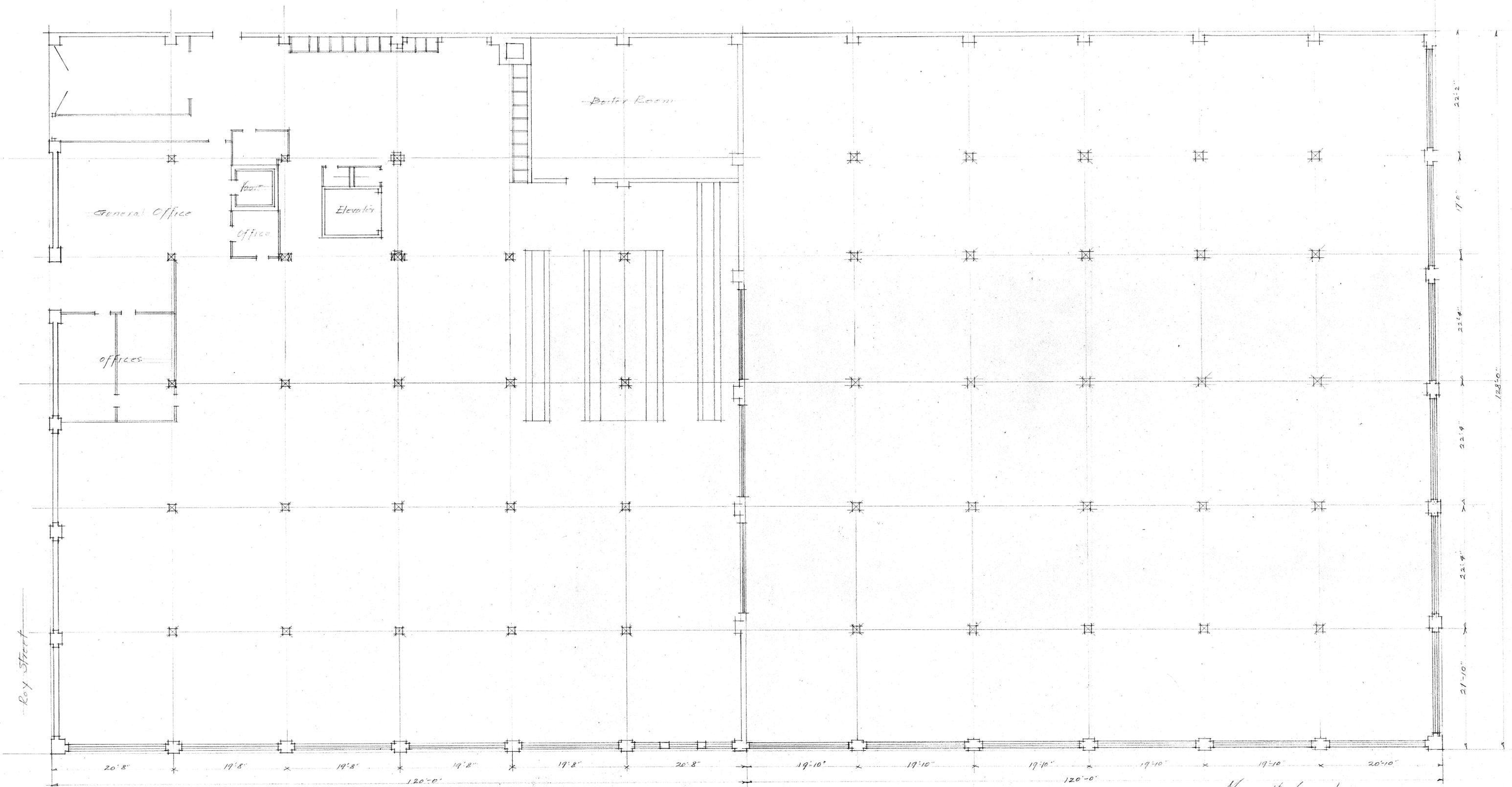


APPENDIX A

PROPERTY INFORMATION

PART 2



Roy Street

General Office

offices

Hall
Office

Elevator

Boiler Room

20'-8"

19'-8"

19'-8"

19'-8"

19'-8"

20'-8"

19'-10"

19'-10"

19'-10"

19'-10"

19'-10"

20'-10"

120'-0"

120'-0"

22'-2"

17'-0"

21'-4"

22'-9"

22'-9"

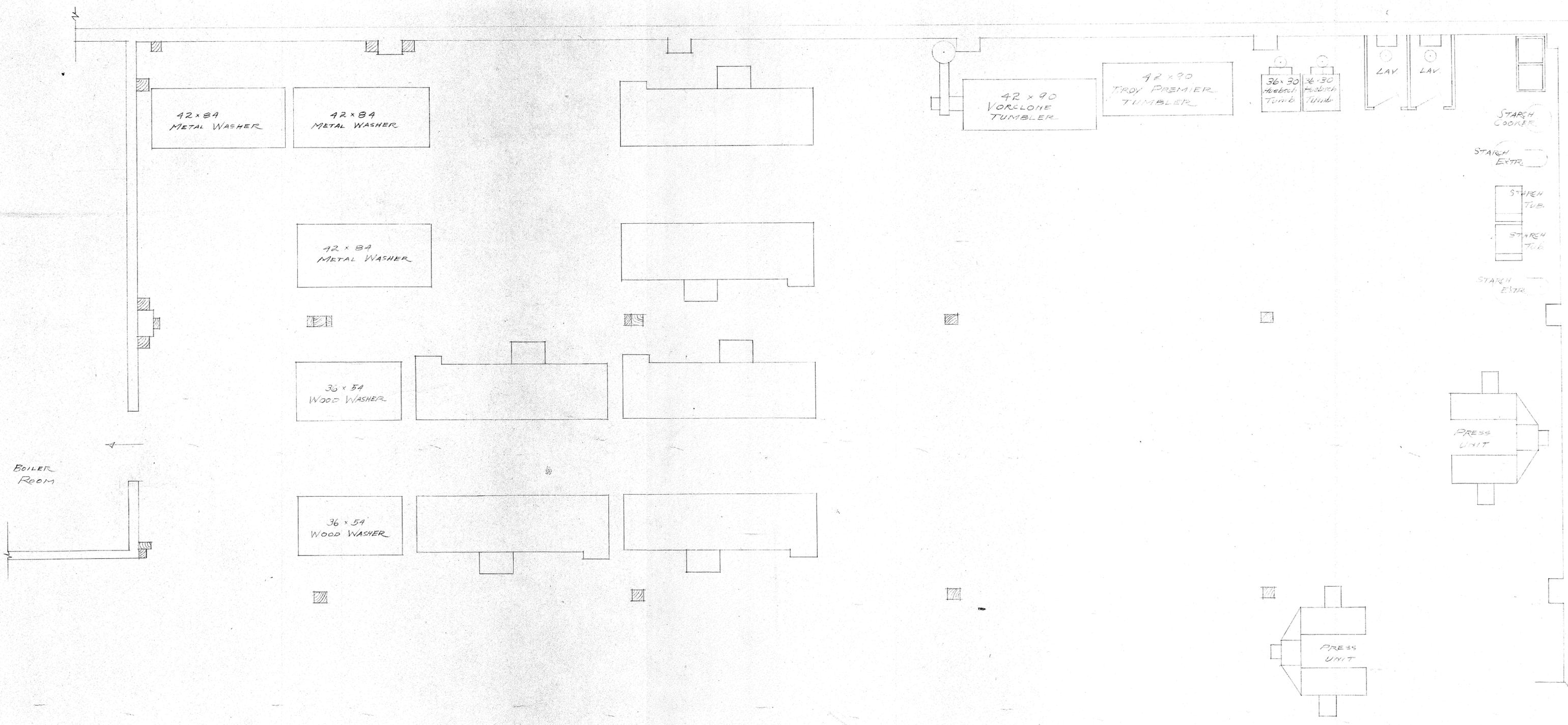
21'-10"

128'-0"

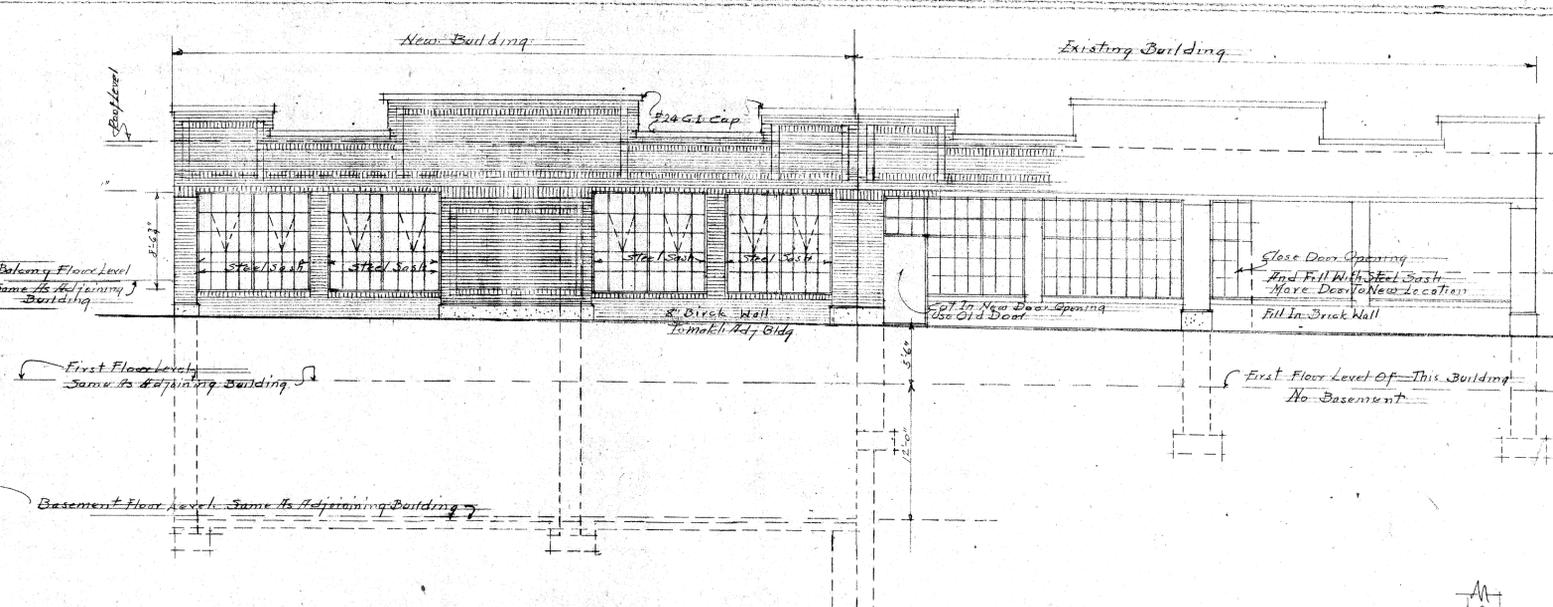
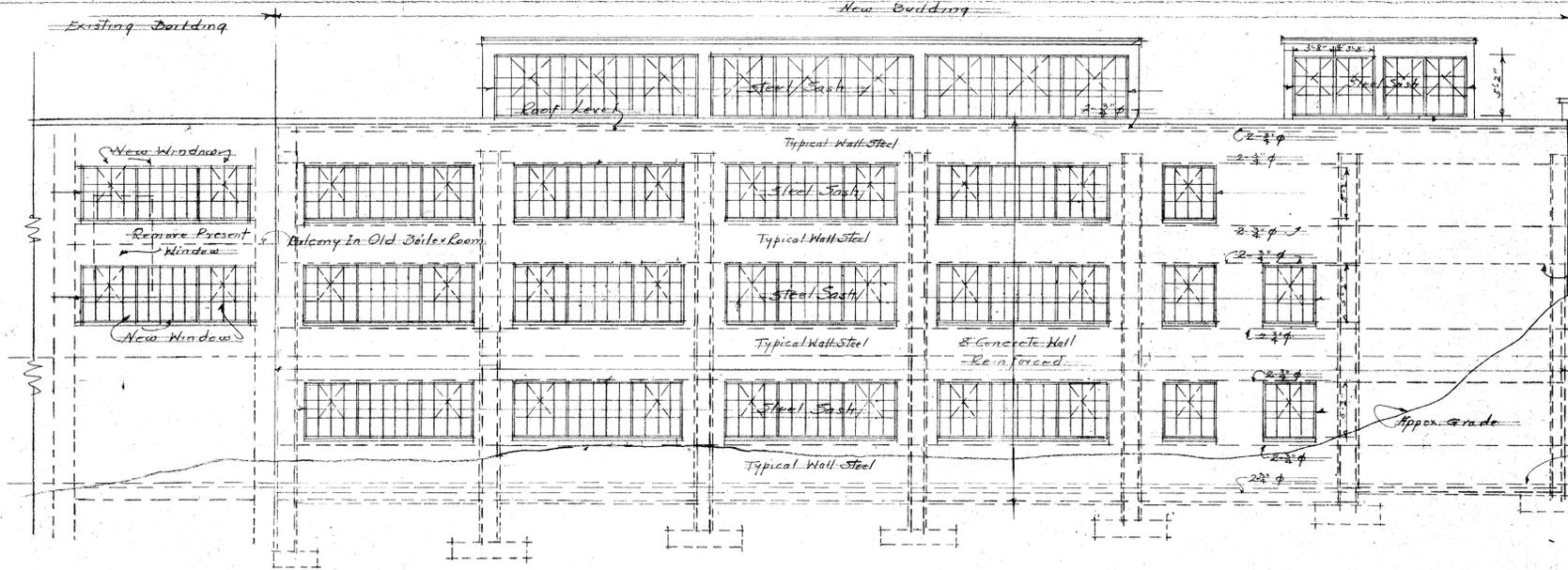
8 Avenue

First Floor Plan
Scale 1/2" = 1 Foot

Maryatt Laundry
V.W. Voorhies Architect

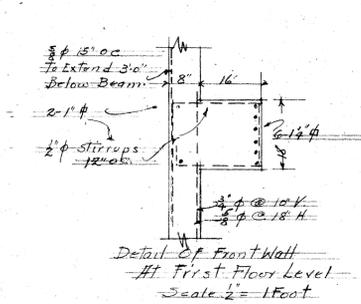


American Linen Supply Co
 Seattle Wash
 DWG 46112 A 6/27/46
 Geo W Hilton A.M.C.

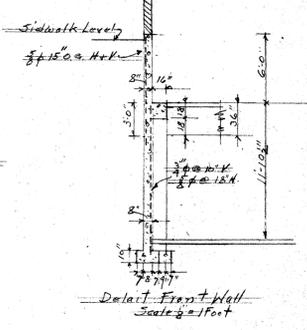


North Side of Present Boiler Room

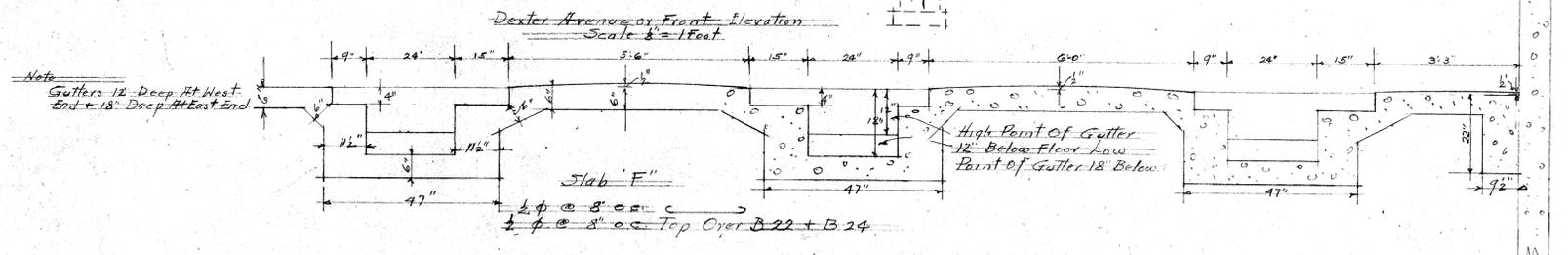
North Side Elevation Scale 1/2" = 1 Foot



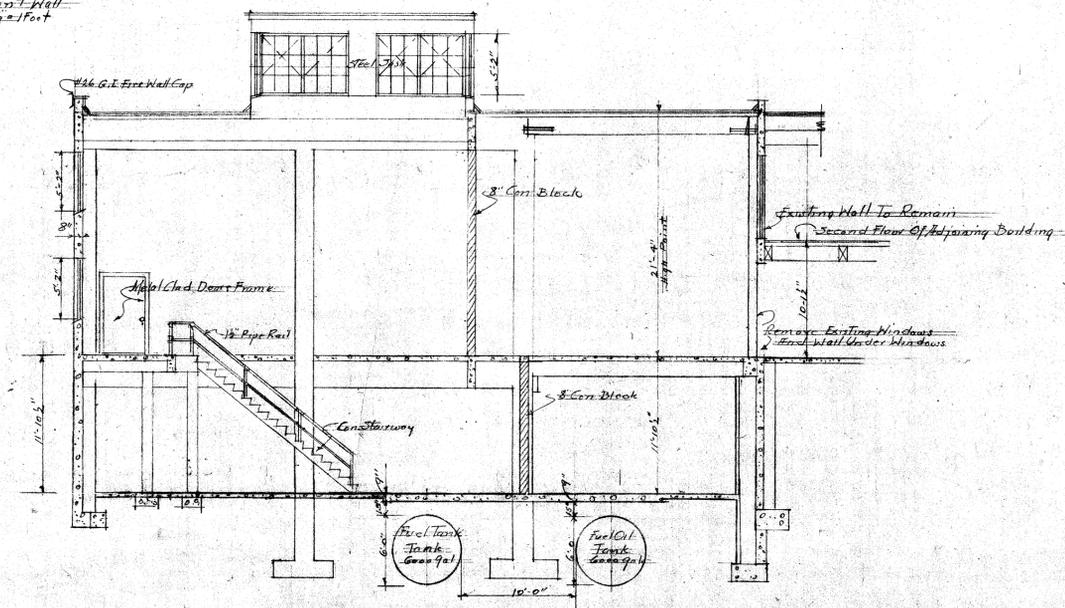
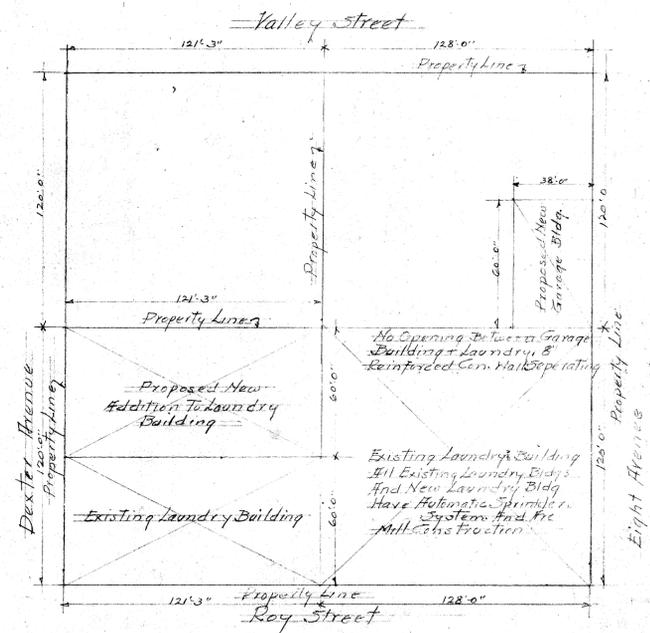
Detail of Front Wall At First Floor Level Scale 1/2" = 1 Foot



