERIOR
3\"/>



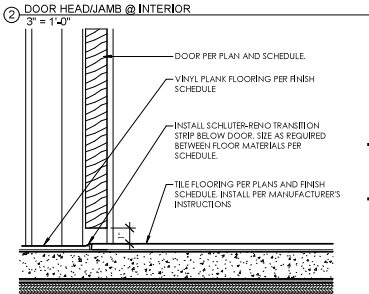
10 ROOF SCUTTLE
3\"/>



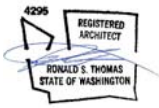
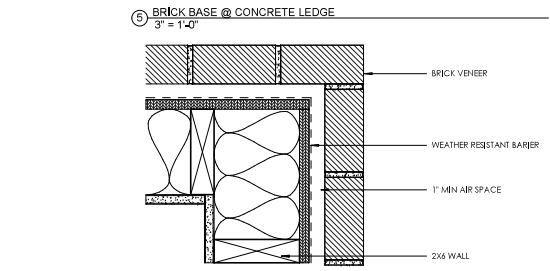
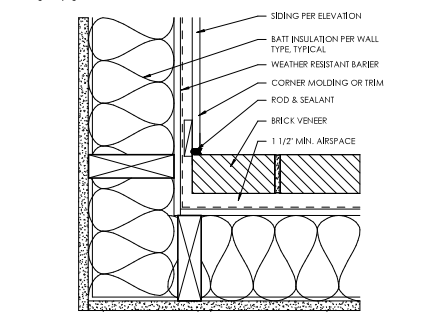
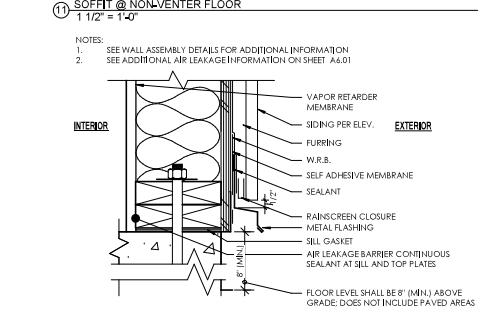
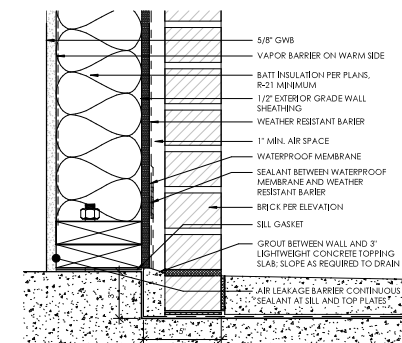
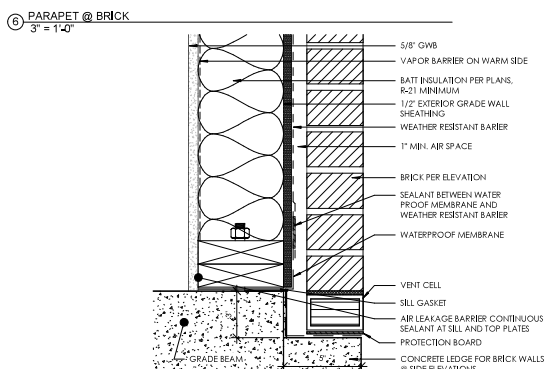
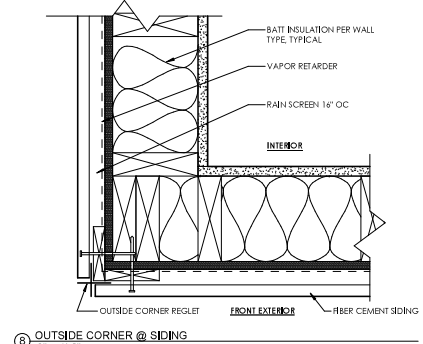
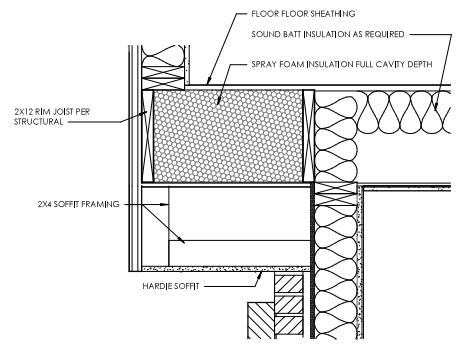
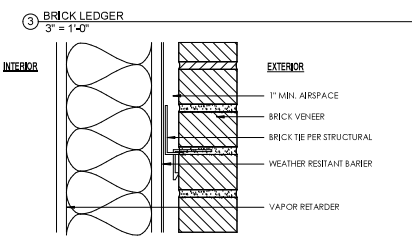
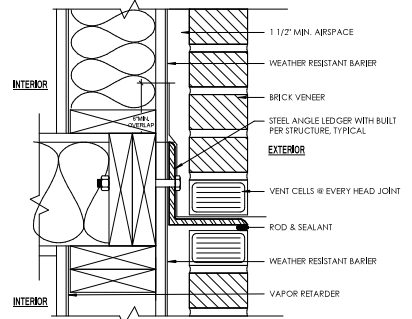
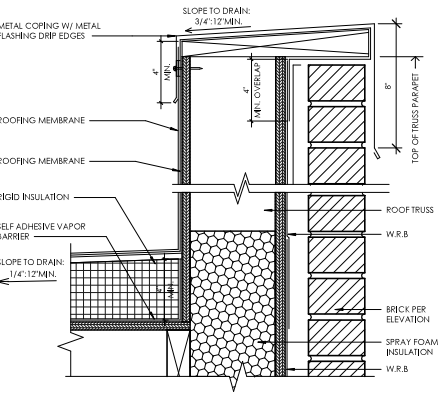
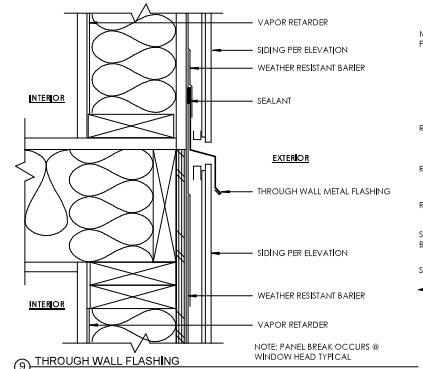
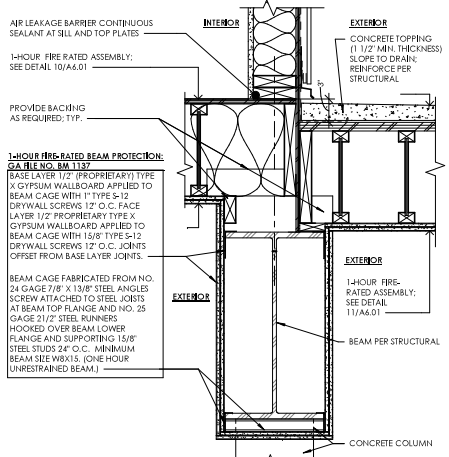
7 TYPICAL THRESHOLD FLASHING
3\"/>



4 DOOR THRESHOLD @ CONCRETE SLAB
3\"/>



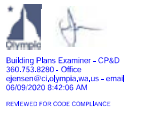
1 THRESHOLD @ INTERIOR
3\"/>



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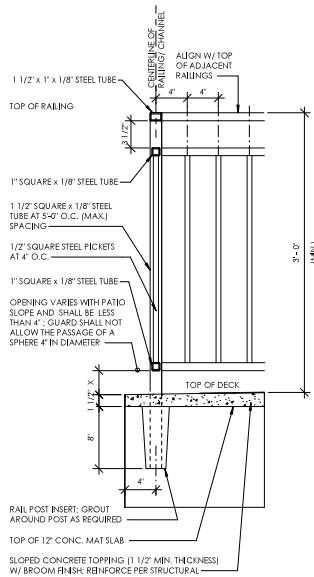
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CD SET
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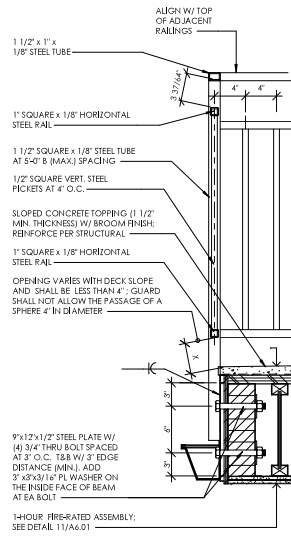
EXTERIOR
DETAILS

A6.04

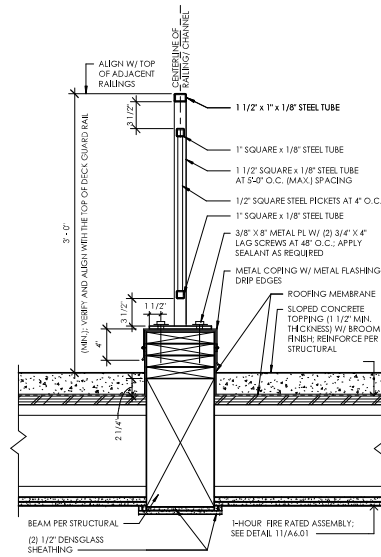
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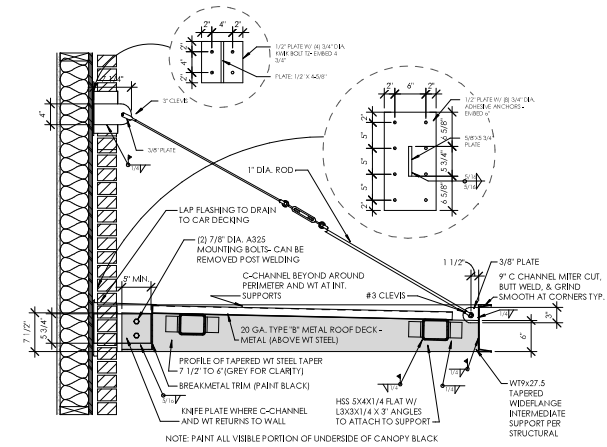
3 EXTERIOR GAIRD @ CONCRETE PATIO
1 1/2" = 1'-0"