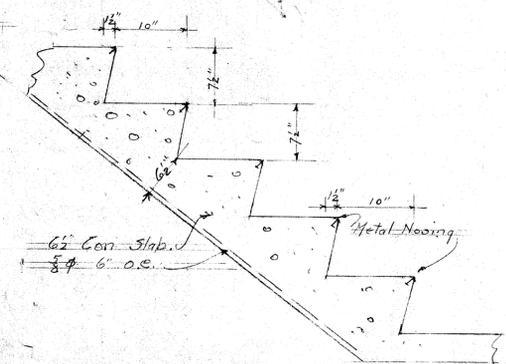
Detail Front Wall Scale 1/2" = 1 Foot



Detail of Gutters in Floor In Floor Over Old Boiler Room Scale 1/2" = 1 Foot

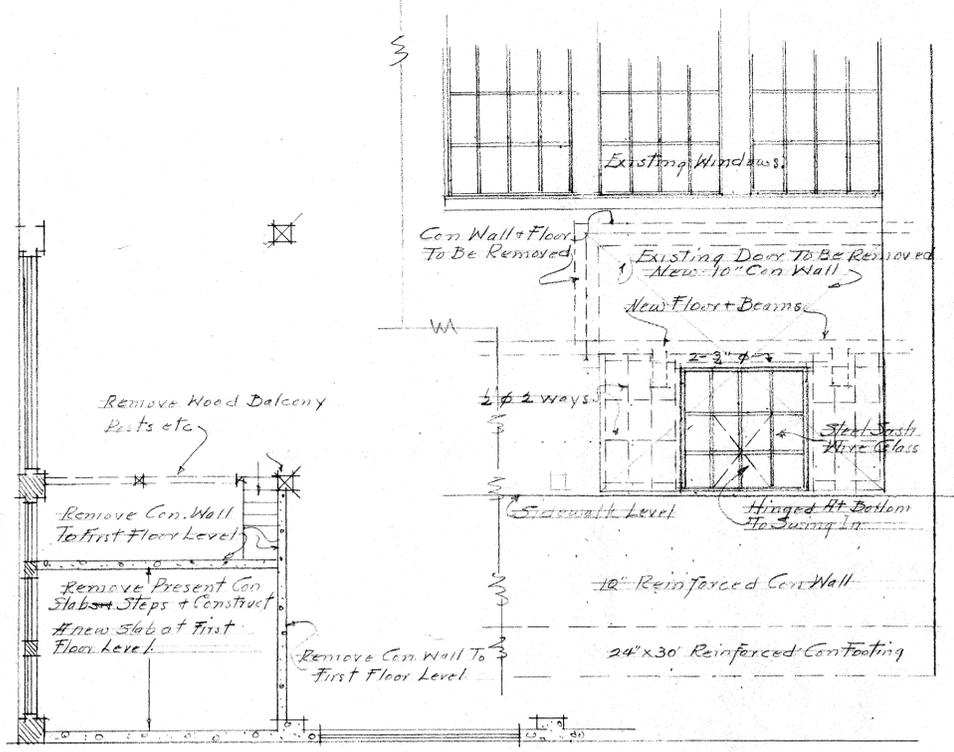


Wall Section Through Boiler Room Scale 1/2" = 1 Foot

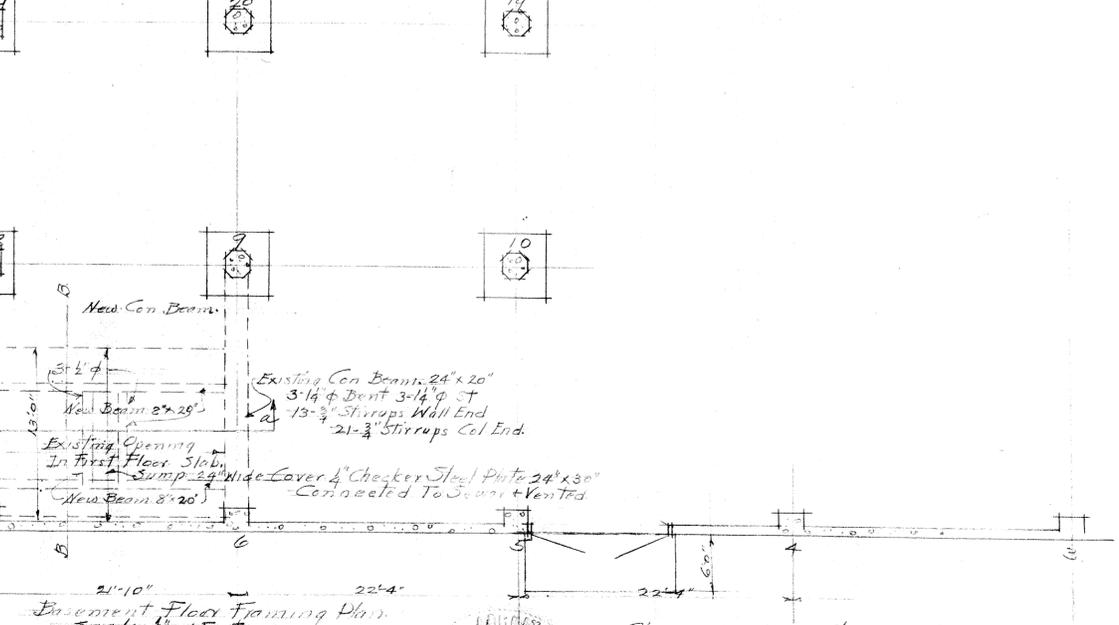
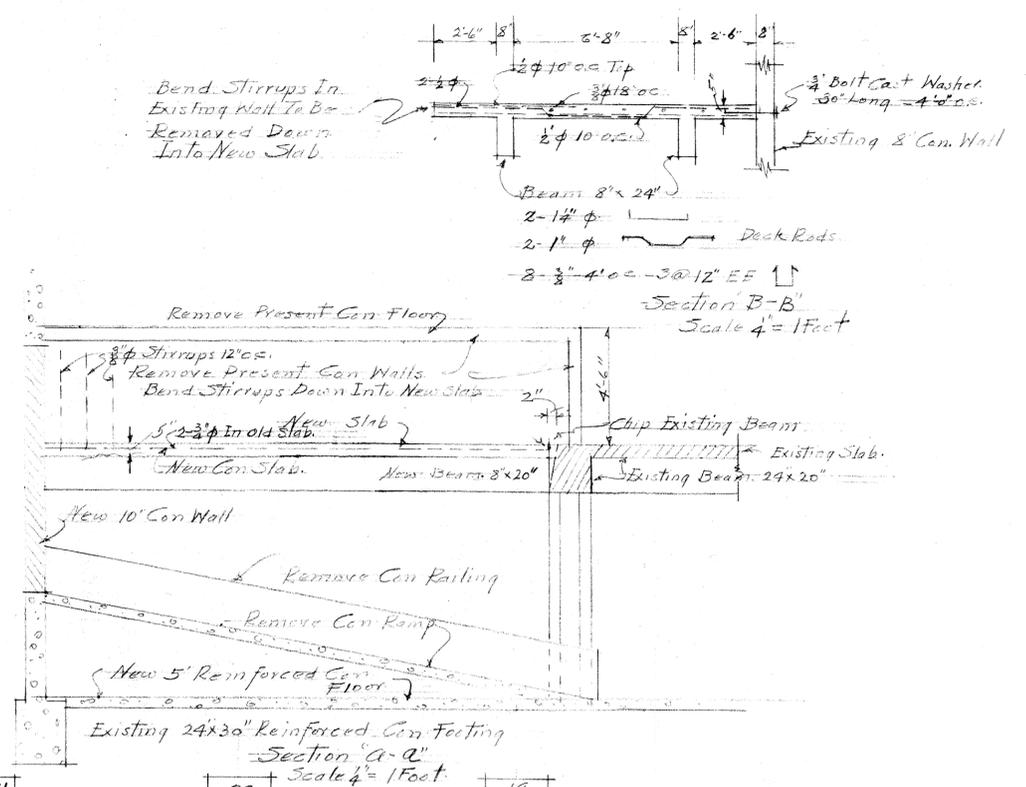
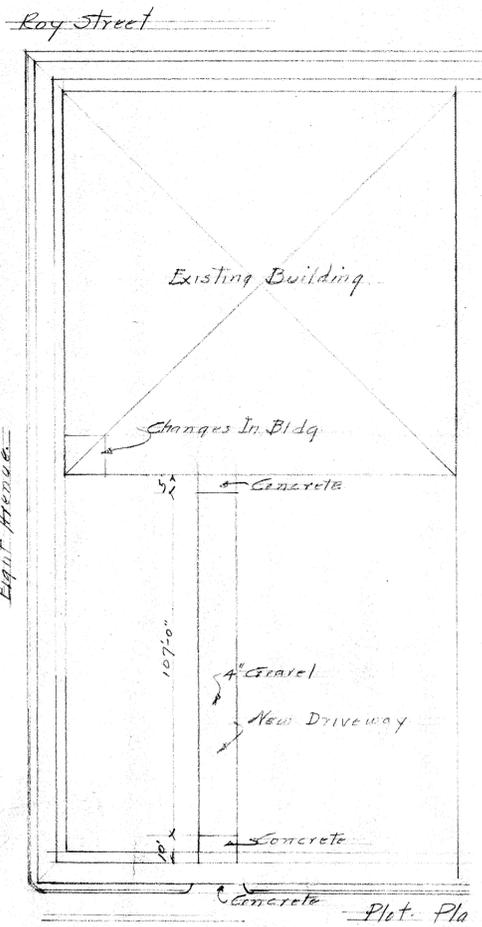


Detail of Concrete Stairway Scale 1/2" = 1 Foot

American Lumber Supply Co. Owners
 Laundry Building at 8th & Roy Street + Dexter Ave
 Seattle Washington
 K.W. Yoakley Architect
 April 10, 1927
 Sheet # 1



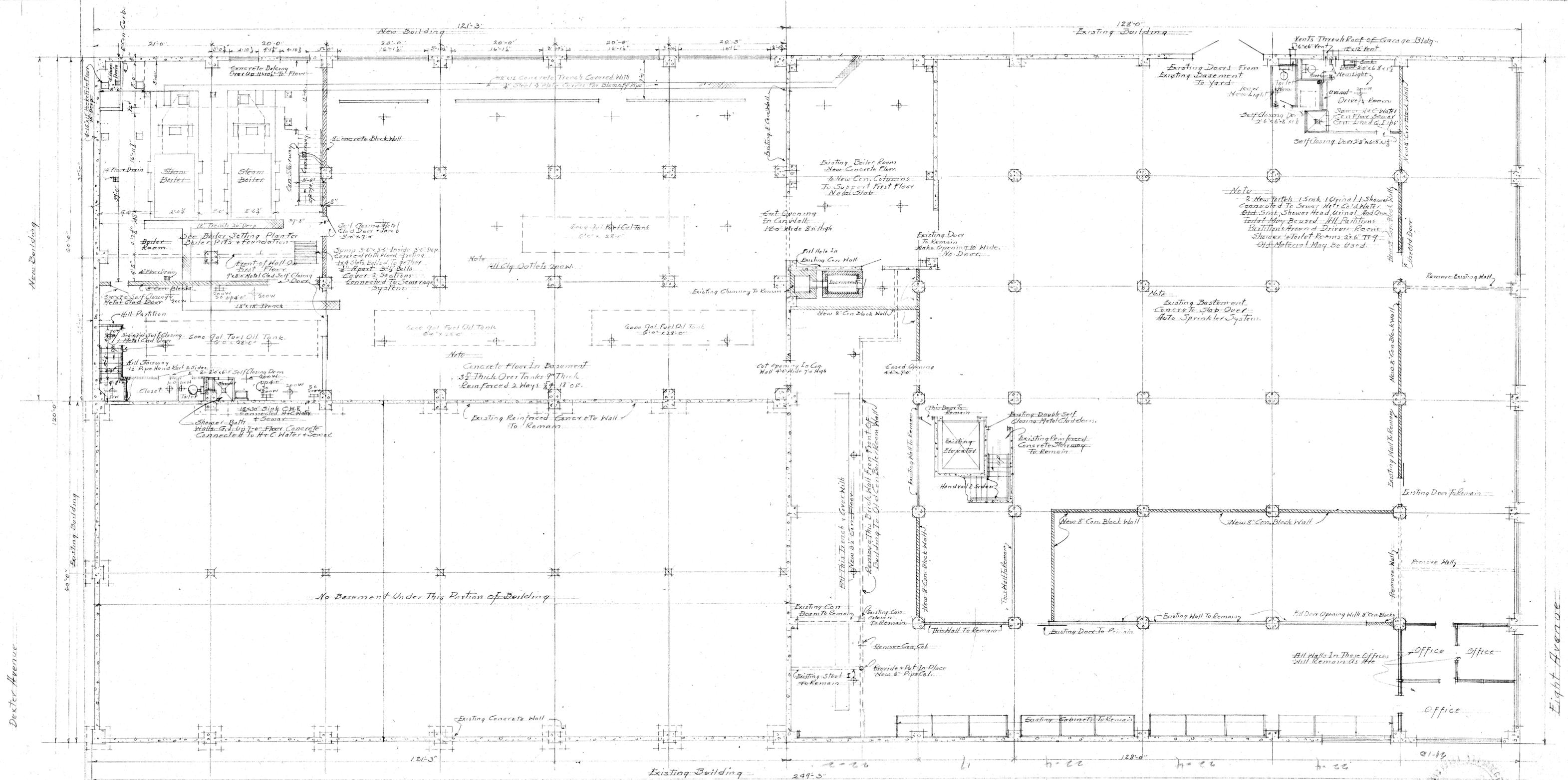
First Floor Plan
 Eight Avenue Elevation
 Showing Door Removed
 And New Window
 Scale $\frac{1}{4}$ " = 1 Foot



Basement Floor Framing Plan
 Scale $\frac{1}{8}$ " = 1 Foot

Plan Showing Changes On First Floor
 And Balcony Of Bldg At 8th & Roy Street
 - American Lumber Supply Co. Owners
 - W. Voorhees Architect





Roy Street

Basement Floor Plan
Scale 1/8" = 1 Foot

Note Shower Added June 26-47

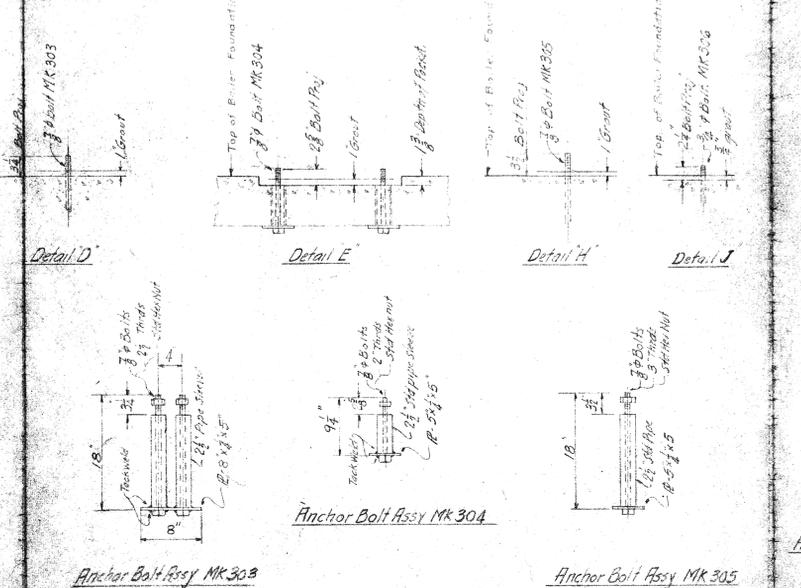
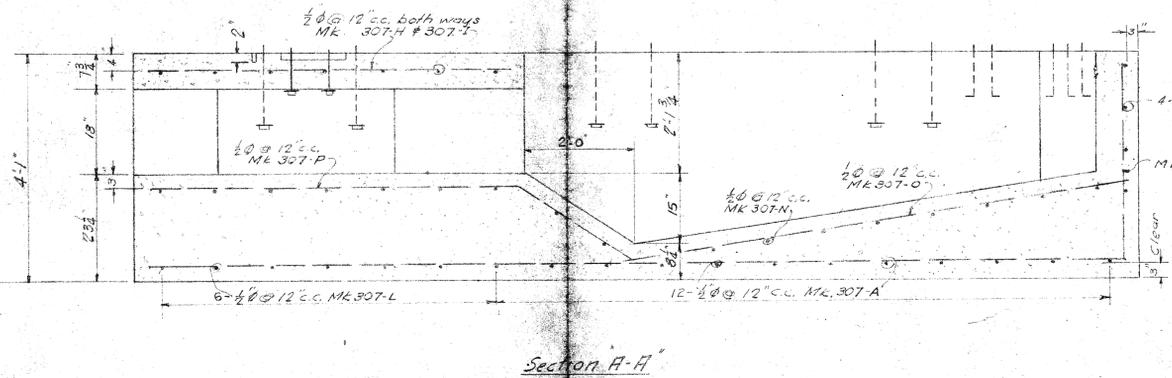
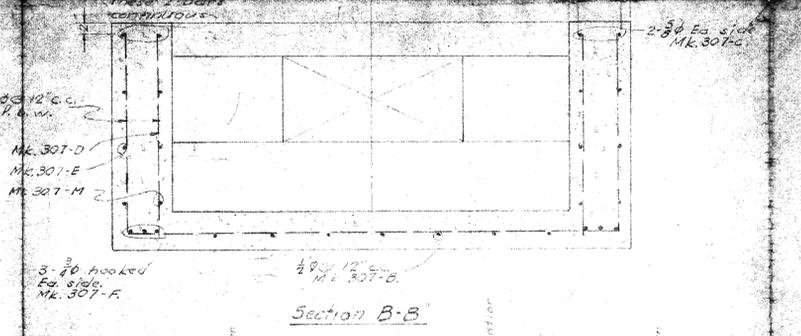
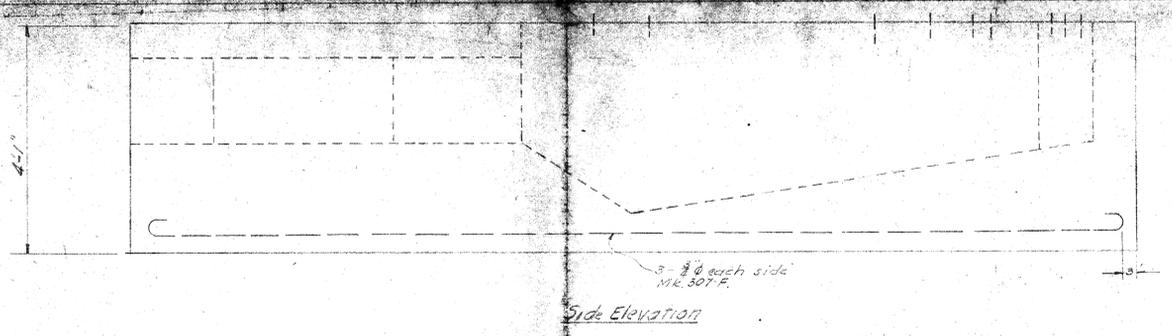
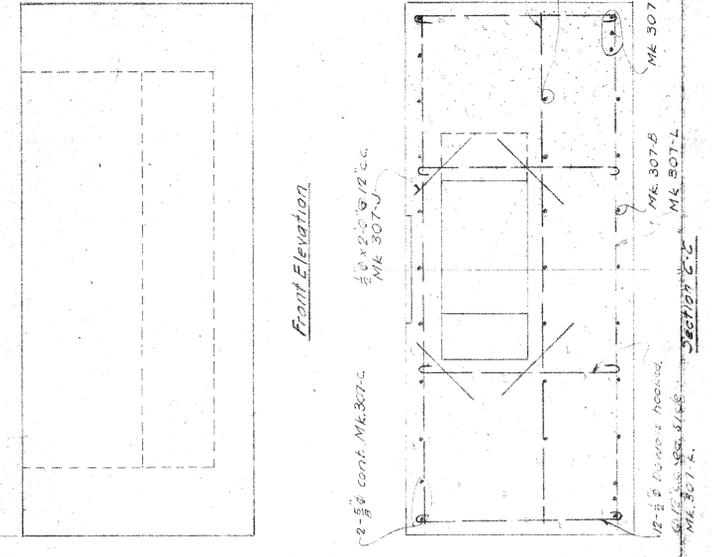
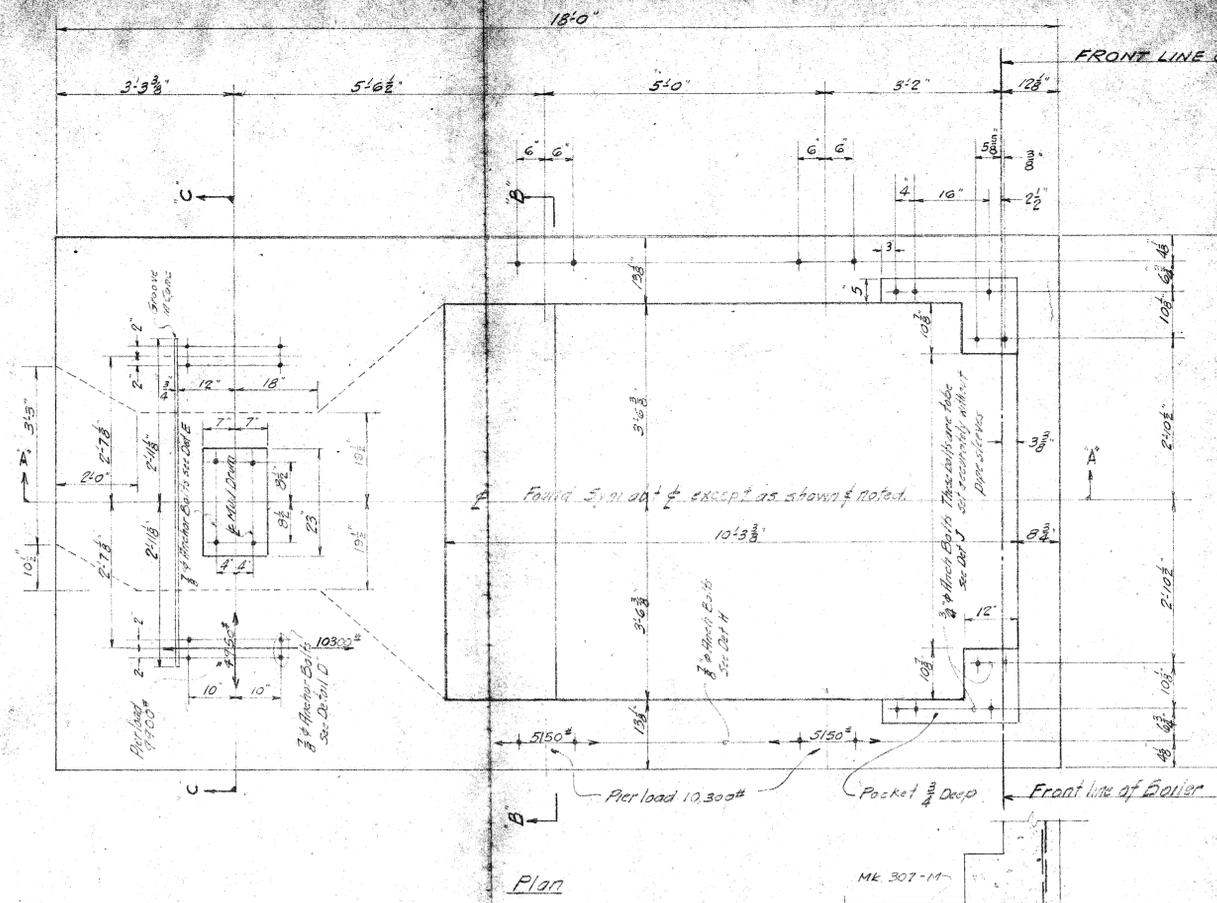
American Linen Supply Co. Owners
Laundry Building at 812 1/2 Roy St. Dexter
Seattle Wash. State
V. W. Voorhies Architect
April 10-1947 Sheet # 4

BILL OF MATERIAL For Two Boilers

MARK	QUANTITY	SIZE	DESCRIPTION	MATL.	REMARKS
301	1	-	Boiler Foundation As Shown	-	See Det.
2	1	-	Boiler Foundation Opp Hand	-	See Det.
3	8	-	Anchor Bolt Assemblies	SH	See Det.
4	8	-	-	-	-
5	16	-	-	-	-
6	20	-	-	-	-
7	-	-	Reinforcing Steel	-	See Schedule
8	-	-	-	-	-
9	-	-	-	-	-

Mark 307 REINFORCING SCHEDULE - For 2 Boilers

MARK	QUANTITY	SIZE	DESCRIPTION	REMARKS
307A	24	16'-1"	1/2" Bottom Bars	
B	14	21'-2"	1/2" Bottom Bars - longit.	
C	8	17'-6"	3/8" Straight	
D	45	3'-5"	1/2" straight - verticals	
E	12	11'-10"	1/2" straight - Horiz.	
F	12	19'-0"	3/4" Hooked.	
G	8	18'-1"	1/2" End wall horizontal	
H	14	6'-8"	1/2" Straight	
I	14	8'-9"	1/2" Straight	
J	45	2'-0"	1/2" Straight	
K	48	4'-5"	1/2" Dovels hooked	
L	12	8'-5"	1/2" Straight	
M	12	14'-6"	1/2" Horiz. Inside side wall.	
N	24	8'-9"	1/4" Horizontal - straight	
O	14	9'-6"	1/2" Longitudinal - straight	
P	14	8'-5"	1/2" Longitudinal - Bent.	



General Notes:
 Foundation is designed for an allowable soil load of 4000²/sq ft.
 Anchor Bolts shall be set with wood form plates. Concrete shall be 1-2-4 mix having a compressive strength of 5000 lbs per sq in. 28 days. Reinforcing steel shall be deformation bars of Intermediate grade.
 Working points to be used in placing boiler foundation in building are "Top of Bolt Found" and "Front Line of Boiler".
 See dwg 5062-2 for Location of Foundations.
 See dwg 5062-4 for Details of F.O.P. Found.

THIS PRINT NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ENDORSED HERE.

DATE [] BY []

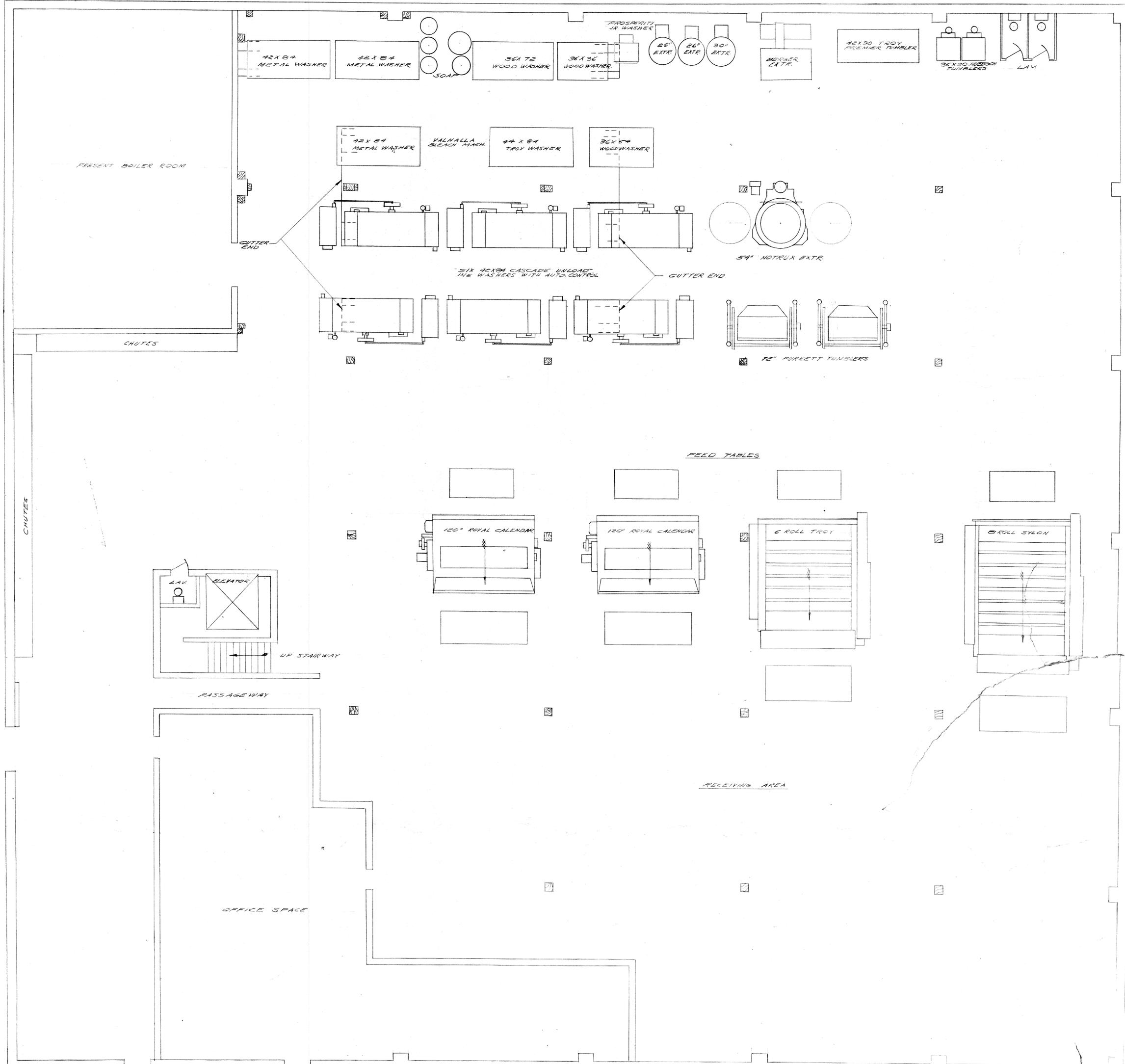
DETAIL OF BOILER FOUNDATION

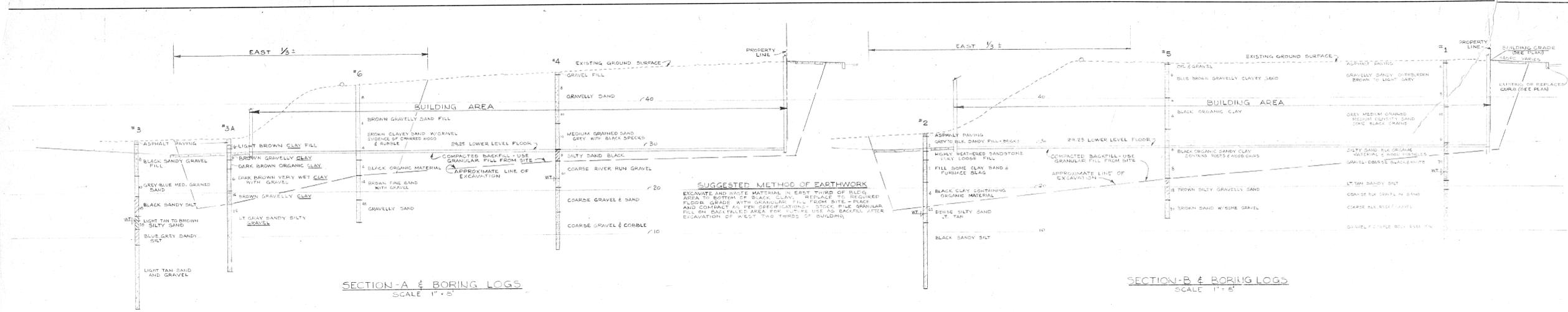
FF12#20

AMERICAN LINEN SUPPLY CO., SEATTLE WASH
C. C. MOORE & CO. ENGINEERS
 INCORPORATED
 PORTLAND VANCOUVER, B.C.
 PHOENIX LOS ANGELES
 SEATTLE MAIN OFFICE: SAN FRANCISCO HONOLULU, H.I.

DRAWN BY [] SCALE 3/8"=1' APPROVED []
 CHECKED BY [] DATE 6/13/27
 ENG. DEPT. FILE NO. []

Boiler Foundation MK 301 As Shown
 Boiler Foundation MK 302 Opp Hand

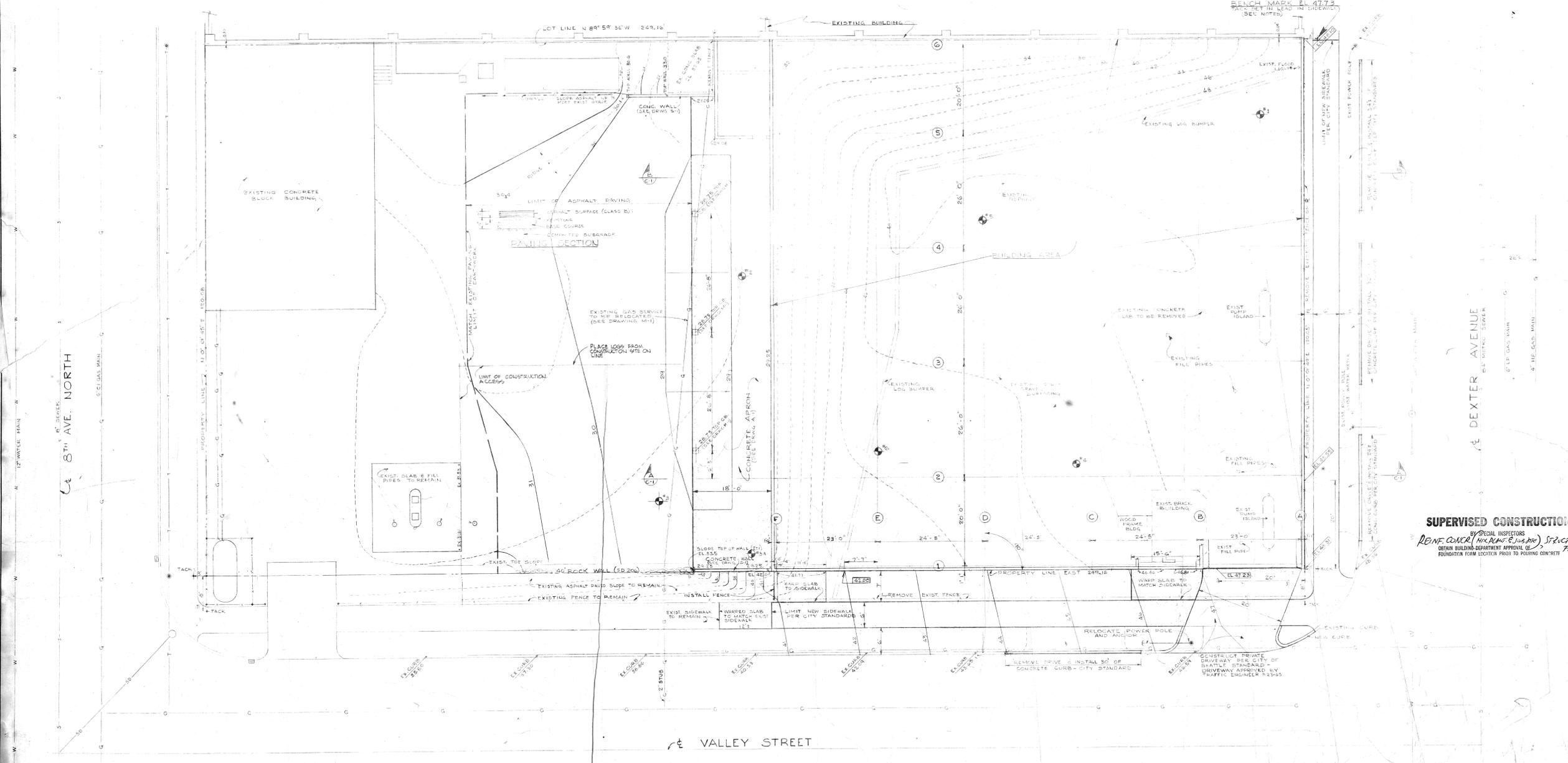




SECTION-A & BORING LOGS
SCALE 1" = 8'

SECTION-B & BORING LOGS
SCALE 1" = 8'

SUGGESTED METHOD OF EARTHWORK
EXCAVATE AND WASTE MATERIAL IN EAST THIRD OF BLOCK AREA TO BOTTOM OF BLACK CLAY. REPLACE TO REQUIRED FLOOR GRADE WITH GRANULAR FILL FROM SITE - PLACE AND COMPACT AS PER SPECIFICATIONS. STOCK THE GRANULAR FILL ON BACKFILLED AREA FOR FUTURE USE AS BACKFILL AFTER EXCAVATION OF WEST TWO THIRDS OF BUILDING.



SITE PLAN
SCALE: 3/8" = 1'-0"

LEGEND

NEW	EXISTING
CONTOUR LINES	CONTOUR LINES
SPOT ELEVATIONS	SPOT ELEVATIONS
CITY BUILDING SHADES	CITY BUILDING SHADES
SOIL BORING LOCATION NUMBER	SOIL BORING LOCATION NUMBER
CONCRETE WALLS ON ISLAND	CONCRETE WALLS ON ISLAND
TACK IN LEAD IN SIDEWALK	TACK IN LEAD IN SIDEWALK
SEWER LINES	SEWER LINES
WATER LINES	WATER LINES
GAS LINES	GAS LINES

NOTES

DATUM - ELEVATION ARE REFERRED TO CITY OF SEATTLE DATUM
BUILDING SECTIONS ARE REFERRED TO THE FOLLOWING:
1-A-A IN BACK OF CONCRETE WALL NORTH OF INTERSECTION OF VALLEY STREET & 8TH AVENUE
2-A-A AT INTERSECTION OF BACK OF CONCRETE WALLS AT 8TH AVENUE & VALLEY STREET - SEE PLAN
CONTRACTOR TO VERIFY BENCH MARK SHOWN ON

CLASSIFICATION

CONSTRUCTION (EXIST. BLDG): TYPE II (W.C.)
CONSTRUCTION (NEW BLDG): TYPE III
OCCUPANCY (NEW BLDG): GROUP III-C
GROUP G (CONCRETE) (GROUP I-B) (GROUP I-C) (GROUP I-D)

LEGAL DESCRIPTION

LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

INDEX TO DRAWINGS

ARCHITECTURAL & CIVIL
C-1 SITE PLAN
A-1 EXISTING BUILDING
A-2 EXISTING PAVING
A-3 EXISTING UTILITIES
A-4 PROPOSED PAVING
A-5 EXISTING UTILITIES
A-6 EXISTING UTILITIES

STRUCTURAL
S-1 TYPICAL WALL
S-2 TYPICAL WALL

MECHANICAL
M-1 BASEMENT PLAN
M-2 FIRST FLOOR PLAN

ELECTRICAL
E-1 BASEMENT PLAN
E-2 FIRST FLOOR PLAN

LAND COVERAGE

EXIST. BLDG	1,120 SQ. FT.
NEW BLDG	4,100 SQ. FT.
MEZZAINE	4,100 SQ. FT.

PARKING

TOTAL VEHICLES (ROOF 120, GROUND 4) : 124

PLUMBING FIXTURE TABULATION

EXIST. BLDG	WC		SINK		FLOOR		TUB		SHOWER		TOTAL	
	UR	LV	WC	LV	WC	LV	WC	LV	WC	LV	WC	LV
0	0	0	0	0	2	2	0	0	0	0	0	0
2	0	2	0	0	2	2	0	0	0	0	0	0
2	1	2	1	1	1	1	0	0	0	0	0	0
0	0	1	0	0	0	0	0	0	0	0	0	0
4	1	5	10	5	TOTAL	5	5	2	0	0	2	0

SUPERVISED CONSTRUCTION
REINFORCING (WALLS & SLABS), STRUCTURE, ELECTRICAL & MECHANICAL
OBTAIN BUILDING DEPARTMENT APPROVAL OF FOUNDATION FORM LOCATION PRIOR TO POURING CONCRETE

ROY ST

DEALEY AVE

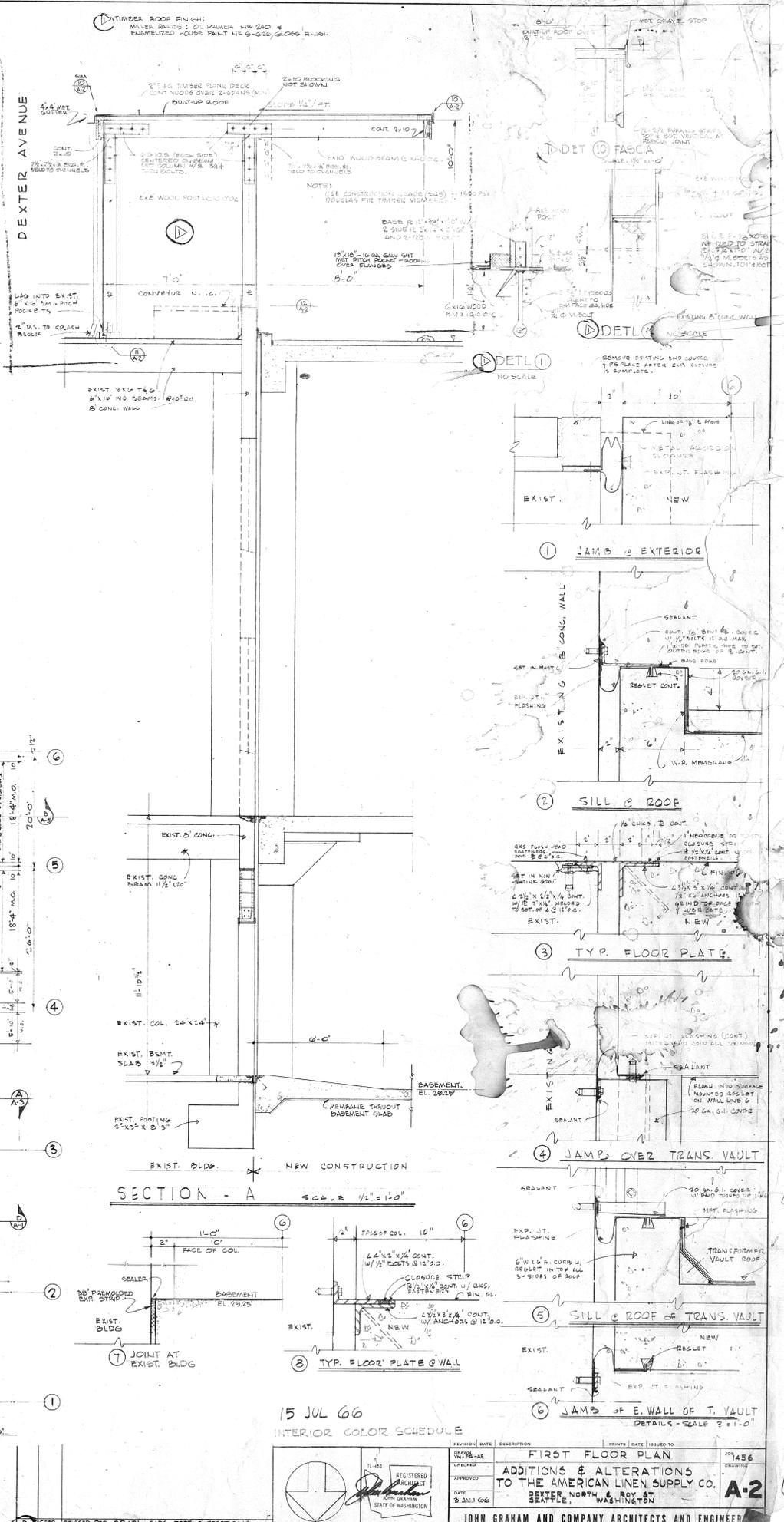
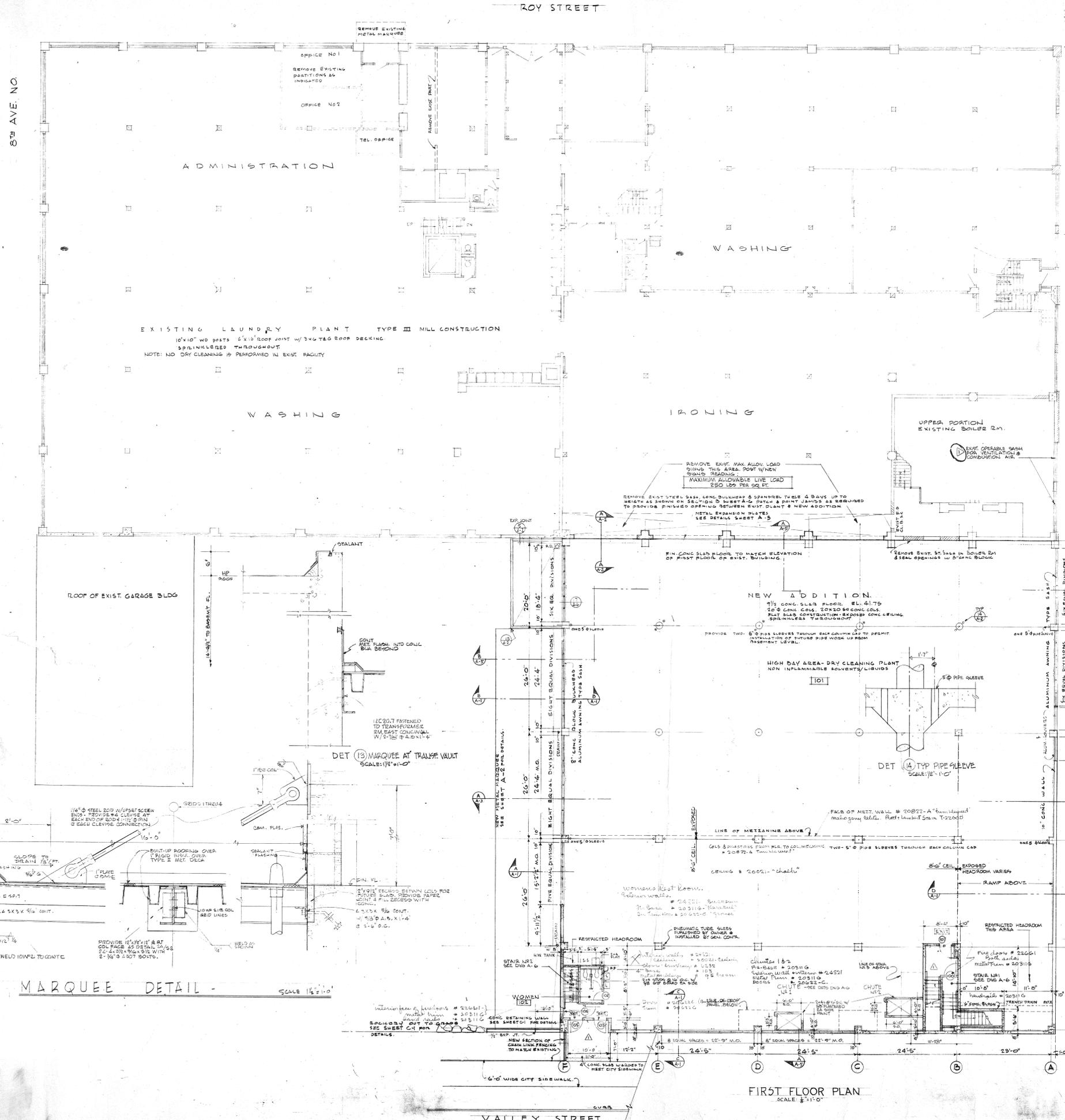
VALLEY ST