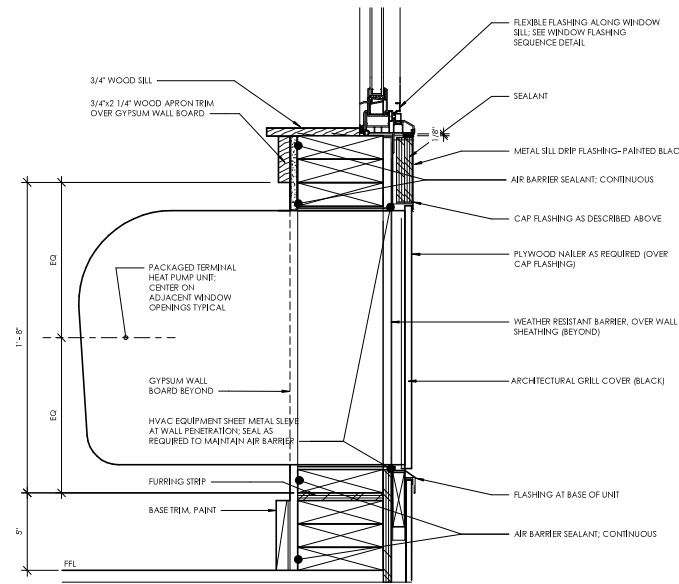
7 EXTERIOR GAIRD @ DECK
1 1/2" = 1'-0"