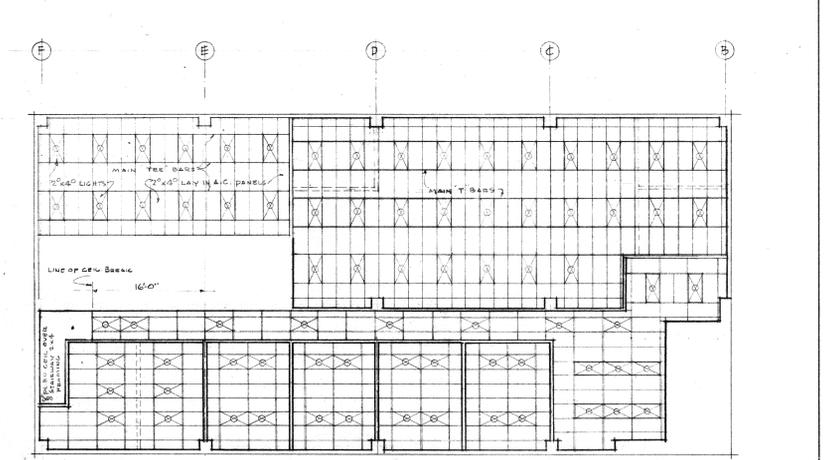
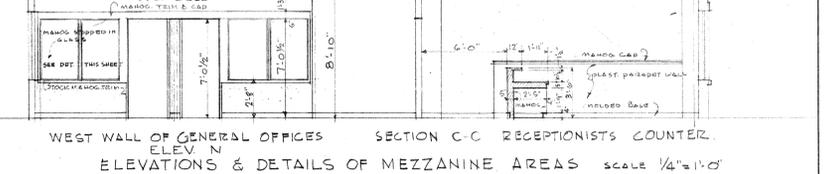
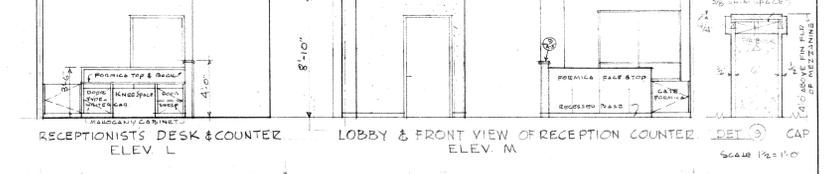
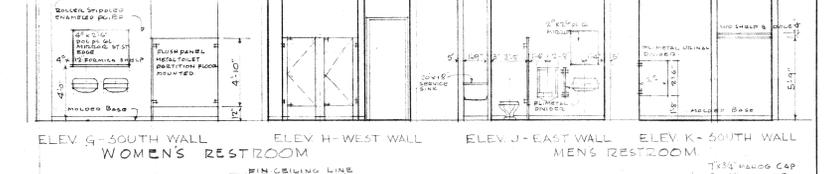
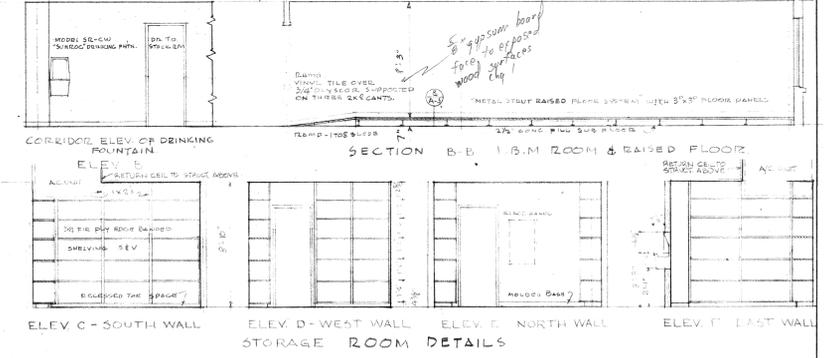
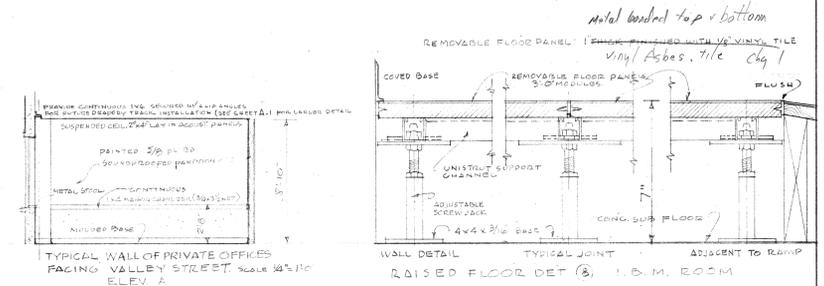
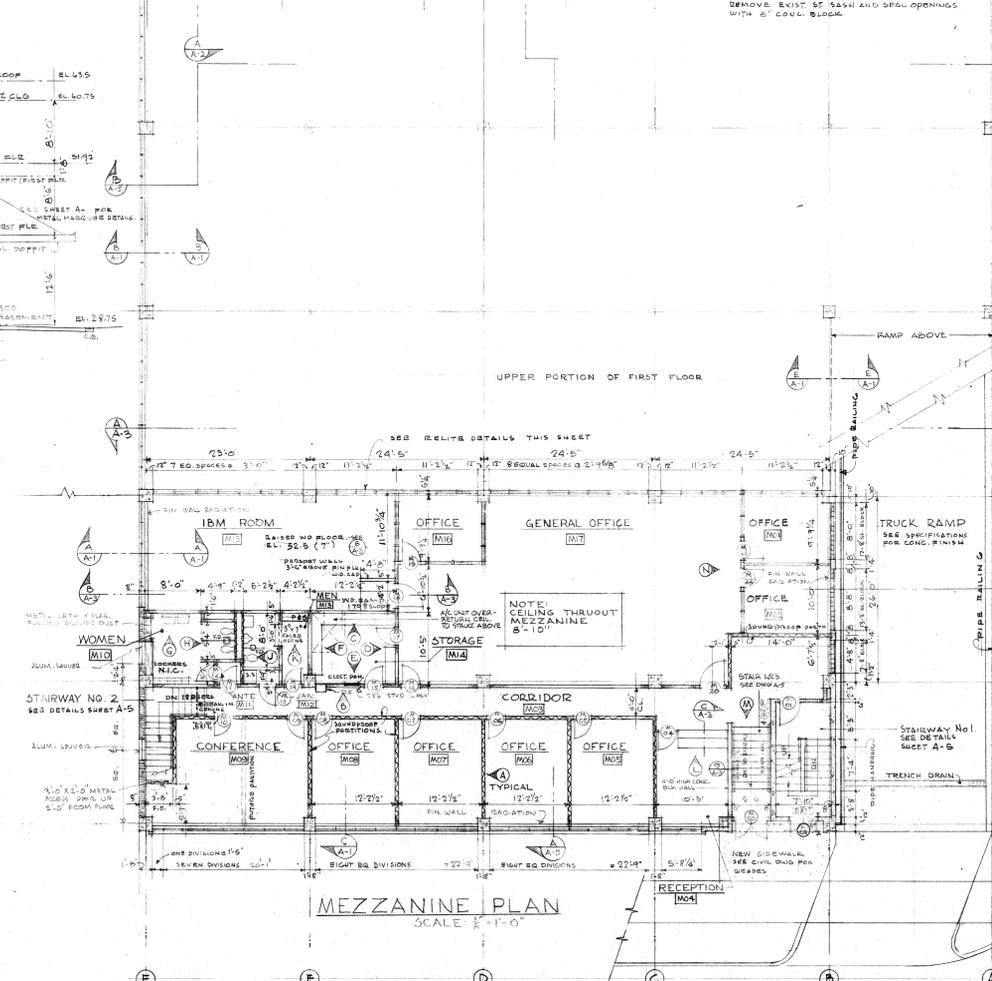
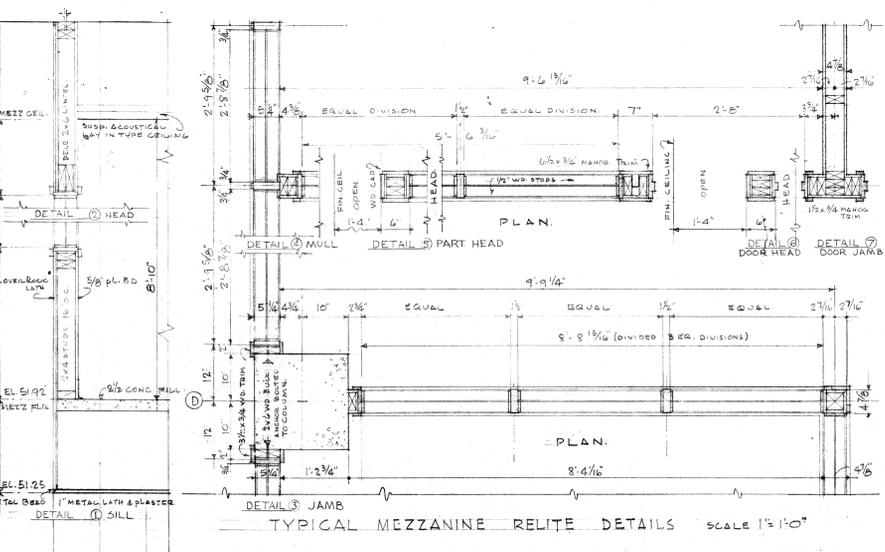
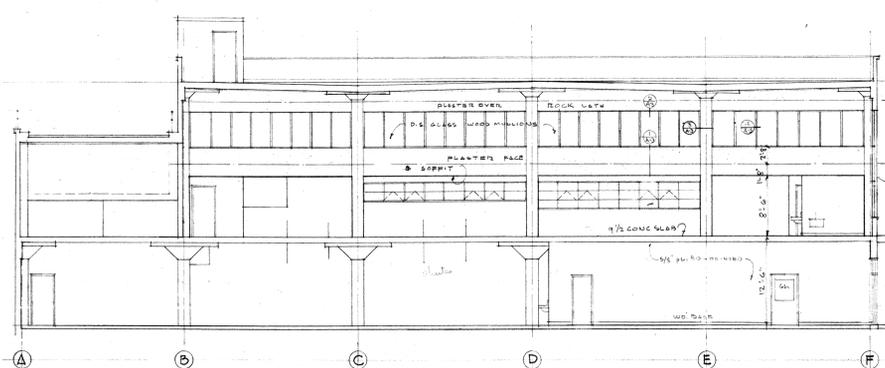
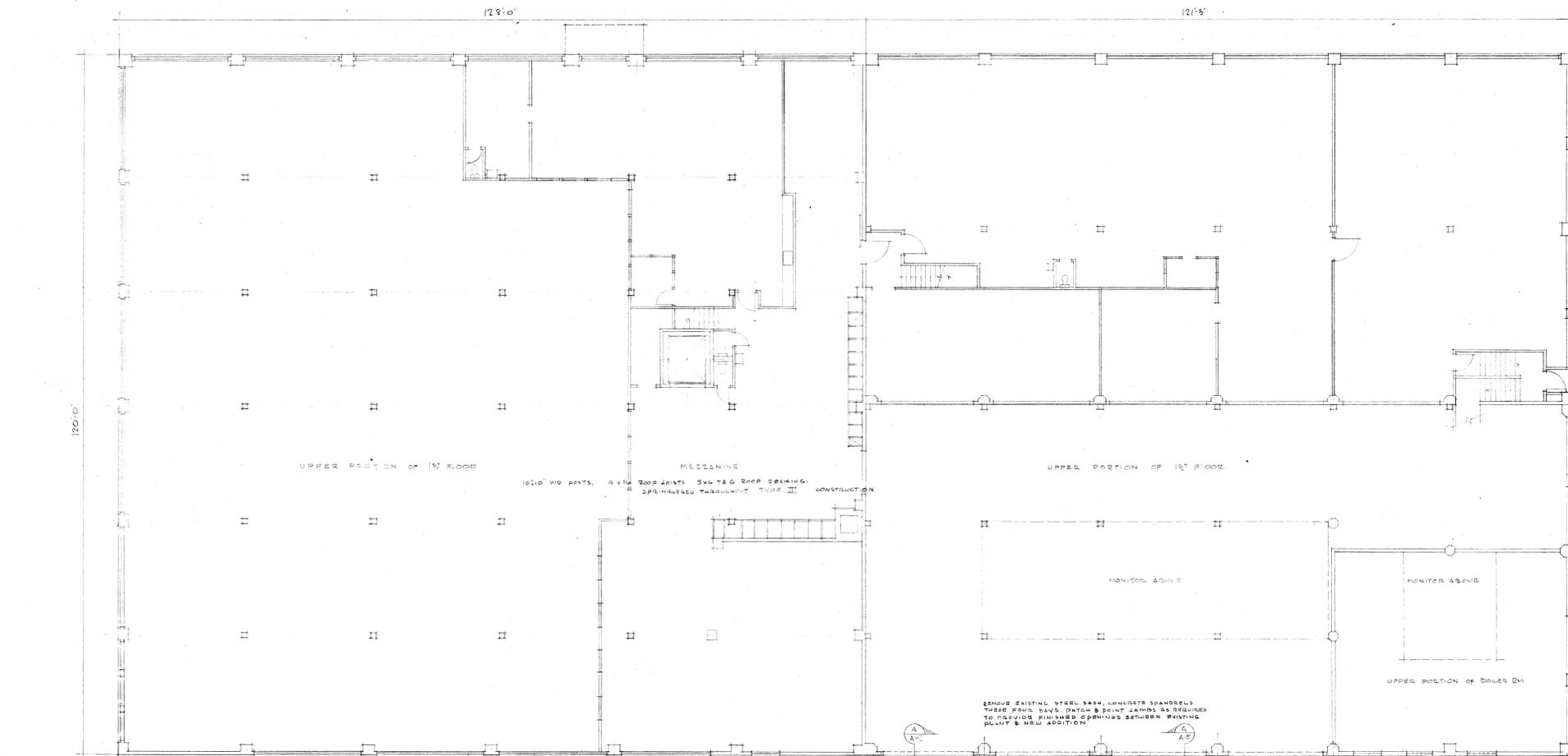
8TH AVENUE

DEXTER AVENUE

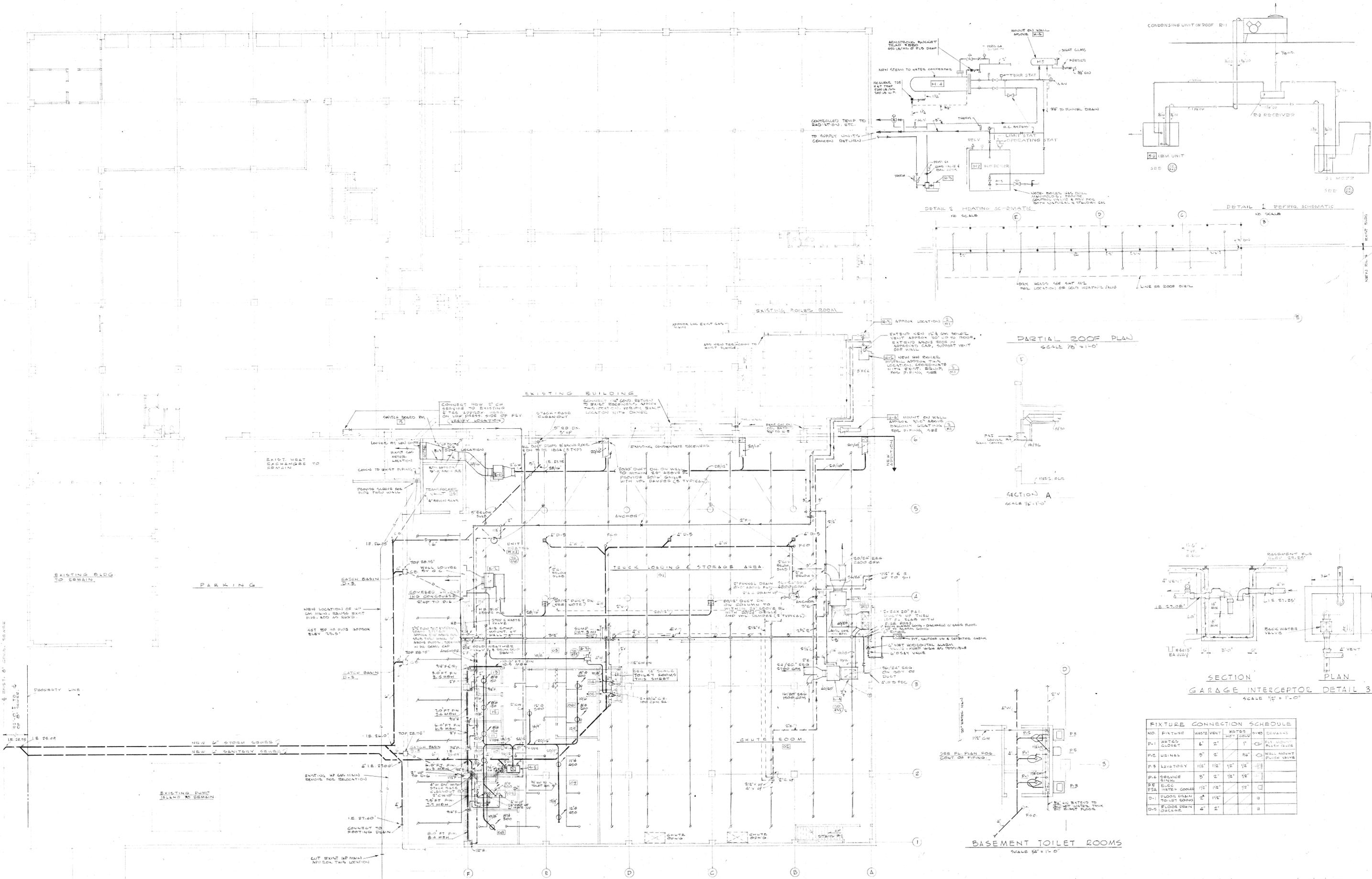
CITY OF SEATTLE
DEPT. OF BUILDINGS
FEB 17 1966
Approved Subject to Errors and Omissions
[Signature]

REGISTERED ARCHITECT
JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS





REVISION DATE DESCRIPTION
 DRAWN BY: J.G. DATE: 1/15/56
 CHECKED BY: J.G. DATE: 1/15/56
 APPROVED BY: J.G. DATE: 1/15/56
 TITLE: MEZZANINE PLAN & DETAILS
 PROJECT: ADDITIONS & ALTERATIONS TO THE AMERICAN LINEN SUPPLY CO. CENTER NORTH & ROY ST. SEATTLE, WASHINGTON
 ARCHITECT: JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS SEATTLE - NEW YORK
 SHEET: A-3



BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

DETAIL 2 HEATING SCHEMATIC
NO SCALE

DETAIL 1 REFRIG. SCHEMATIC
NO SCALE

PARTIAL ROOF PLAN
SCALE 1/8" = 1'-0"

SECTION A
SCALE 1/2" = 1'-0"

SECTION GARAGE INTERCEPTOR DETAIL 3
SCALE 1/2" = 1'-0"

BASEMENT TOILET ROOMS
SCALE 1/4" = 1'-0"

FIXTURE CONNECTION SCHEDULE					
NO.	FIXTURE	WASTE	VENT	WATER HOT COND.	REMARKS
P-1	WATER CLOSET	4"	2"	1"	FLY WHEEL FLUSH VALVE
P-2	URINAL	3"	2"	3/4"	WALL MOUNT FLUSH VALVE
P-3	LAVATORY	1 1/2"	1 1/2"	1 1/2"	
P-4	SINK	3"	2"	1 1/2"	
P-5	SHOWER	1 1/2"	1 1/2"	1 1/2"	
D-1	FLOOR DRAIN TO REST ROOMS	4"	2"		
D-2	FLOOR DRAIN TO REST ROOMS	4"	2"		

REVISIONS: DATE DESCRIPTION

ISSUED TO: **BASEMENT FLOOR PLAN & DETAILS** 11/14/56

DESIGNED BY: TLT

CHECKED BY: G.S.W.

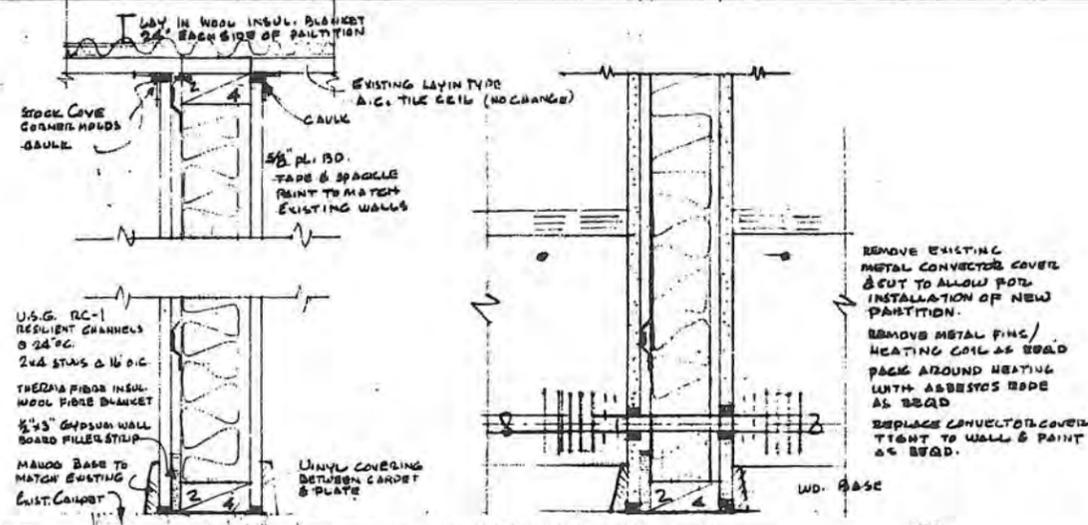
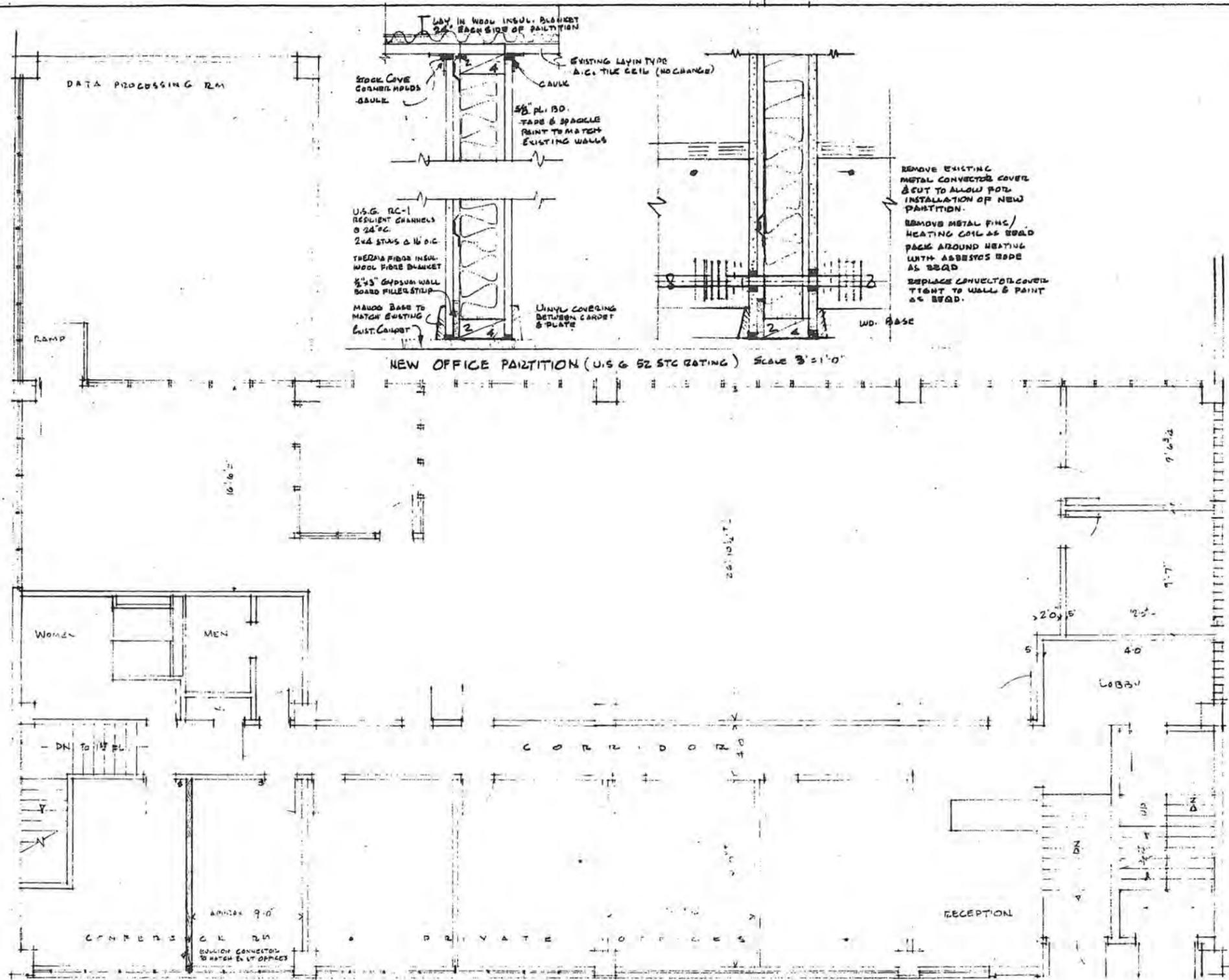
DATE: DEC. 1956

BY: J.G.A.

PROJECT: **ADDITIONS & ALTERATIONS TO THE AMERICAN LINEN SUPPLY CO.**

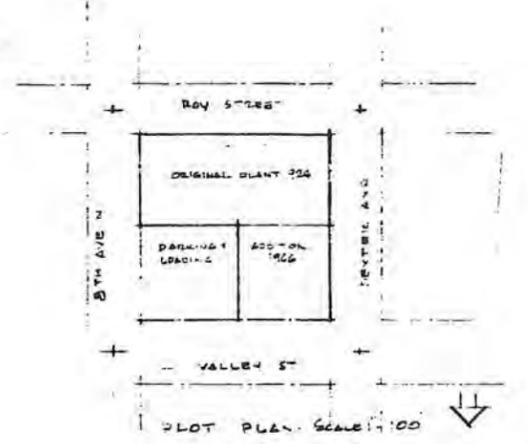
LOCATION: **DIXIE NORTH & SOY ST., SEATTLE, WASHINGTON**

JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS
SEATTLE • NEW YORK

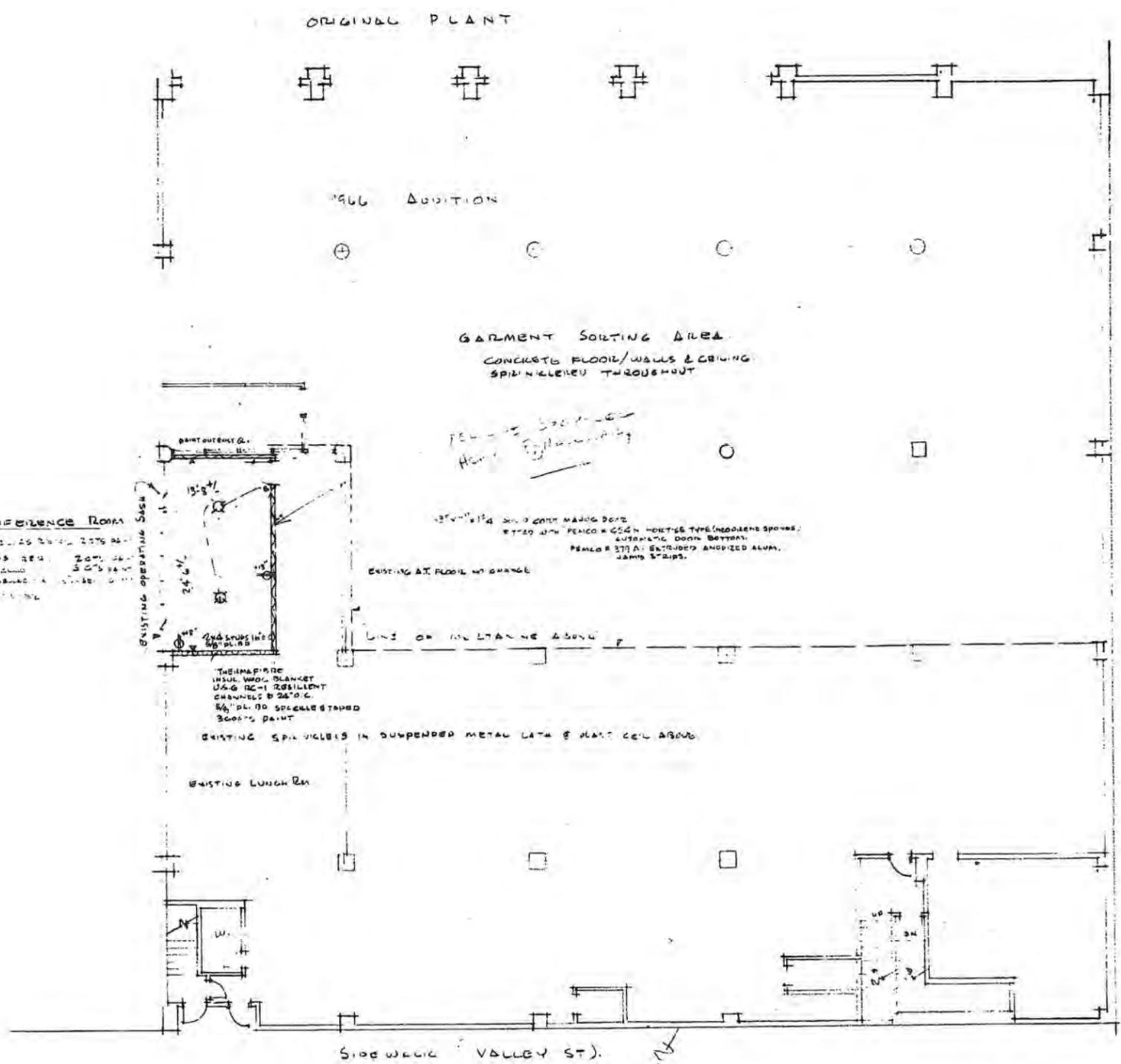


NEW OFFICE PARTITION (U.S.G. 52 STC RATING) SCALE 3"=1'-0"

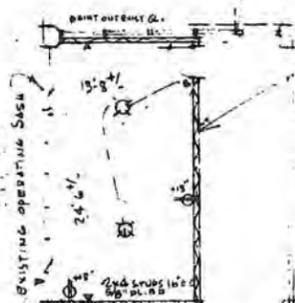
MEZZANINE FLOOR PLAN SCALE 1/4"=1'-0"



NO STRUCTURAL CHANGES NOR ANY ADDITIONAL AREA TO EXISTING MEZZANINE OFFICE SPACE	
EXISTING CLASSIFICATION - TYPE III CONSTRUCTION SPENCERISED THROUGHOUT	
536092	
LEGAL DESCRIPTION LOTS 1, 2, 3, 4, 5, 6, 7 & 8 OF BLOCK 7 - EDENS ADDITION TO CITY OF SEATTLE AS RECORDED IN VOLUME 1 OF PLATS AT PAGE 61-A RECORDS OF KING COUNTY WASHINGTON	
PREPARED BY: [Signature] REGISTERED ARCHITECT STATE OF WASHINGTON	P. 6344 AC ALTERATIONS & ADDITIONS TO THE EXISTING FIRST FLOOR & MEZZANINE OFFICES OF THE AMERICAN LINEN SUPPLY CO DEXTER NORTH & BOY ST 771 VALLEY STREET - SEATTLE WASH JOHN GRANAN AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS SEATTLE - NEW YORK



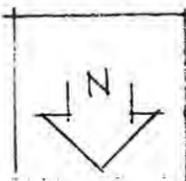
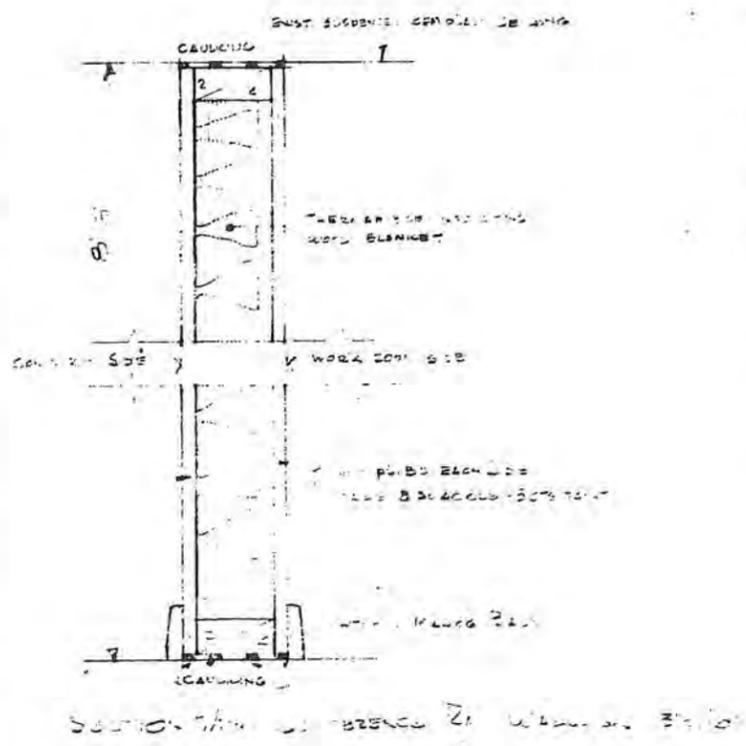
NEW CONFERENCE ROOM
 12' x 12' ROOM WITH 2 DOORS
 NEW WALLS, TRUSS & CEILING
 20' x 20' PANELS
 LIGHTING & VENTILES BY OTHER



EXISTING AT FLOOR NO CHANGE
 LINE OF MULTIFAMILY ABOVE
 THERMADORE
 1 1/2\"/>

EXISTING SP. VIBES IN SUSPENDED METAL LATH & PLAST CELL ABOVE
 EXISTING LUNCH RM

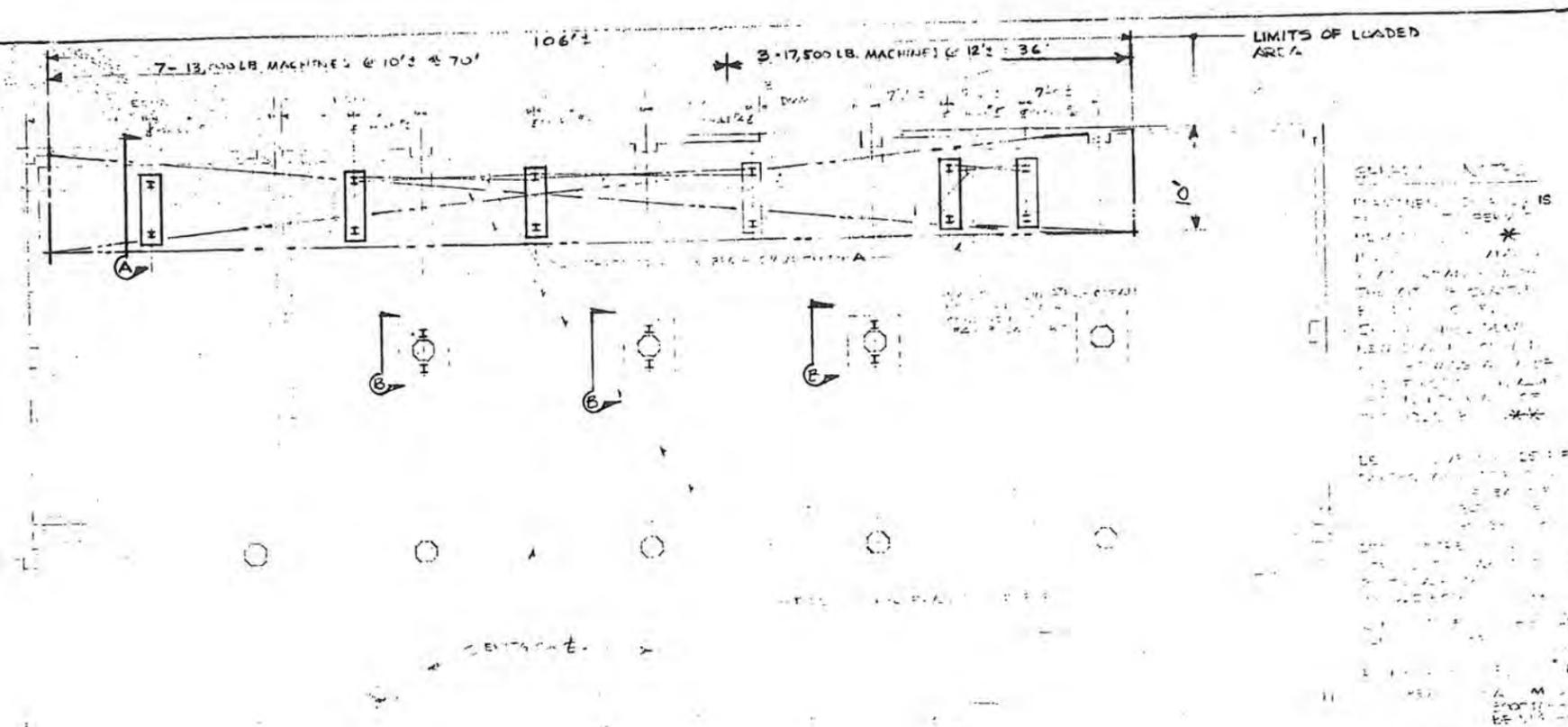
FIRST FLOOR AREA SCALE 1/8" = 1'-0"



535092

DESIGN BY	ALTERATIONS & ADDITIONS TO	DATE
DRAWN BY	THE EXISTING FIRST FLOOR & MEZZANINE OFFICES	1-15-70
APPROVED BY	OF THE AMERICAN LINEN SUPPLY CO	
	DEPT. NORTH 8 1/2 BAY ST	
	771 VALLEY ST. SEATTLE WASH	

JOHN GRANAN AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS
 SEATTLE - NEW YORK

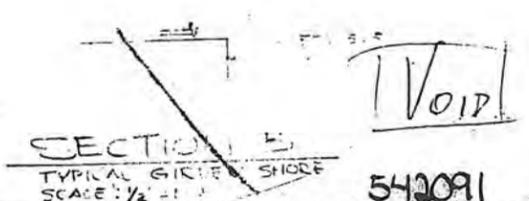


PARTIAL PLAN BASEMENT
SCALE: 1/8" = 1'-0"



SECTION A
TYPICAL BEAM SHORE
SCALE: 1/2" = 1'-0"

Legal Desc.
Lots 1 to 8 Incl
Bl. 7
Edens Addition



SECTION E
TYPICAL GIRDER SHORE
SCALE: 1/2" = 1'-0"

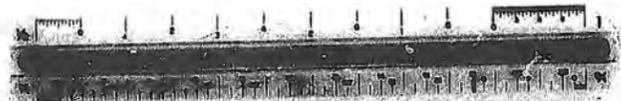
VOID

542091

JOHN GRAHAM AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS
SEATTLE - NEW YORK

PERMANENT SHORING
AMERICAN LINEN & SUPPLY CO., 771 VALLEY ST., SEATTLE WASH.
DRAWN F.W.B. MAY 11, 1971 (PH)
JOB NO. 10766

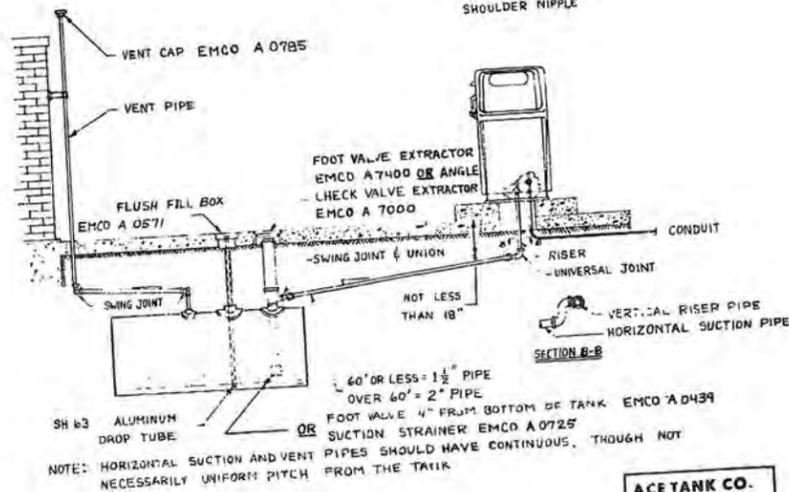
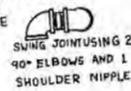
DRAWING NO. 51



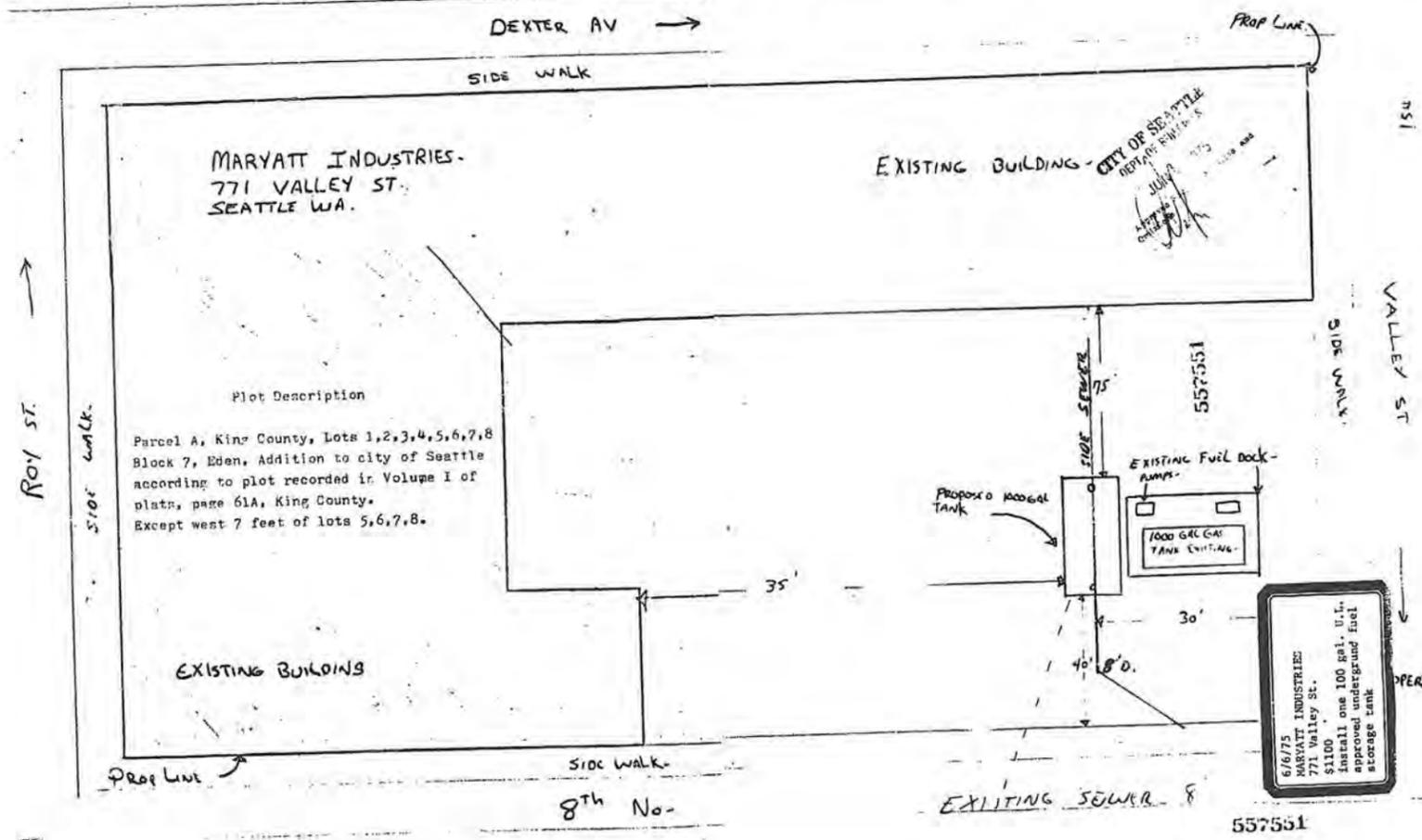
TYPICAL SUCTION PUMP INSTALLATION
 USING EMCO WHEATON (BUCKEYE) VALVES AND FITTINGS

METHOD OF BUILDING UP SWING JOINTS

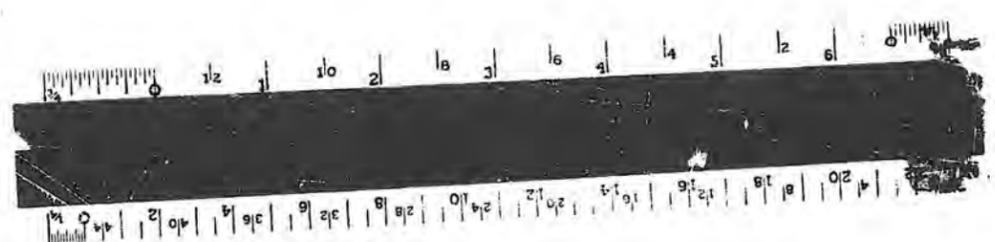
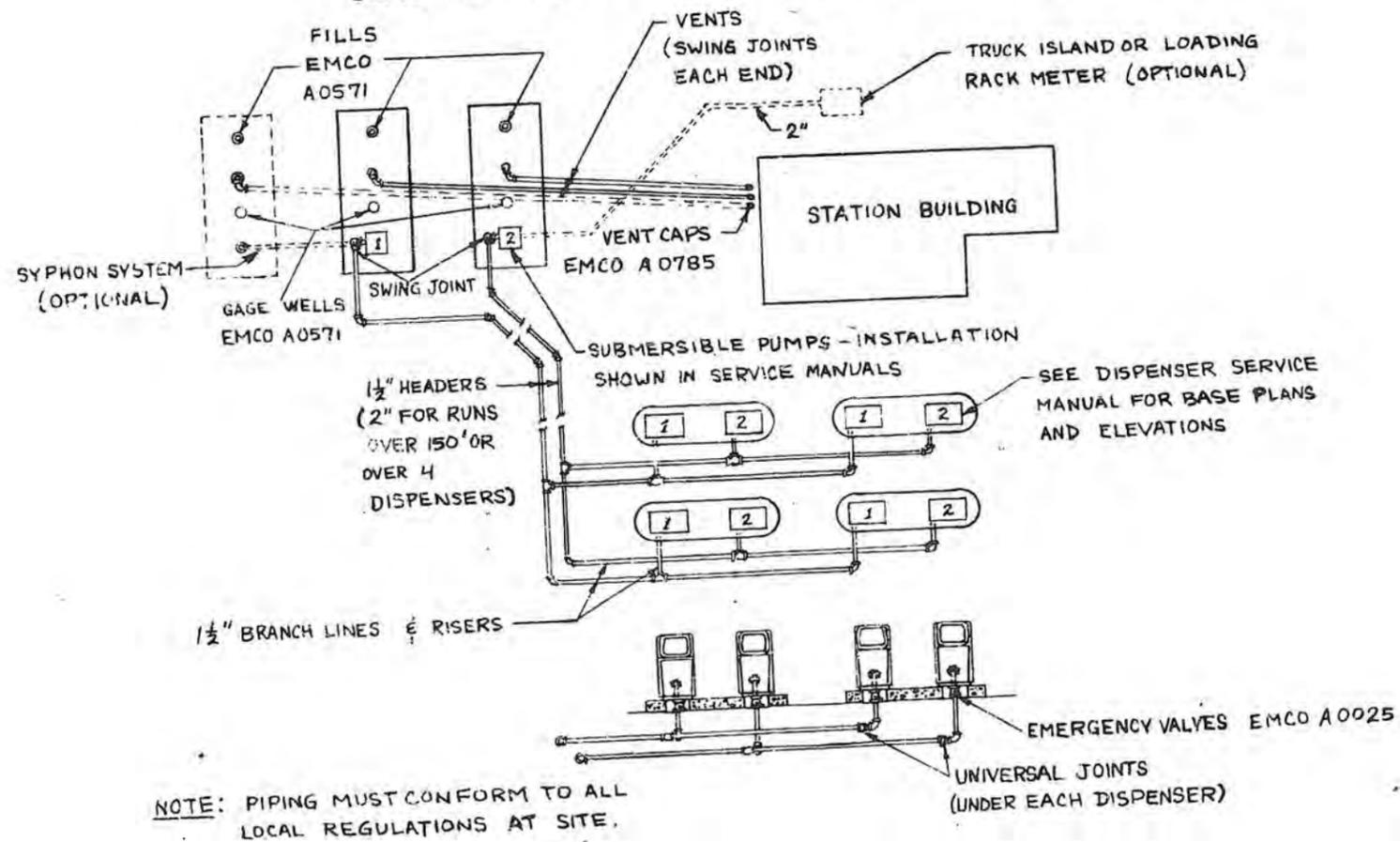
CAUTION: NEVER USE
 A CLOSE NIPPLE