5 FENCE DETAIL
1 1/2" = 1'-0"

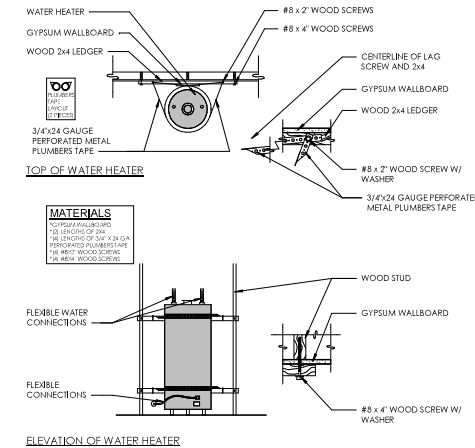


3 CANOPY DETAIL
1 1/2" = 1'-0"

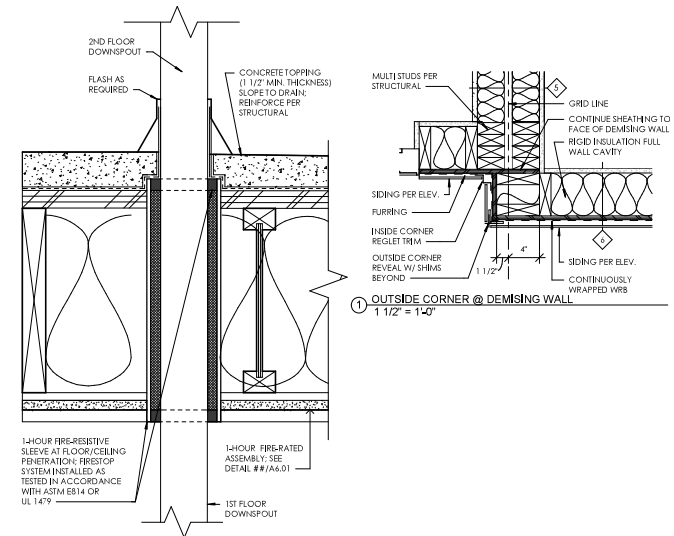


6 PTHP MECHANICAL UNIT
3" = 1'-0"

20-1520



4 WATER HEATER SEISMIC STRAPPING
1/4" = 1'-0"



2 DOWNSPOUT THRU 2ND FLOOR
3" = 1'-0"

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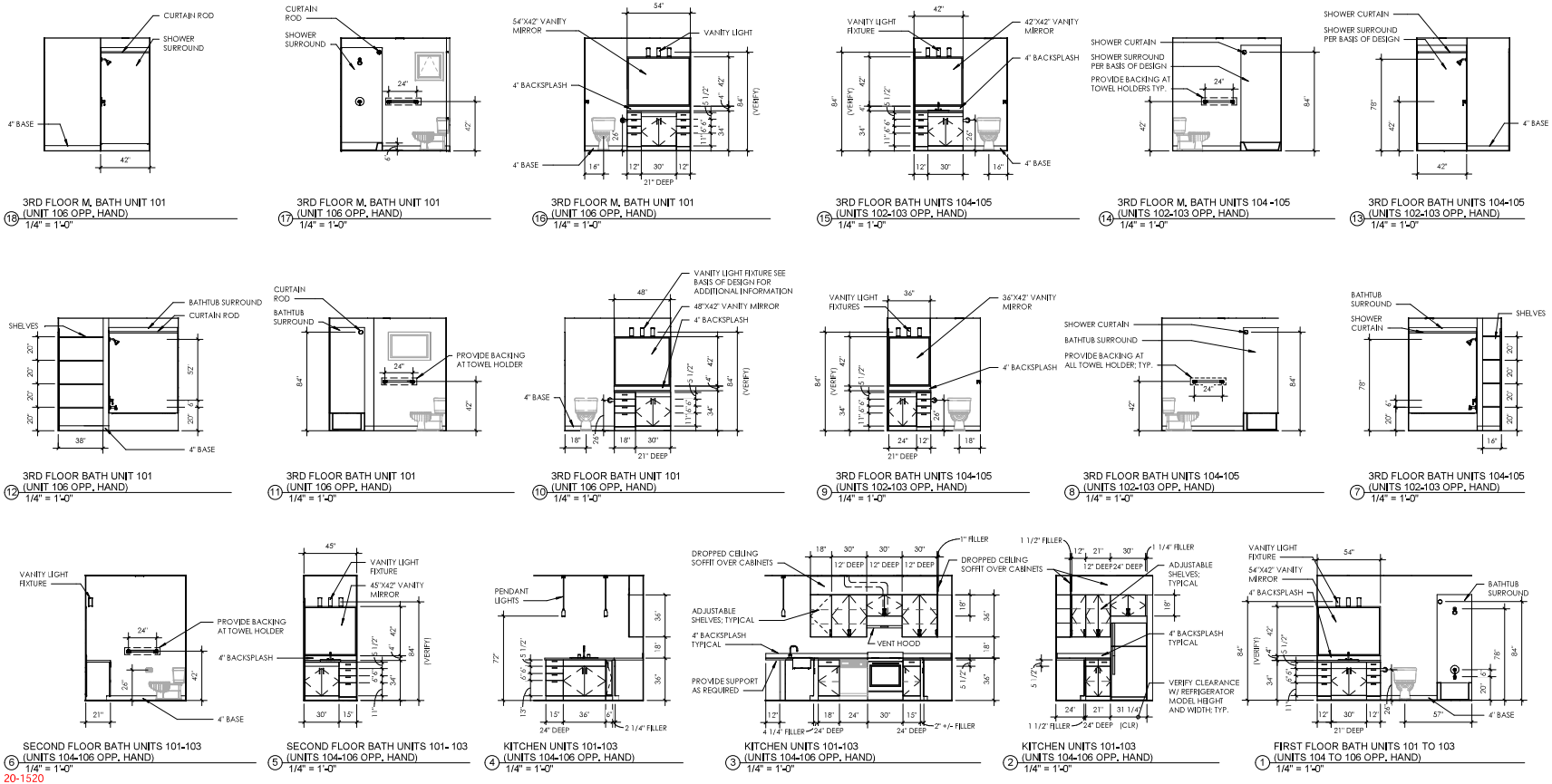
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CD SET
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Olympia
 Building Plans Examiner - CP4D
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 rjennings@olympiawash.com - email
 06/09/2020 8:42:06 AM
 REVIEWS FOR CODE COMPLIANCE:

INTERIOR ELEVATIONS

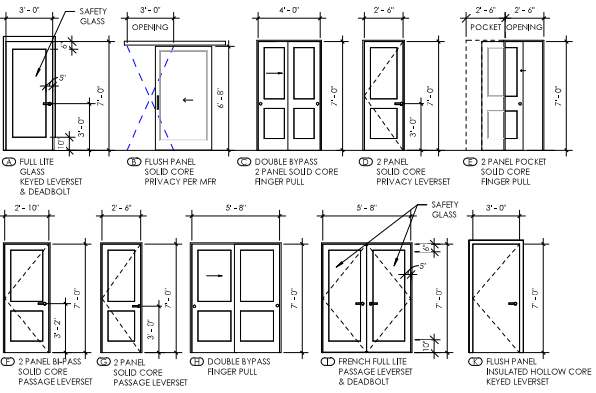
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DOOR SCHEDULE

DOOR TYPE	SIE		DOOR		FRAME		HARDWARE	REMARKS
	Width	Height	MAT.	FIN.	MAT.	FIN.		
A	36"	84"	MIL/CW/D*	FR/ST	STL	PT	1, 5, 6, 7, 8, 9, 12	* METAL CLAD EXTERIOR W/ WOOD INTERIOR. PROVIDE WITH OBSCURE GLASS.
B	36"	80"	SCWD	ST	MFR	NA**	**	** BATH DOOR HARD WARE W/ PRIVACY LOCK. MATCH W/ OIL RUBBED BRONZE FINISH; GWS HEAD AND JAMBS.
C	48"	84"	FR/HGWD	ST	ND	PT	4	CLOSET BYPASS; WOOD TRIM AT HEAD; GWS JAMBS.
D		84"	SCWD	ST	STL	PT	2, 5, 7	
E	30"	84"	SCWD	PT	WD	PT	***	*** POCKET DOOR HARDWARE; MATCH W/ OIL RUBBED BRONZE FINISH.
F	36"	84"	SCWD	ST	STL	PT	3, 5****	**** METAL CLAD EXTERIOR W/ WOOD INTERIOR. VERIFY ACTIVE (A) AND PASSIVE (P) LEAF. SEE FLOOR PLAN FOR LOCATIONS.
G	30"	84"	SCWD	ST	STL	PT	3, 5	
H	68"	84"	FR/HGWD	ST	WD	PT	4	CLOSET BYPASS; WOOD TRIM AT HEAD; GWS JAMBS.
I	72"	84"	MIL/CW/D****	FR/ST	WD	PT	3, 5, 6, 7, 8, 9, 11, 12	



DOOR TYPES

1/4" = 1'-0"