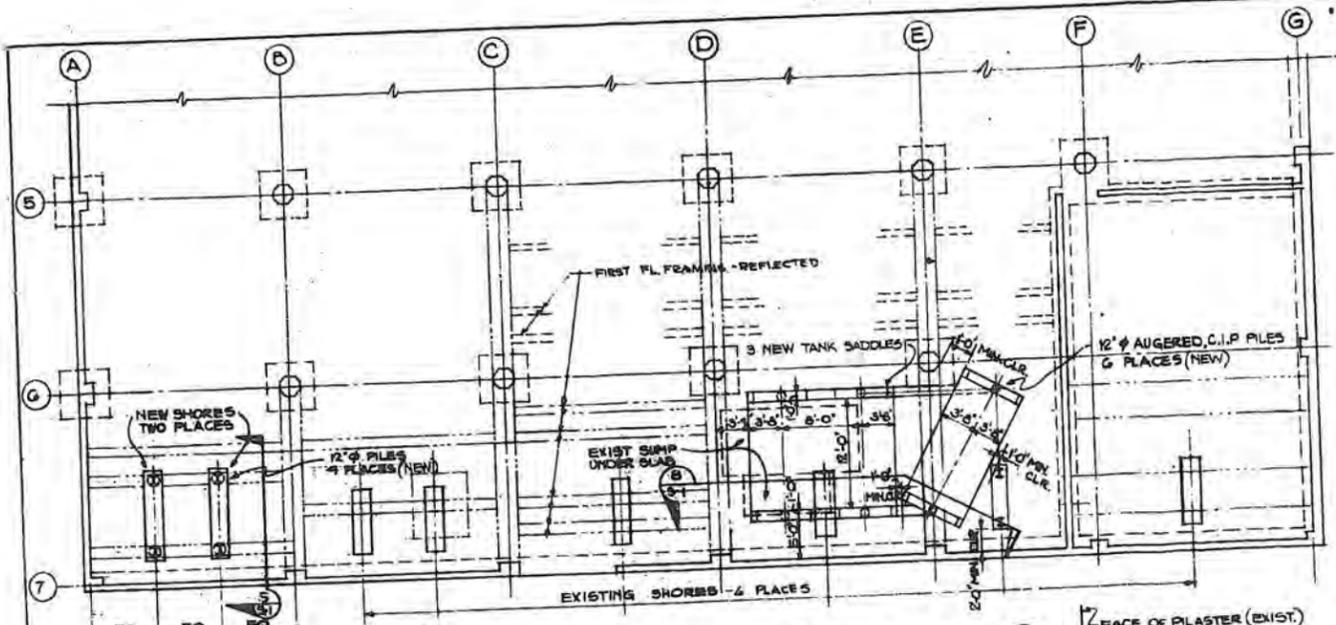


ACE TANK CO.
 1124 ELLIOTT WEST

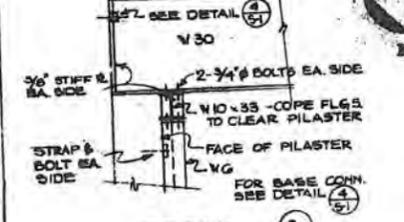


TWO PRODUCT TYPICAL REMOTE SYSTEM PIPING DIAGRAM USING EMCO WHEATON (BUCKEYE) VALVES AND FITTINGS

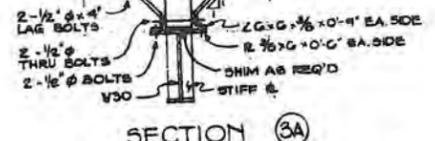




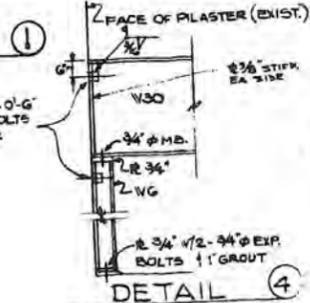
PARTIAL PLAN BASEMENT (1)
SCALE: 1/8" = 1'-0"



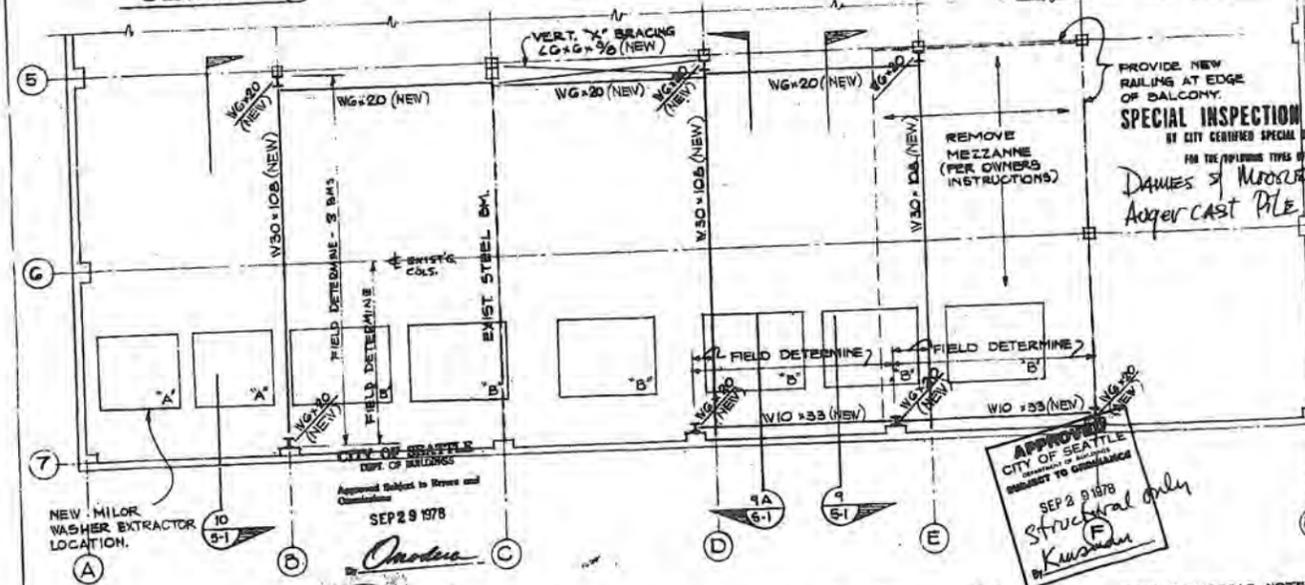
DETAIL (3)



SECTION (3A)



DETAIL (4)



PARTIAL PLAN 1ST FLOOR (2)
SCALE: 1/8" = 1'-0"

PLANS CHECK OFF

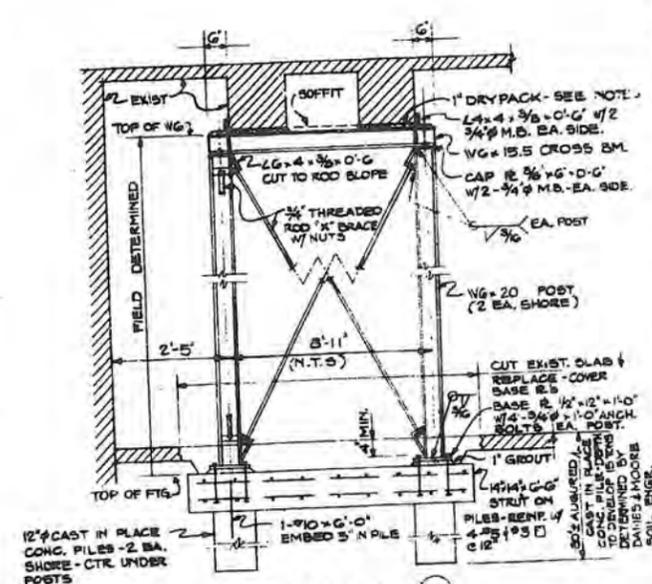
NO.	DATE	BY	CHKD BY
1	9/11/78	RA	RA
2	9/11/78	RA	RA
3	9/11/78	RA	RA
4	9/11/78	RA	RA
5	9/11/78	RA	RA
6	9/11/78	RA	RA
7	9/11/78	RA	RA
8	9/11/78	RA	RA
9	9/11/78	RA	RA
10	9/11/78	RA	RA

NEW EQUIPMENT SHOWN TO SCALE. FOR EXACT LOCATION SEE MILNOR DNGS. 78253-2 & 78255-3.
EQUIPMENT LETTER 'A' WT. = 10.81 KIPS
EQUIPMENT LETTER 'B' WT. = 24.57 KIPS

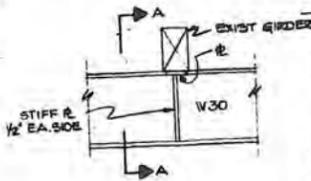
SPECIAL INSPECTION REQUIRED
BY CITY CERTIFIED SPECIAL INSPECTORS
FOR THE FOLLOWING TYPES OF INSTALLATION:
Auger cast Pile

APPROVED
CITY OF SEATTLE
DEPT. OF BUILDINGS
SEP 29 1978
Structural only
Kushner

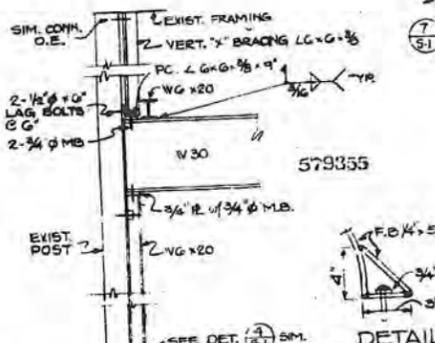
- # ROOF SHORING NOTES (CONT.)
- 5 REMOVE SHORES
 - 6 GROUT NEW BASE PLATES AND PLACE STRAP & ANGLE SUPPORTS.
 - 7 AFTER GROUT HAS ATTAINED $f_c = 2000$ PSI, OR 3 DAYS, REMOVE JACKS.



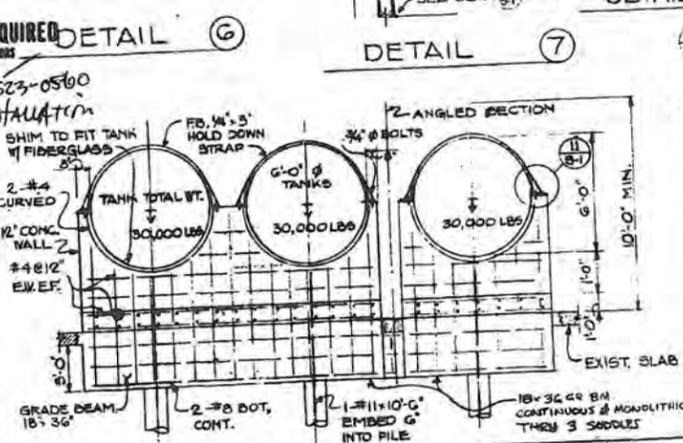
SECTION (5) BEAM SHORE



SECTION A-A

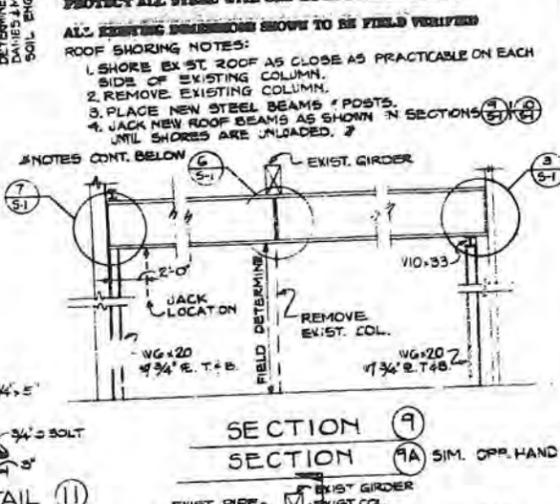


DETAIL (7)



SECTION (6) OTHER END SIMILAR

GENERAL NOTES
ADDITIONAL SHORING IS REQUIRED TO SUPPORT NEW EQUIPMENT...
DESIGN LIVE LOAD - EQUIPMENT WEIGHT
EARTHQUAKE - PER CITY OF SEATTLE BUILDING CODE, I - 1.5, C - 0.10.
DESIGN SPECIFICATIONS
STRUCTURAL STEEL A36 - $F_y = 36,000$ PSI
WELDS AS SHOWN
WELDS, REINFORCING STEEL CONCRETE & GROUT - $F_c = 3,000$ PSI (CONSERVED - ASSUMED 100% SACS PER CONCEPT FILES AS BELIEVED)
REINFORCING GR. #3 - $F_y = 60$ KSI
FILES - 18\"/>



SECTION (9) SECTION (9A) SIM. OPP. HAND



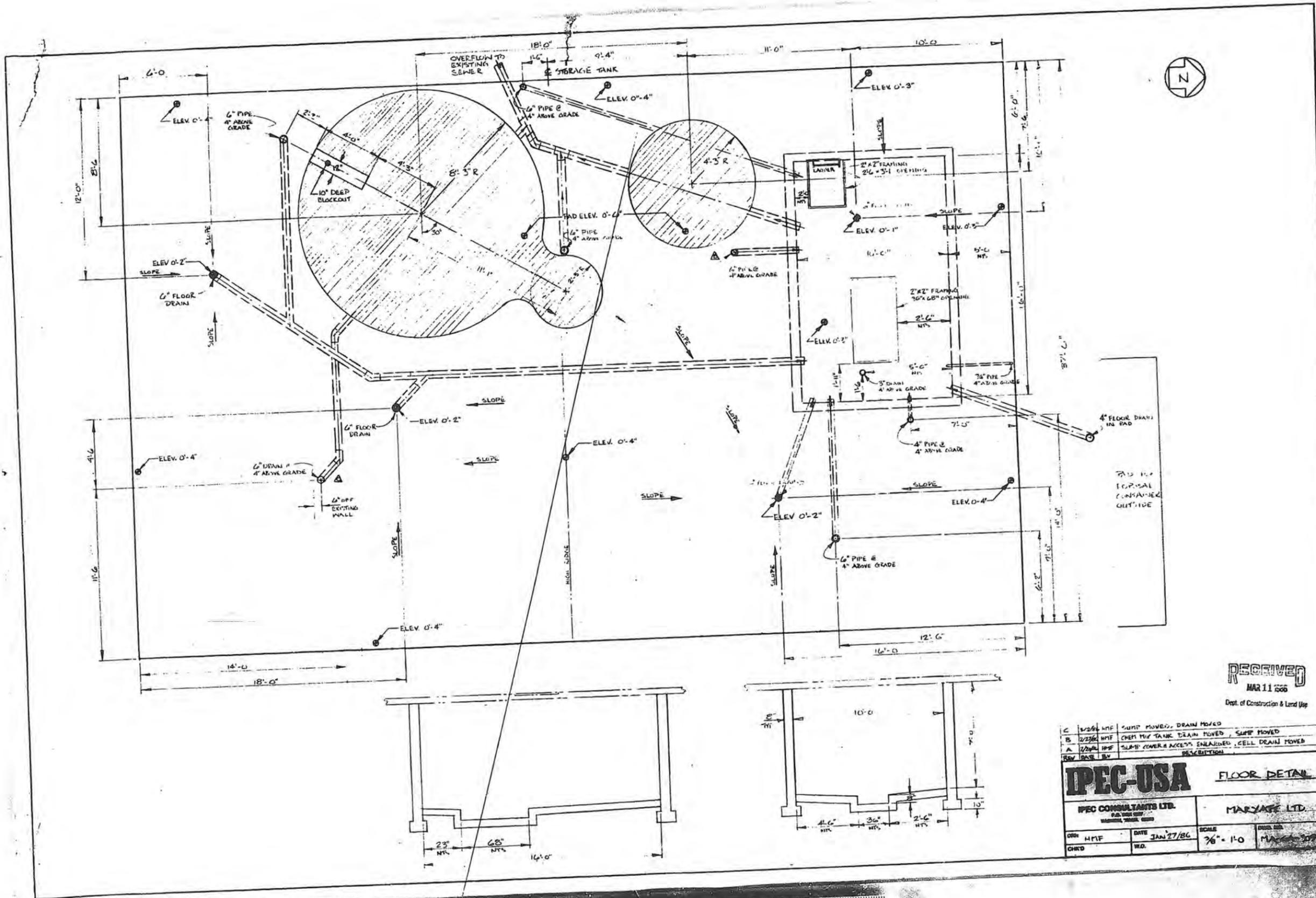
SECTION (10)

NO.	DATE	DESCRIPTION
1	9-1-78	PERMANENT SHORING & COL. RELOCATION
2	9-1-78	MARYATT INDUSTRIES
3	9-1-78	771 VALLEY ST.
4	9-1-78	SEATTLE, WASHINGTON

JOHN GRAHAM AND COMPANY ARCHITECTS-PLANNERS - SEATTLE - NEW YORK

Sheet

RECEIVED
SEP 7 1978
MARYATT INDUSTRIES
771 VALLEY ST.
SEATTLE, WASHINGTON



RECEIVED
MAR 11 1986
Dept. of Construction & Land Use

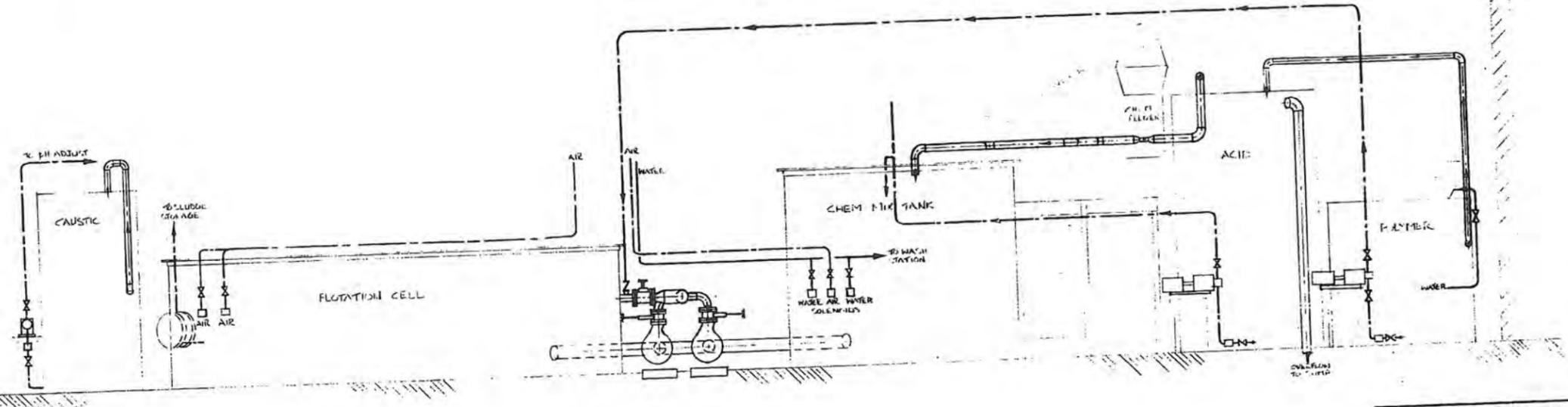
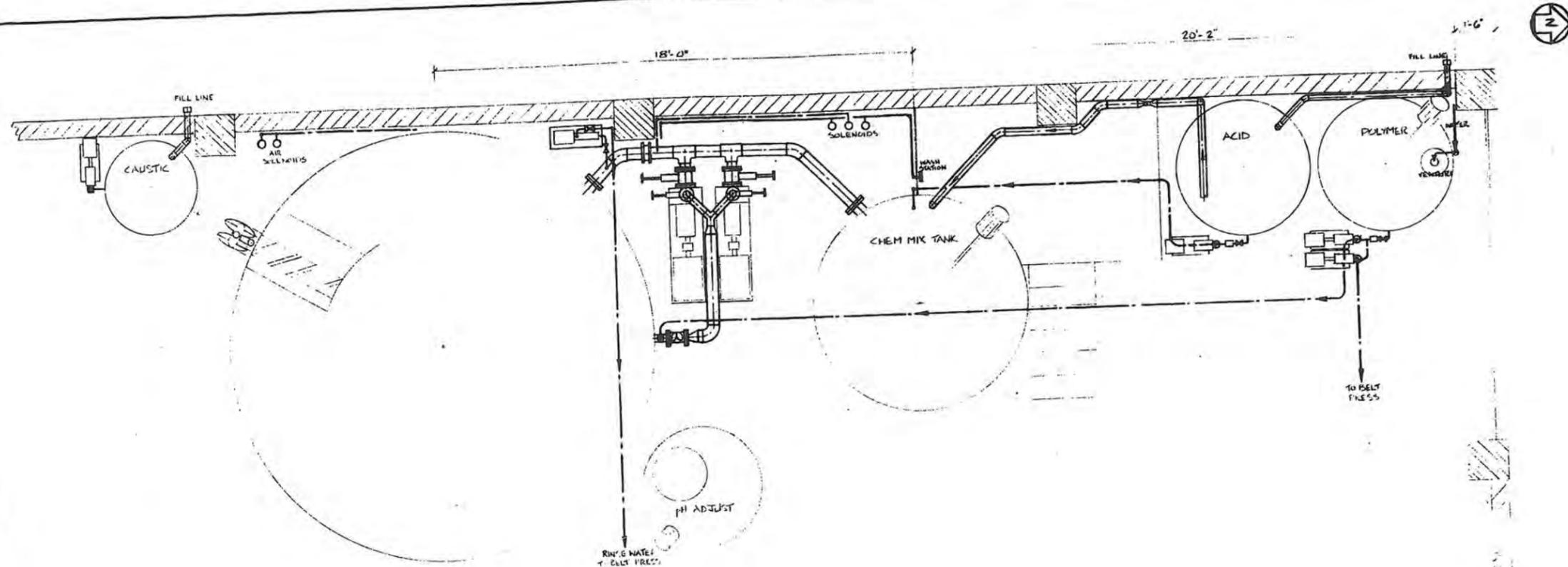
REV	DATE	DESCRIPTION
C	1/23/86	WTF SUMP MOVED, DRAIN MOVED
B	2/23/86	WTF CHEM TANK DRAIN MOVED, SUMP MOVED
A	2/20/86	WTF SLAB COVER ACCESS ENLARGED, CELL DRAIN MOVED
REV	DATE	DESCRIPTION

IPEC-USA FLOOR DETAIL
IPEC CONSULTANTS LTD.
MARYKATE LTD.