HARDWARE TYPES - DESIGN BASIS

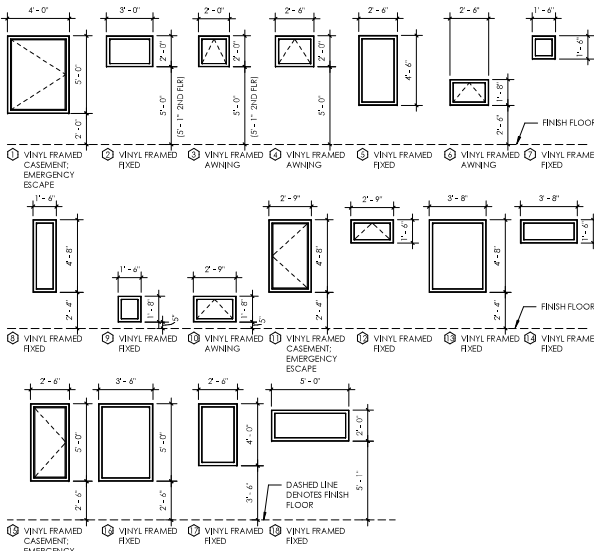
1	ENTRY	KEYED LEVERSET
2	PRIVACY	PRIVACY LEVERSET
3	PASSAGE	PASSAGE LEVERSET
4	BYPASS	FINGER PULL
5	HINGES	OIL RUBBED BRONZE FINISH
6	DEAD BOLT	OIL RUBBED BRONZE FINISH
7	DOOR BUMPER	WALL MOUNTED DOOR BUMPER
8	SMOKE / WEATHER SEAL	BLACK
9	THRESHOLD	BLACK
10	KEYPAD	COATED LOCK, OIL RUBBED BRONZE FINISH
11	FLUSH STOP	RECESSED FLUSH STOP
12	DOOR STOP	HECK DOWN DOOR STOP

GENERAL DOOR AND HARDWARE NOTES

- ALL SLIDE HINGE DOORS TO HAVE 1/2" PAIR OF HINGES, STOP, SILENCER, AND LATCH SET WITH LEVER HANDLE, UNLESS NOTED OTHERWISE (UNO).
- ALL HARDWARE TO BE HEAVY DUTY COMMERCIAL GRADE (SCHAFFNER, CORBIN, RUSSELL, OR APPROVED EQUAL) BY OTHERS.
- EXTERIOR DOORS TO HAVE LOCK, THRESHOLD, WEATHER STRIPPING, DOOR BOTTOM SWEEP, AND CLOSER.
- ALL DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. CLOSER SHALL CONFORM TO OPENING FORCE REQUIREMENTS OF IBC 1008.1.3. ALL DOORS WITH CLOSER TO HAVE 10" HIGH x (WIDTH OF DOOR - 2") METAL KICKPLATE TO MATCH DOOR HARDWARE.
- LOCKS, LOCKING FUNCTION, APPROPRIATE SOUND/LIGHT GASKET, AND SWEEP OF ALL DOORS TO BE COORDINATED AND VERIFIED WITH OWNER.
- ALL GLAZING IN DOORS AND HAZARDOUS LOCATIONS TO BE SAFETY GLAZING PER IBC 2406.4.1 THROUGH 2406.4.7.
- EXTERIOR DOOR THRESHOLD SHALL BE NO GREATER THAN 3/4"; SEE CODE REVIEW NOTES FOR ADDITIONAL ACCESSIBILITY INFORMATION. MAXIMUM AIR INFILTRATION RATE TO COMPLY WITH TABLE 402.4.3 OF THE WAC 511C-0202.3. SWINGING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.5 CFM PER SQUARE FOOT.
- ALL EXTERIOR DOORS SHALL BE AAMA PERFORMANCE RATED DOOR TO MEET MINIMUM THERMAL PERFORMANCE CRITERIA AND AIR LEAKAGE PER THE ENERGY CODE, WITH A WATER PENETRATION RESISTANCE RATING.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM A.F.T.
- FINISH OF HINGES TO MATCH LEVER HARDWARE AT EACH DOOR.
- VERIFY STEEL DOOR FINISHES WITH OWNER, FACTORY FINISH OR PAINTED IN FIELD.
- SEE DOOR BASIS OF DESIGN FOR ADDITIONAL INFORMATION.

ABBREVIATIONS:

AL	ALUMINUM	INSUL	INSULATED
AV	AWNING VENT WINDOW	LVP	LUXURY VINYL PLANKS
BB	BAMBOO	PAF	PAINT
CW	CASEMENT WINDOW	PF	PICTURE WINDOW
CONC	CONCRETE	PW	PICTURE WINDOW
CPT	CARPET	RBR	RUBBER
CV	COVERED VINYL	SWGP	SOLID WOOD W/ GLAZED PANELS
FF	FACTORY FINISH	SCWP	SOLID CORE WOOD
FG	FIBERGLASS	SWVP	SOLID WOOD W/ WOOD PANELS
FGFP	FIBERGLASS W/ GLAZED PANELS	SH	SINGLE HUNG WINDOW
GL	GLAZING	SKY	SKYLIGHT
GWB	GYPSUM WALL BOARD	SL	HORIZONTAL SLIDER WINDOW
HM	HOLLOW METAL	ST	STEEL
HW	HOPPER WINDOW	STL	STAIN
HCWD	HOLLOW CORE WOOD	V	VINYL
		WD	WOOD