OWN	DATE	SCALE	DRAWN BY
H1F	JAN 27/86	3/8" = 1'-0"	MARYKATE LTD.
CHKD	NO.		

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





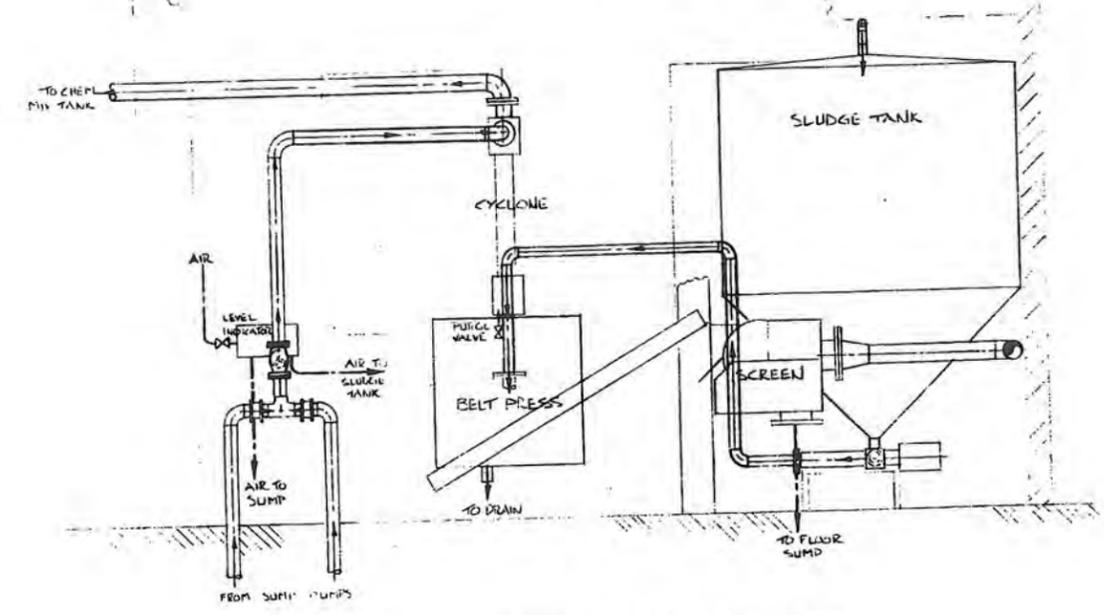
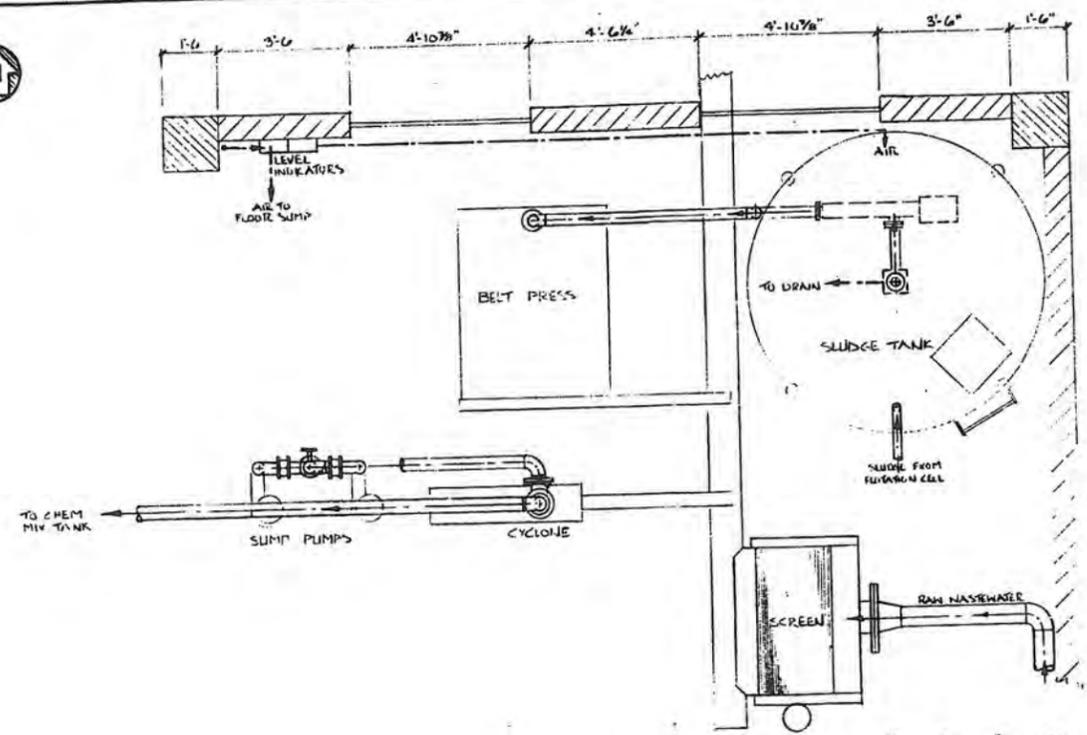
WEST WALL ELEVATION
SCALE 1/8" = 1'-0"

RECEIVED
MAR 11 1966
Dept. of Construction & Land Use

IPEC-USA		PIPING ELEVATION WEST WALL	
IPEC CONSULTANTS LTD. P.O. BOX 100 WILSON, VIRGINIA 22190		MARYKAT	
DRN: H-M-F	DATE: FEB 1966	SCALE: 1/8" = 1'-0"	GRID NO.: MA-GA-310
CHKD: W.D.			

NOTE: If the microfilm drawing is LESS clear than this notice, it is due to the quality of the original drawing.





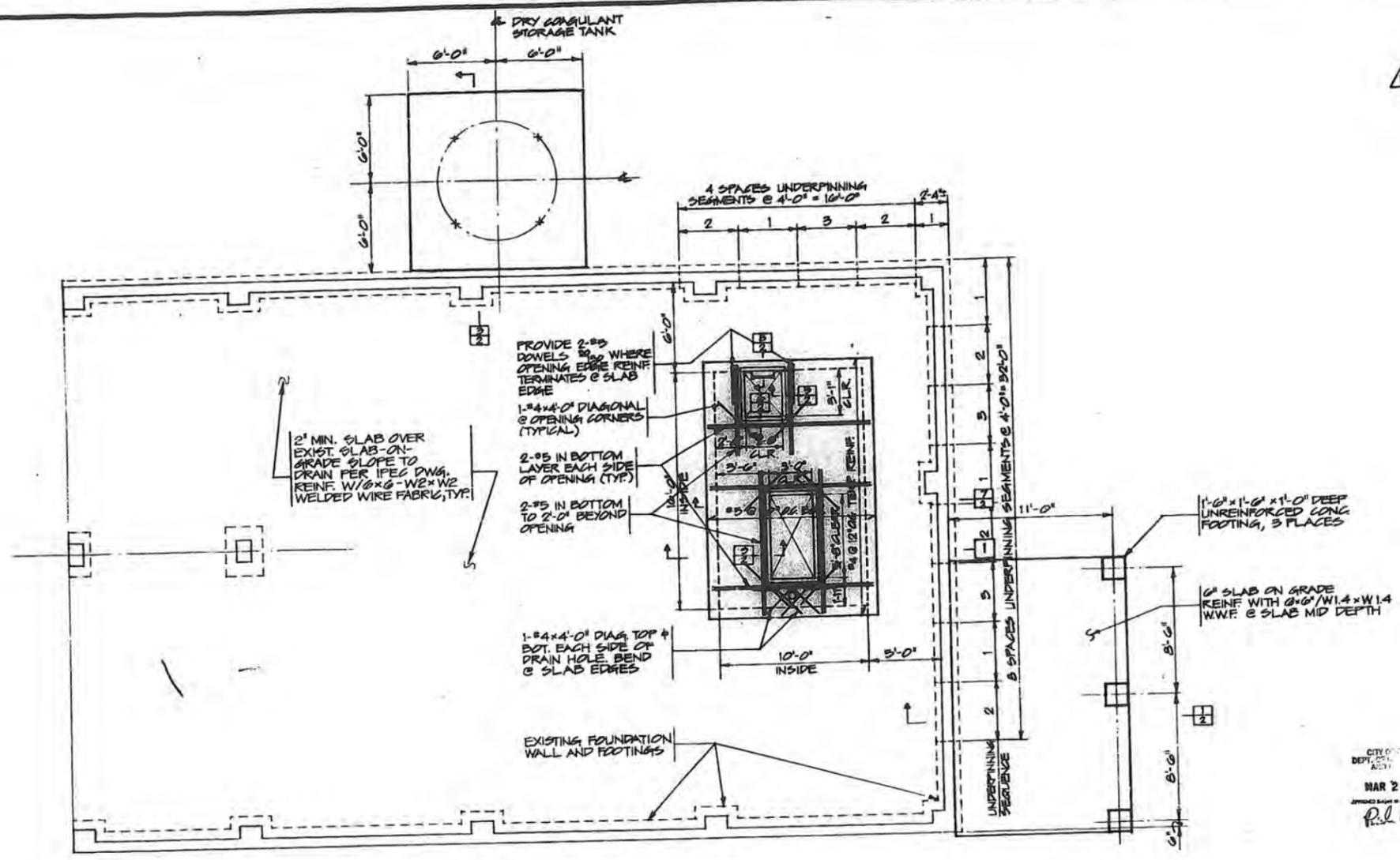
NORTH WALL ELEVATION
SCALE 1/2" = 1'-0"

RECEIVED
MAR 11 1966
Dept. of Construction & Land Use

IPEC-USA		PIPING ELEVATION NORTH WALL	
IPEC CONSULTANTS LTD. P.O. BOX 107 VANCOUVER, BRITISH COLUMBIA		MARYATT	
DRN HMF	DATE FEB 18/66	SCALE 1/2" = 1'-0"	DRAW. NO. MA-6A-311
CHFD	W.D.		REV.

NOTE: If the microfilm drawing is LESS clear than this notice, it is due to the quality of the original drawing.





STRUCTURAL NOTES

CASE: THE UNIFORM BUILDING CODE (UBC) 1983 EDITION, WITH SEATTLE AMENDMENTS.

LIVE LOADS: UBC 1601.2.1.1
 UBC 1601.2.1.2
 UBC 1601.2.1.3
 UBC 1601.2.1.4

FOUNDATION: EXTEND FOOTINGS TO FIRM UNDISTURBED SOIL OF 2,000 PSF BEARING CAPACITY, OR A MINIMUM OF 1'-0" BELOW ADJACENT EXISTING FINISH GRADE, WHICHEVER IS GREATER.

CONCRETE: CONCRETE f'c = 2000 PSI @ 28 DAYS. f'c = 400 PSI. USE A MINIMUM OF 3 BAGS OF CEMENT PER CU. YD. CONCRETE PER A MAXIMUM OF 7-1/2 GAL. OF WATER PER BAG. SURFACE OF CONCRETE PROTECTION FOR REINFORCING SHALL BE AS FOLLOWS:

CAST AGAINST EARTH	3"
FORMED WALL EXPOSED TO EARTH	1-1/2"
FORMED WALL EXPOSED TO LIGHT	1-1/2"
SLAB SOFFIT EXPOSED TO LIQUID TANK CONTENTS	1-1/2"

ALL CONCRETE IN FOOTINGS, WALLS AND STRUCTURAL STEELS SHALL BE POURED IN A MONOLITHIC POUR UNLESS OTHERWISE APPROVED BY THE ENGINEER PRIOR TO POURING.

CALL BUILDING DEPARTMENT FOR INSPECTION OF REINFORCING BEFORE POURING CONCRETE.

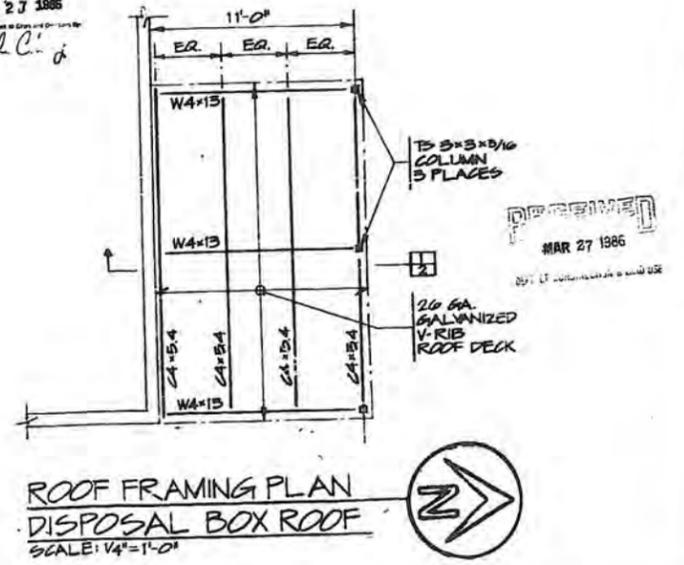
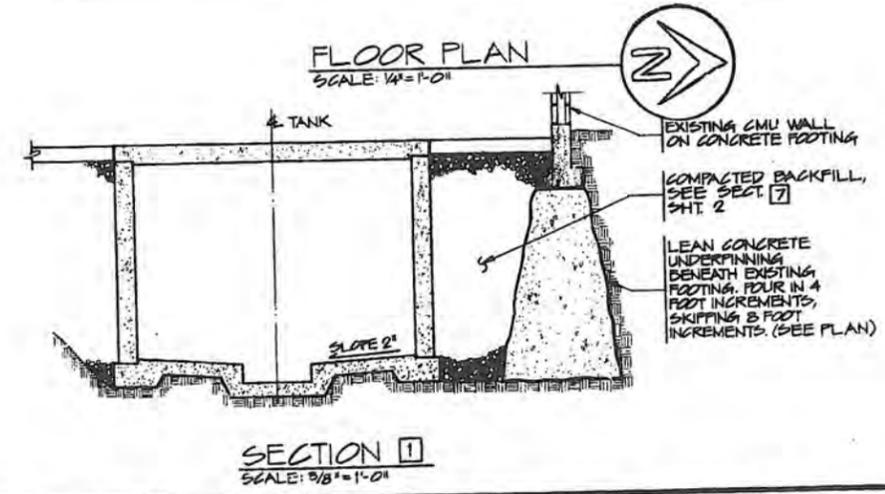
REINFORCING STEEL: REINFORCING SHALL BE EPOXY COATED UNLESS OTHERWISE APPROVED BY THE ENGINEER PRIOR TO FABRICATION.

STRUCTURAL & MISCELLANEOUS STEEL: STRUCTURAL STEEL SHALL BE A-36, GRADE 50, Fy = 24,000 PSI MAXIMUM. THE COLOR SHALL BE AS PER A-500, GRADE "B" OR A-301. ALL WELDS SHALL BE 3/16" MINIMUM CONTINUOUS FILLET WELDS USING A502 CLASS E60 ELECTRODES UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY AWS. ALL BOLTS SHALL BE A578 A-507. PROVIDE ONE COPY OF FINISH TO ALL STEEL.

STEEL SIDE SHEET: ROOF DECK SHALL BE 26 GA. 4" CRIMP BY ABC OR EQUAL, GALVANIZED COLOR COATED PANELS. APPLY TO STEEL FRAME WITH THREE #10 SELF-TAPPING SCREWS WITH NEOPRENE WASHERS AT EACH SUPPORT.

MISCELLANEOUS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENINGS HAVE BEEN INSTALLED.

CITY OF SEATTLE
 DEPT. OF PERMITS
 DIVISION 2
 MAR 27 1986
 R.L.C.



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CONTENTS
 PLAN AND STRUCTURAL NOTES

PROJECT
 MARYATT INDUSTRIES
 WASTE WATER TREATMENT
 UPGRADE
 771 VALLEY ST. SEATTLE, WA

SHEET
 1 of 2

NO.	REVISION	DATE	APPROVED	DATE	DESIGNED	CHECKED
1	REVISE STRUCTURAL NOTES	3/24/86			NELSON	MAUGHAN
					HR DODD	
						3/17/86

HARVEY R. DODD & ASSOCIATES, INC.
 CONSULTING ENGINEERS

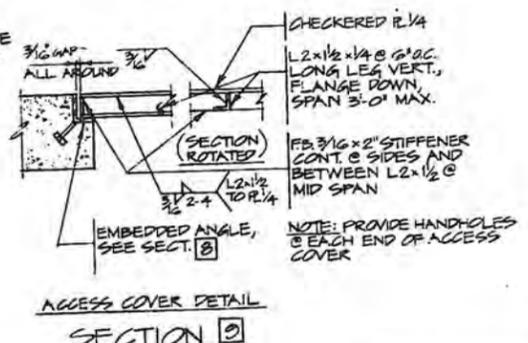
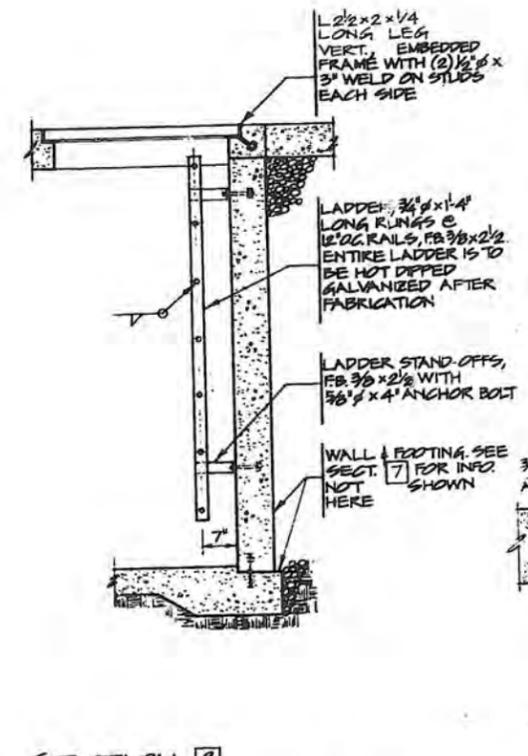
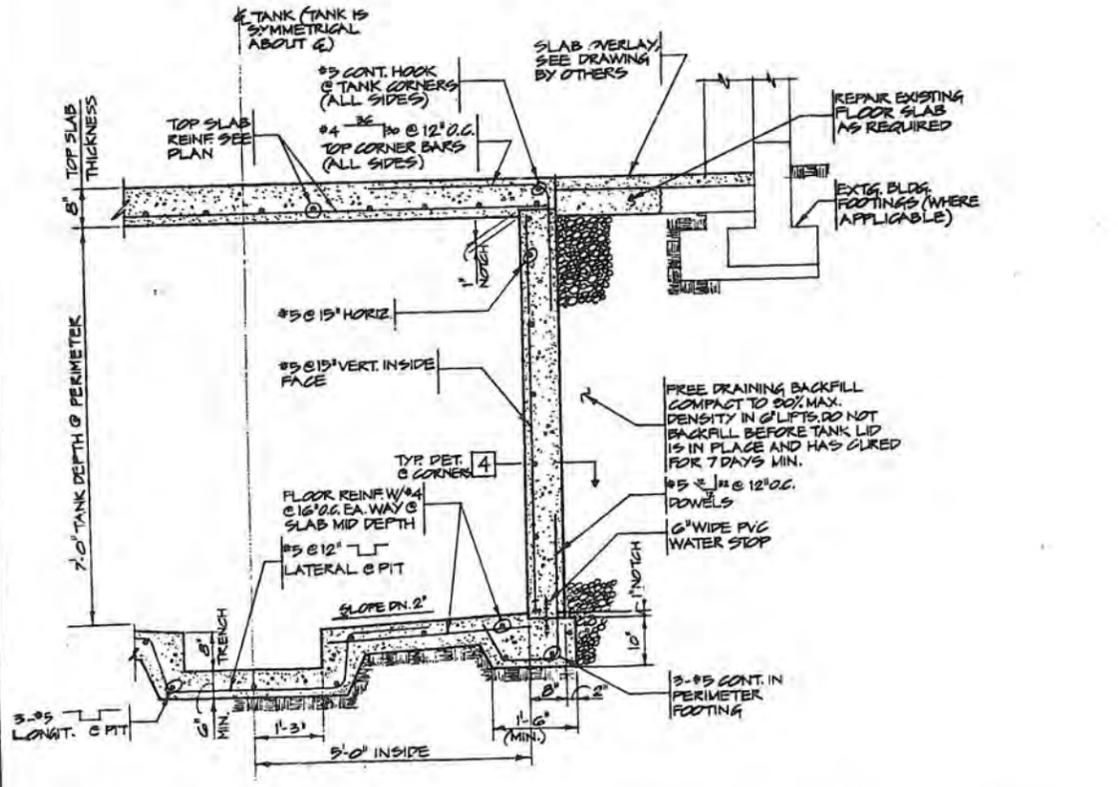
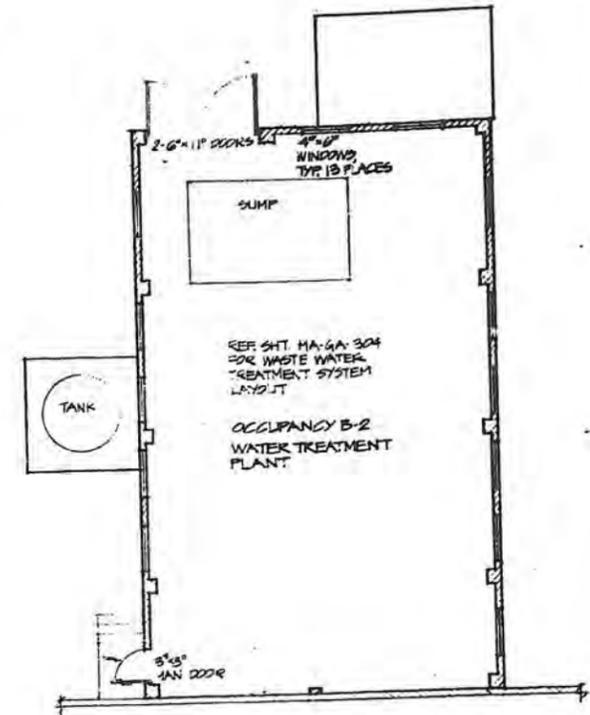
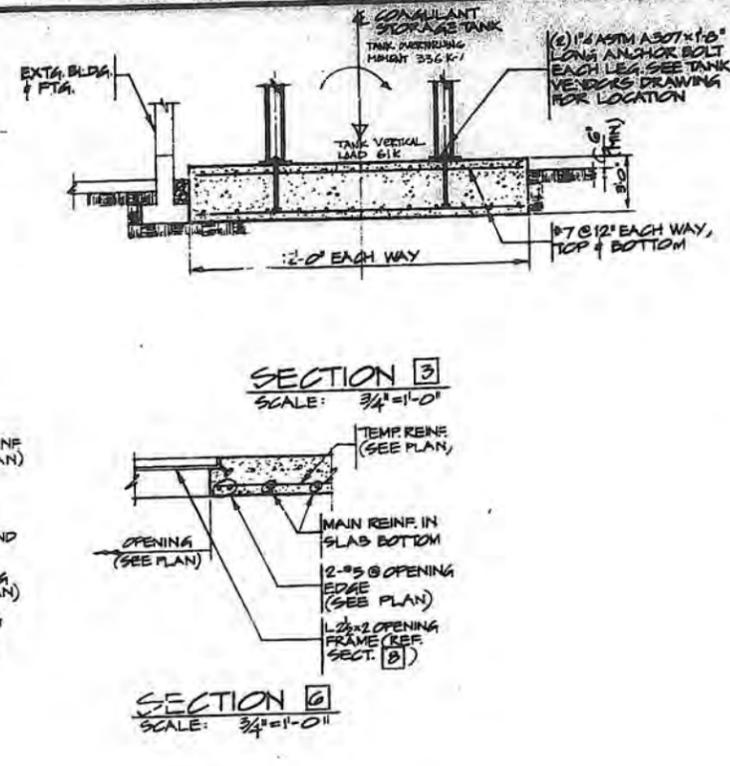
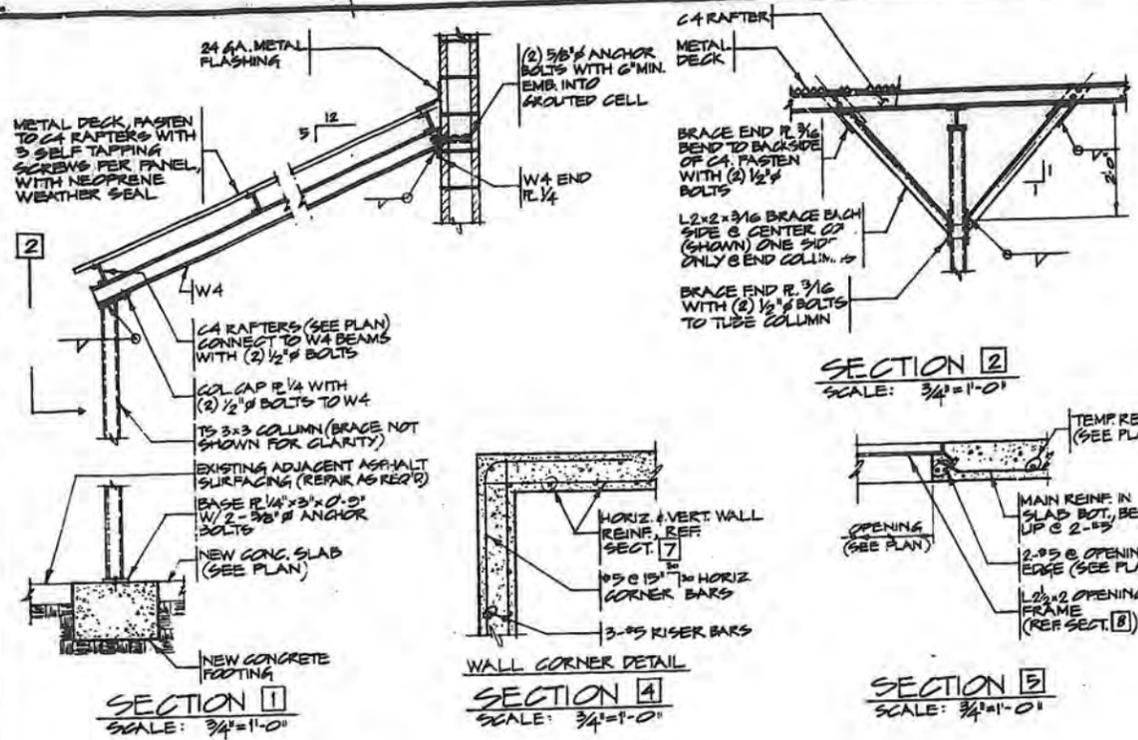
2000 FAIRVIEW AVENUE EAST
 P.O. BOX 20038