BASIS OF DESIGN: WESTMAN MILL TOWNHOMES

SITE FINISHES

- SITE FINISHES**
PATIOS AND WALKWAYS
- CONCRETE WITH BROOM FINISH (JUNO)
 - BOARDWALK: STAMPED CONCRETE, SLIP RESISTANT

- SCREENING**
- N/A (EXISTING; SEE PERMIT # 18-1531)

- BIKE RACKS**
- N/A (EXISTING; SEE PERMIT # 18-1531)

EXTERIOR BUILDING FINISHES

- ROOFING**
- TPO ROOF MEMBRANE, CLASS C

- SIDING**
- FIBER CEMENT SIDING-1: JAMES HARDIE, 5/16" HARDIE PANEL FIBER CEMENT SIDING (OR EQUAL), SMOOTH, PRIME AND PAINT WITH SHERWIN WILLIAMS COLOR TBD.
 - FIBER CEMENT SIDING-2: ARTISAN, 3/4" REVEL CHANNEL FIBER CEMENT SIDING, 9" EXPOSURE, SMOOTH, PRIME AND PAINT WITH SHERWIN WILLIAMS COLOR TBD.

- BRICK: MUTUAL MATERIALS – FACE BRICK – COLOR: FOREST BLEND, BONY, COAL CREEK
 - SOLIDER COURSE: MUTUAL MATERIALS – FACE BRICK – COAL CREEK
 - SILL COURSE: MUTUAL MATERIALS – FACE BRICK – COAL CREEK

- CONCRETE LEVEL 5 FINISH; SEAL AS REQUIRED; PAINT WITH ANTI GRAFFITI COATING

TRIM

- WINDOW TRIM:
 - COLOR: MATCH WITH EXPOSED STRUCTURAL METAL
 - SILL: 5/4" x6" CEDAR (HBBT), SLOPE TO DRAIN, PRIME AND PAINT
 - MISCELLANEOUS: EXPOSED METAL, REVEAL TRIM, AND FLASHING; PRIME AND PAINT
- EAVES FASCIA (BEHIND GUTTERS): 5/4" x6" CEDAR; PRIME AND PAINT TO MATCH STRUCTURAL STEEL
- GABLE FASCIA: 1x3 CEDAR RAKE ON 5/4" x8 CEDAR FASCIA; PRIME AND PAINT
- COLOR: MATCH EXPOSED STRUCTURAL METAL
- DOOR FRAME/TRIM: HOLLOW METAL DOOR FRAME AT ENTRY, PRIME AND PAINT
- COLOR: MATCH EXPOSED STRUCTURAL METAL

- WALL SIDING CORNER TRIM: FRY REGLET (OR EQUAL), PRIME AND PAINT TO MATCH EXPOSED STRUCTURAL METAL
 - COLOR: MATCH EXPOSED STRUCTURAL METAL
 - OUTER CORNER: FCP-LFO/SCNR (AT 3/8" PANEL)
 - OUTER CORNER: FCP-LFO/SCNR LAP (AT 5/8" CHANNEL SIDING)
 - INNER CORNER: FP - INSIDE CW (AT 3/8" PANEL)
 - INNER CORNER: FCP-WRM757625 (AT 5/8" CHANNEL SIDING)
- WALL SIDING AND WINDOW REVEAL TRIM: FRY REGLET (OR EQUAL), PRIME AND PAINT
- COLOR: MATCH EXPOSED STRUCTURAL METAL

- VERTICAL REVEAL: PCS 50-50 (AT 5/16" PANEL); ALIGN W/ WINDOW SIDE REVEAL
- VERTICAL REVEAL: PCS 75-50 (AT 5/8" CHANNEL SIDING); ALIGN W/ WINDOW SIDE REVEAL
- WINDOW SIDE REVEAL: FPM 75-50 (VERTICAL AT 5/8" CHANNEL SIDING); ALIGN VERTICAL REVEAL
- WINDOW SIDE REVEAL: FPM 50-50 (VERTICAL AT 5/16" PANEL); ALIGN VERTICAL REVEAL
- WINDOW HEAD & SILL: FCP-DRP CAP (AT 5/8" CHANNEL SIDING); ALIGN HORIZONTAL REVEAL
- HORIZONTAL REVEAL: NOM. 1/2" FCP-DLHOT TRIM (AT 5/16" PANEL)
- HORIZONTAL REVEAL: ... (AT 5/8" CHANNEL SIDING); ALIGN W/ WINDOW REVEAL

- RAIN SCREEN VENT STRIP: FRY REGLET (OR EQUAL), PRIME AND PAINT
 - COLOR: MATCH EXPOSED STRUCTURAL METAL
 - FRY REGLET (OR EQUAL): NOM. 3/4" FCP-V3735 (AT 1x FURRING STRIPS)
- WINDOWS**
- PLY-GEM 1500 SERIES OR APPROVED EQUAL: 7/8" HP2+ INSULATED GLASS, WITH WARM EDGE, ARGON, AND ONE LITE OF LOW-E & ONE INTERIOR SURFACE OF LOW-E VINYL FRAMES. COLOR: BLACK; FACTORY FINISH EXTERIOR: WHITE; FACTORY FINISH INTERIOR:
 - MAXIMUM AVERAGE NFRC RATINGS: U-VALUE OF 0.3, SHGC 0.4, PER W50C; SEE WINDOW SCHEDULE FOR MORE INFORMATION.
 - PICTURE WINDOWS NFRC RATINGS: U-VALUE OF 0.26, SHGC VALUE OF 0.24, VT VALUE OF 0.47
 - CASEMENT WINDOWS NFRC RATINGS: U-VALUE OF 0.26, SHGC VALUE OF 0.24, VT VALUE OF 0.47
 - AWNING WINDOWS NFRC RATINGS: U-VALUE OF 0.26, SHGC VALUE OF 0.24, VT VALUE OF 0.47

DOORS

- PLY-GEM MIRA SERIES OR APPROVED EQUAL: ALUMINUM CLAD WOOD: 7/8" HP2+ INSULATED GLASS WITH WARM EDGE; MAXIMUM AVERAGE NFRC RATINGS OF U-VALUE 0.3, SHGC 0.4, PER W50C; SEE WINDOW SCHEDULE FOR MORE INFORMATION.
- COLOR: RADIANCE SUNSET; FACTORY FINISH EXTERIOR: NATURAL WOOD; STAIN READY INTERIOR
 - ENTRY DOOR: INSULING; U-VALUE OF 0.34, SHGC VALUE OF 0.21, VT VALUE OF 0.39
 - PATIO DOOR: FRENCH OUTSWING; U-VALUE OF 0.3, SHGC VALUE OF 0.17, VT VALUE OF 0.31

SHEET METAL

- PARAPET COPING CAP, GUTTERS, DOWNSPOUTS, AND SCUPPER/OVERFLOW; FACTORY FINISH TO MATCH EXPOSED STRUCTURAL METAL

EXPOSED STRUCTURAL METAL

- PRIME AND PAINT WITH SHERWIN WILLIAMS "BEST BRONZE" SW 6140

ENTRY CANOPY

- STEEL CHANNEL FRAME
- 3/4" DIA. SUSPENSION ROD WITH ADJUSTABLE TURNBUCKLE
- CORRUGATED METAL CANOPY ROOFING SLOPED TO DRAIN
- PRIME AND PAINT ALL METAL ELEMENTS TO MATCH WINDOW TRIM

EXTERIOR GUARD

- PRIME AND PAINT STEEL MEMBERS TO MATCH WINDOW TRIM.
- POST: 1/2" x 3" STEEL POST; CUSTOM SHAPE (WELD TO 2" X 1/2" CONNECTION PLATE).
- 1/2" SQUARE VERTICAL STEEL PICKETS AT 4" OC.
- TOP RAIL CAP: 2X6 CEDAR; SLOPE TO DRAIN BACK TO BALCONY; STAIN AND SEAL WITH MARINE VARNISH.

EXTERIOR HANDRAIL

- HANDRAIL: GALVANIZED METAL 1 1/2" I.D. PIPE; PRIME AND PAINT TO MATCH WINDOW TRIM

PATIOS

- CONCRETE WITH BROOM FINISH, 1" (MIN.) THICKNESS; SLOPE TO DRAIN AT 1:48 (MAX.)

INTERIOR FINISHES

CEILING

- GWS: LIGHT ORANGE PEEL TEXTURE; PAINT WITH SHERWIN WILLIAMS, COLOR TBD, EGG SHELL SHEEN (JUNO); VERIFY ALL PAINTS WITH TEST SAMPLE BEFORE FINAL PAINTING; COORDINATE W/ OWNER AND DESIGN PROFESSIONAL

WALLS

- GWS WALLS: LIGHT ORANGE PEEL TEXTURE; PAINT WITH SHERWIN WILLIAMS, COLOR TBD, EGG SHELL SHEEN (JUNO); VERIFY ALL PAINTS WITH TEST SAMPLE BEFORE FINAL PAINTING; COORDINATE W/ OWNER AND DESIGN PROFESSIONAL

WALL BASE

- AT CARPETED AREAS: 4" RUBBER BASE: JOHNSONITE MANDALAY; COLOR TBD
- AT VINYL FLOORING: 4" PAINT GRADE WOOD TRIM, PAINT: SHERWIN WILLIAMS, COLOR TBD
- AT TILE FLOORING: 4" TILE BASE TO MATCH 4" X 4" SINGLE BULLNOSE

DOORS AND HARDWARE

- TIMELY C1-SERIES PRE-FINISHED STEEL DOOR FRAME W/ 1A-23 TRIM, PRIME AND PAINT TO MATCH W/ WINDOW TRIM
- AT RATED METAL FRAMES: TIMELY (OR EQUAL) PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL; COLOR TBD
- SOLID CORE WOOD LEAF: SIMPSON; FLUSH PANEL (VERTICAL GRAIN FR) WITH CLEAR STAIN FINISH; OR EQUAL
- STEEL DOOR LEAF: PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL
- METAL FRAMES: TIMELY (OR EQUAL) PRIMED AND PAINTED WITH SHERWIN WILLIAMS ENAMEL
- HARDWARE: ALL SIDE HINGE SWING DOORS TO HAVE 1 1/2" PAIR OF HINGES, STOP, SILENCER, AND LATCH SET WITH LEVER DOOR HANDLE "ATHENS" OR "SPARTA" LEVER DESIGN (OR EQUAL); 426 "OIL RUBBED BRONZE" FINISH
- SEE DOOR SCHEDULE NOTES FOR ADDITIONAL INFORMATION

ELECTRICAL TRIM: WHITE

FLOORING

- AT ALL UNITS: VINYL PLANK: KARNDIEN K-TRADE SERIES, PVP151 "VIVARA"; VERIFY WITH OWNER AND ARCHITECT
- AT ALL BATHROOMS: 12X24 TILE UNITE TILE – CROSSVILLE; GOTHAM-A-Y224 MAINLINE; VERIFY GROUT AND MATCHING CAULK WITH OWNER AND ARCHITECT
- AT ENTRY: STAINED CONCRETE; VERIFY COLOR WITH OWNER AND ARCHITECT
- STAIRWAYS: CARPET TILE OR SHEET CARPET; VERIFY WITH OWNER AND ARCHITECT

FLOOR TRANSITIONS

- TYPICALLY USE SCHLUTER SYSTEMS EDGING (OR EQUAL) AT FLOOR MATERIAL TRANSITIONS, STAINLESS STEEL OR DARK ANODIZED ALUMINUM

TRIM

- WALL BASE: SEE WALL BASE (ABOVE)
- WINDOWS: GWS WRAP WITH 5/8" WOOD SILL (ROUNDED NOSE) AND 3/4" APRON TRIM; CLEAR
- FACTORY FINISH
- DOOR FRAMES: SEE DOOR, METAL FRAMES (ABOVE)

WINDOW BLINDS: ROLLER SHADES; LEVOLOR - BLACK-OUT - C-COLOR: WHITE

CASEWORK

- ARISTOKRAFT, BRELLIN, FINISH AND COLOR TBD
- PULLS: STANDARD WIRE PULLS (PANA CENTER TO CENTER) WITH "OIL RUBBED BRONZE" FINISH (JUNO)
- HARDWARE: EUROPEAN HINGES, SOFT-CLOSE, (JUNO)

COUNTERTOP EDGE AND BACKSPLASH: CORIAN QUARTZ

PLUMBING FIXTURES

- TYPICAL:
 - SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
 - VERIFY THE SELECTION AND INSTALLATION OF ALL FIXTURES WITH OWNER

KITCHEN SINK AND FAUCET ALL UNITS:

- SINK: MOEN 2000 SERIES, C992131; (2) EQUAL BOWLS. (1) HOLE (PROVIDE EXTRA HOLES FOR DISH WASHER VENT OR SOAP DISPENSER IF REQUIRED), 33"X22"X8" (WDXD); STAINLESS; EQUAL MAY BE SUBSTITUTED
- FAUCET: KOHLER MODEL K-10433, FORTÉ, CHROME; EQUAL MAY BE SUBSTITUTED

BATHROOM

- LAVATORY: KOHLER: K-2196-1 "PENNINGTON" SELF RIMMING, SINGLE HOLE W/ "WHITE" FINISH; EQUAL MAY BE SUBSTITUTED
- LAVATORY FAUCET: DELTA: ZCC101, CHROME; EQUAL MAY BE SUBSTITUTED
- WATER CLOSET: TOTO: C31248E, "ENTRADA"; 1.28 GPF; MATCH WITH LAVATORY COLOR AND FINISH
- SHOWER ENCLOSURE: KOHLER: K-18160, SONATA, WHITE
- BATHUB AND ENCLOSURE: MODEL# 100LSC, WHITE

BATHROOM ACCESSORIES:

- TOWEL TISSUE DISPENSER: CHROME FINISH
- TOWEL BARS: CHROME FINISH

APPLIANCES AND EQUIPMENT

- TYPICAL:
 - SEE INTERIOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION
 - SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EQUIPMENT INFORMATION
 - VERIFY THE SELECTION AND INSTALLATION OF ALL APPLIANCES AND EQUIPMENT WITH OWNER

KITCHEN

- DISHWASHER: WHIRLPOOL, MODEL# WDF130FPAH, STAINLESS STEEL
- REFRIGERATOR: WHIRLPOOL, MODEL# WRT197UD, STAINLESS STEEL
- RANGE: WHIRLPOOL, MODEL# WFC310, STAINLESS STEEL
- RANGE HOOD: WHIRLPOOL, MODEL# UXT4130, STAINLESS STEEL

LAUNDRY

- WASHING MACHINE: WHIRLPOOL, MODEL# WFW5620HW, WHITE
- DRYER: WHIRLPOOL, MODEL# WED5620HW, WHITE



All work must be performed as per the approved plans, any changes from the approved plans must first be approved by the City of Olympia Building Department (2015 IBC 107.4). Any changes to approved engineered plans must also have written approval from the Engineer of record (2015 IBC 107.3.4).

TOWNHOMES
WESTMAN MILL
 510 STATE AVE., OLYMPIA, WA 98501

Project No: 1514



BASIS OF DESIGN

A8.02

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 City Of Olympia
 Rec. 5-20-20