SEATTLE, WASHINGTON 98102
 (206) 328-1500



NOTE: If the microfilm edition is less clear than this edition, it is due to the





CITY OF SEATTLE
DEPT. OF PUBLIC WORKS
MAR 27 1986
Paul C. J.

MAR 27 1986

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NO.	REVISION	DATE	APPROVED	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
1	ADDED FLOOR PLAN	3/24/86			NELSON	BERNER	DODD	3/17/86

HARVEY R. DODD & ASSOCIATES, INC.
CONSULTING ENGINEERS

2000 FAIRVIEW AVENUE EAST
P.O. BOX 20038
SEATTLE, WASHINGTON 98102
(206) 328-1500



CONTENTS	SHEETS
SECTIONS	2 of 2

PROJECT
MARYATT INDUSTRIES
WASTE WATER TREATMENT
UPGRADE.

771 VALLEY ST.
SEATTLE, WA.

SHEET
2 of 2

NOTE: If the microfilm does not appear clear than this notice, it is due to the quality of the original.



**Your
Seattle
Fire Department**

Claude Harris, Chief
Charles Royer, Mayor

PLAN REVIEW SHEET NO. 5035L



March 17, 1986

IPEC USA
P.O. Box 1607
Vashon, Washington 98070

RE: 771 Valley St. - Maryatt Industries
Waste Water Treatment

PLAN APPROVED

This plan is approved, subject to Ordinance, field inspection, and providing the following corrections are made:

1. Provide (accidental) spill containment for the acid storage tank.
2. The acid tank shall be identified in accordance with UFC 79-3.
3. A permit (Code 801) shall be required for the storage of the hazardous material (acid).

Very truly yours,

CLAUDE HARRIS, CHIEF
Seattle Fire Department

John Haigh
John Haigh, Senior Engineer

CH:JH:dlk
RvH

cc: Department of Construction and Land Use, #8601226



COMMERCIAL PLAN COVER SHEET

Department of Construction and Land Use City of Seattle 715 Third Avenue, Suite 2000 Seattle, WA 98104

4/1/84

PURPOSES & USE OF DCU PLAN COVER SHEET:

This cover sheet should be attached to the front of all plan sets submitted for zoning and building permit approvals. The plan cover sheet organizes the essential information needed to allow an expeditious plan review and permit issuance. Applicants and DCU staff can use the cover sheet to quickly screen applications for obvious errors or omissions.

Applicants should fill in each information category on the cover sheet. If more room is needed please indicate the location of support information and calculations. If the category of information does not apply to your proposal, mark NA (not applicable). Circle YES or NO when appropriate. Do not use pencil.

This plan cover sheet will be retained as part of DCU's permanent file on this project and will be used to verify code compliance. Therefore, if plans have been prepared by a licensed engineer or architect, his/her stamp, seal and signature must appear on this cover sheet. The applicant is responsible for assuring the accuracy and consistency of the information. Quantities should not be used for bidding purposes.

APPLICATIONS WITHOUT DCU COVER SHEETS WILL NOT BE ACCEPTED FOR PROCESSING EXCEPT FOR PERMITS ISSUED "SUBJECT TO FIELD INSPECTION" AND CERTAIN MECHANICAL PERMITS. IF YOU HAVE QUESTIONS ON WHETHER PLANS ARE REQUIRED FOR YOUR PROJECT VISIT THE PERMIT APPLICATION CENTER EXPRESS INFORMATION STATION, 5TH FLOOR, MUNICIPAL BUILDING.

A. PROPERTY ADDRESS (if assigned): MADYATT INDUSTRIES
771 VALLEY ST SEATTLE WA 98108

B. DESCRIBE WORK TO BE DONE: INSTALLATION OF WASTE WATER TREATMENT EQUIPMENT, WASTE WATER STORAGE TANK AND CORROSION STORAGE TANK IN EXISTING ATTACHED GARAGE.

C. LAND USE AND ZONING INFORMATION: (Refer to Kroll Map for C1-5)

- (1) SPECIFY ZONING CLASSIFICATION: MANUFACTURING
- (2) SPECIFY SHORELINE CLASSIFICATION: N/A
- (3) IS PROJECT IN A DESIGNATED GREENBELT? YES/NO
- (4) IS THE PROJECT IN AN ENVIRONMENTALLY SENSITIVE AREA? YES/NO
- (5) IS PROJECT AN HISTORICAL LANDMARK OR LOCATED IN A PROTECTED DISTRICT?
YES/NO NAME: _____
- (6) IS PROJECT A MAJOR INSTITUTION? YES/NO
- (7) (a) EXISTING USE(S)/GROSS SQ. FT. OF EACH USE:
USE: Level 1 B-2 Laundry SQ. FT. 29910 BSMT
USE: Level 2 B-2 SQ. FT. 29910 1st Floor
USE: Level 3 B-2 SQ. FT. 29910 2nd Floor
USE: B-1 GARAGE SQ. FT. 2280
(b) PROPOSED USE/GROSS SQ. FT. OF EACH USE:
USE: B-2 Laundry SQ. FT. 29910
USE: B-2 SQ. FT. 29910
USE: B-2 SQ. FT. 29910
USE: B-2 WATER TREATMENT SQ. FT. 2280
(c) CHANGE OF USE PROPOSED: YES / NO
IF "YES", FROM B-1 TO B-2
- (8) PARKING - (NUMBER OF SPACES)
(a) NO. OF EXISTING SPACES: N/A
(b) TOTAL NUMBER REQUIRED: N/A
(c) TOTAL NUMBER PROPOSED: N/A
(d) LOCATION: NO. ON-SITE N/A NO. OFF-SITE N/A

(9) LANDSCAPING -

- (a) REQUIRED PLANTING AREA: NA SQ. FT.
- (b) PROPOSED: NA SQ. FT.
- (c) REQUIRED NUMBER OF TREES: NA
- (d) PROPOSED NUMBER OF TREES: _____
- PLAN SHEET NUMBER _____ SHOWS LANDSCAPING PLAN.
- (10) LOT AREA - 59830 SQ. FT.
- (11) (a) LOT COVERAGE PROPOSED: 72278 SQ. FT. 54 PERCENT
(b) MAXIMUM ALLOWED: 109550 SQ. FT. 85% PERCENT
- (12) (a) BUILDING HEIGHT PROPOSED PER ZONING/LAND USE CODE: By Building FT. IN.
(b) MAXIMUM ALLOWED: _____ FT. IN.
- (13) (a) FLOOR AREA RATIO BONUS? YES/NO
(b) MAXIMUM ALLOWED: _____
- (c) BONUS AREA: _____
- (14) SETBACKS/YARD REQUIRED FOR PROJECT YES / NO
IF REQUIRED, COMPLETE THE FOLLOWING:
(a) FRONT (b) REAR N/A
PROPOSED: _____ FT. IN. PROPOSED: _____ FT. IN.
MINIMUM ALLOWED _____ FT. IN. MINIMUM ALLOWED _____ FT. IN.
- (c) SIDE(1) (d) SIDE(2)
PROPOSED: _____ FT. IN. PROPOSED: _____ FT. IN.
MINIMUM ALLOWED _____ FT. IN. MINIMUM ALLOWED _____ FT. IN.
- (e) SHORELINE SETBACK
PROPOSED: _____ FT. IN.
MINIMUM ALLOWED _____ FT. IN.
- (15) SETBACKS/YARD EXCEPTIONS, SPECIAL CONDITIONS:

(16) OTHER BULK REQUIREMENTS, SPECIAL CONDITIONS:

D. BUILDING CODE INFORMATION:

- (1) FIRE PROTECTION
(a) Sprinkler system required? YES / NO
Existing system? YES / NO New system? YES / NO
(b) Other fire protection systems
Halon _____
Rangehood _____
Other _____
(c) Fire alarm systems YES/NO
(d) Standpipe (include class) _____
Location _____
 - (2) NO. OF STORIES _____ BASEMENT(S) 1 HEIGHT NO CHANGE FT. (calculated per Building Code)
 - (3) FIRE DISTRICT: N/A
 - (4) OCCUPANCY GROUP, TYPE OF CONSTRUCTION, LOCATION AND GROSS FLOOR AREA (GFA) FOR EACH OCCUPANCY (measured to the exterior face of exterior walls including balconies):
NOTE: Provide GFA for heated and unheated spaces on each floor plan.
- | LEVEL | USE/OCCUPANCY | TYPE | AREA (sq ft) | VALUATION |
|--------|---------------|------|--------------|-----------|
| 1 | B-2 | II | | NO CHANGE |
| 2 | B-2 | II | | NO CHANGE |
| 3 | B-2 | II | | NO CHANGE |
| GARAGE | B-2 | B-N | 2267 | 250,000 |
| TOTAL | | | | 250,000 |

E. ENERGY CODE INFORMATION N/A

- (1) BUILDING ENVELOPE
Indicate Approach Used: Chap. 6 _____ Chap. 4 _____ Chap. 5 _____
(a) CHAPTER 6: Prescriptive
INSULATION MINIMUMS
- Roof/Ceiling R-30
- Opaque Wall R-11
- Floor Over Unheated Space R-11
- Slab Perimeter On Grade R-4.25
GLAZING PERCENTAGE MAXIMUM
Show calculations in sq. ft. and %:
NA () + () = %
(b) CHAPTER 4: Component Performance / CHAPTER 5: Systems Analysis
U VALUE MAXIMUM (including glass with sash multiplier and stud, joist and rafter corrections)
N/A
- Roof/Ceiling _____
- Gross Wall _____
- Floor Over Unheated Space _____
- Overall (Only if averaged for trade off) _____
SLAB PERIMETER ON GRADE R-4.25
DTTY MAXIMUM (as applicable) _____
- (2) LIGHTING SYSTEM
MAXIMUM INSTALLED WATTS _____

(3) MECHANICAL SYSTEM N/A

- (a) SPACE HEATING SYSTEM TYPE:
Elec. furnace _____ Elec. baseboard _____ Elec. heatpump _____
Gas furnace _____ Oil furnace _____ Other _____
Existing _____ watt/sq. ft. or _____ BTU/sq. ft.
New _____ watt/sq. ft. or _____ BTU/sq. ft.
TOTAL CAPACITY _____
- (b) SPACE COOLING SYSTEM TYPE (if installed):
_____ watt/sq. ft. or _____ BTU/sq. ft.
TOTAL CAPACITY _____
- (3) HEAT LOSS CALCULATIONS ATTACHED? YES/NO
- (4) OTHER ENERGY INFORMATION/SPECIAL NOTES:

F. FOUNDATION AND GRADING

- (a) SHOW FILL _____ CU. YDS. & CUT _____ CU. YDS. IN EXCESS OF ALLOWABLE INCIDENTAL GRADING OR IF ON SUBMERGED LAND.
- (b) HAS A SOILS REPORT BEEN PREPARED? YES/NO
- G. APPLICANT INFORMATION:
(a) OWNER'S NAME: _____ ADDRESS: _____ ZIP: _____ PHONE: _____
(b) ARCHITECT/AGENT'S NAME: _____ ADDRESS: _____ ZIP: _____ PHONE: _____

PREVIOUS/PENDING LAND USE APPROVALS RELATING TO THIS PROJECT:

TO BE COMPLETED BY DCU:

CONDITIONS OF APPROVAL

SHOP DRAWINGS REQUIRED

APPROVAL STAMPS

DEPARTMENT OF CONSTRUCTION
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APPROVED SUBJECT TO FIELD INSPECTION BY
Paul Cheng

C7

SPECIAL INSPECTION REQUIRED

BY CITY CERTIFIED SPECIAL INSPECTORS FOR THE FOLLOWING TYPES OF WORK (By CASCADE TESTING) UNDERPINNING OF EXISTING FOUNDATION

PERMIT ISSUANCE AUTHORIZATION			
REVIEWER	Initial Concurrence	Initials	Revised Concurrence
Zoning	<input checked="" type="checkbox"/>	<u>NA</u>	<u>3-10-84</u>
Shorelines	<input checked="" type="checkbox"/>	<u>NA</u>	
Protect Dist.	<input checked="" type="checkbox"/>	<u>NA</u>	
Elevator	<input checked="" type="checkbox"/>	<u>NA</u>	
Water	<input checked="" type="checkbox"/>	<u>NA</u>	
Fire	<input checked="" type="checkbox"/>	<u>NA</u>	<u>3-17-84</u>
Health	<input checked="" type="checkbox"/>	<u>NA</u>	
Traffic	<input checked="" type="checkbox"/>	<u>NA</u>	
Drainage	<input checked="" type="checkbox"/>	<u>NA</u>	
Street Use	<input checked="" type="checkbox"/>	<u>NA</u>	
Energy	<input checked="" type="checkbox"/>	<u>NA</u>	
Mechanical	<input checked="" type="checkbox"/>	<u>NA</u>	
Environmental	<input checked="" type="checkbox"/>	<u>NA</u>	
Issued by:	<u>O. Engstrom</u>	<u>7-2-84</u>	
Site Inspection by:	<u>NA R/B</u>		

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MAR 11 1986

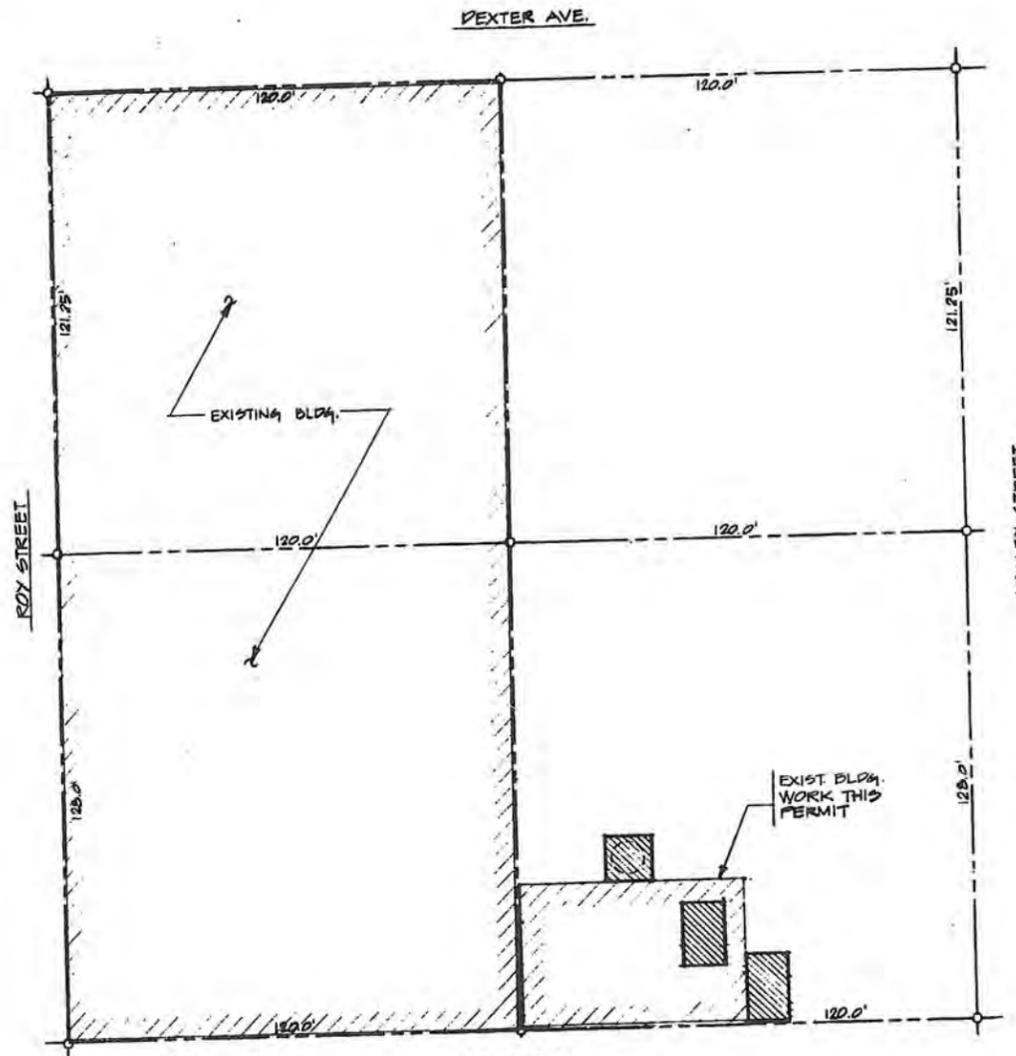
Dept. of Construction & Land Use

C8

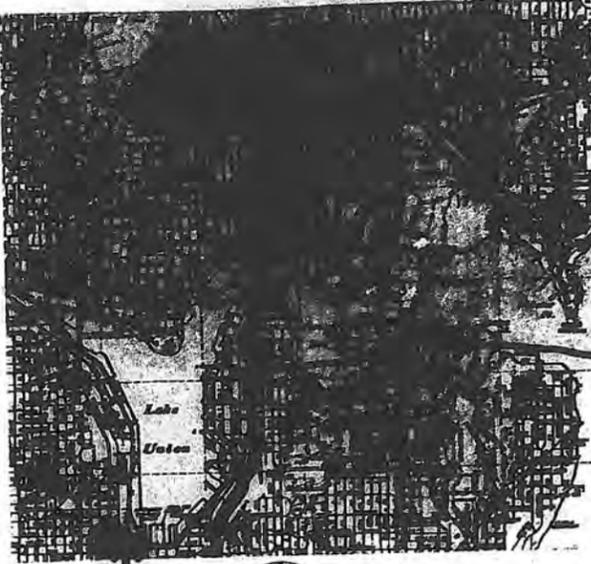
12 sets

520123
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Paul Cheng





5TH AVE. N.
PLOT PLAN
 SCALE: 1" = 200'



VICINITY MAP
 SCALE: 1" = 2040'



LEGAL DESCRIPTION
 LOTS 1 to 8, BLOCK 7
 EDEN ADDITION TO THE CITY OF SEATTLE.

CITY OF SEATTLE
 DEPT. OF CONSTRUCTION & LAND USE
 MAR 27 1986
Paul Chioj

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NO.	REVISION	DATE	APPROVED	DATE	DESIGNED BY
					F. HOFFMEIER
					DRAWN BY
					G. ROBINSON
					CHECKED
					DATE 5-10-85

HARVEY R. DODD & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 2000 FAIRVIEW AVENUE EAST
 P.O. BOX 20038
 SEATTLE, WASHINGTON 98102
 (206) 326-1500



CONTENTS
 PLOT PLAN, VICINITY MAP
 LEGAL DESCRIPTION

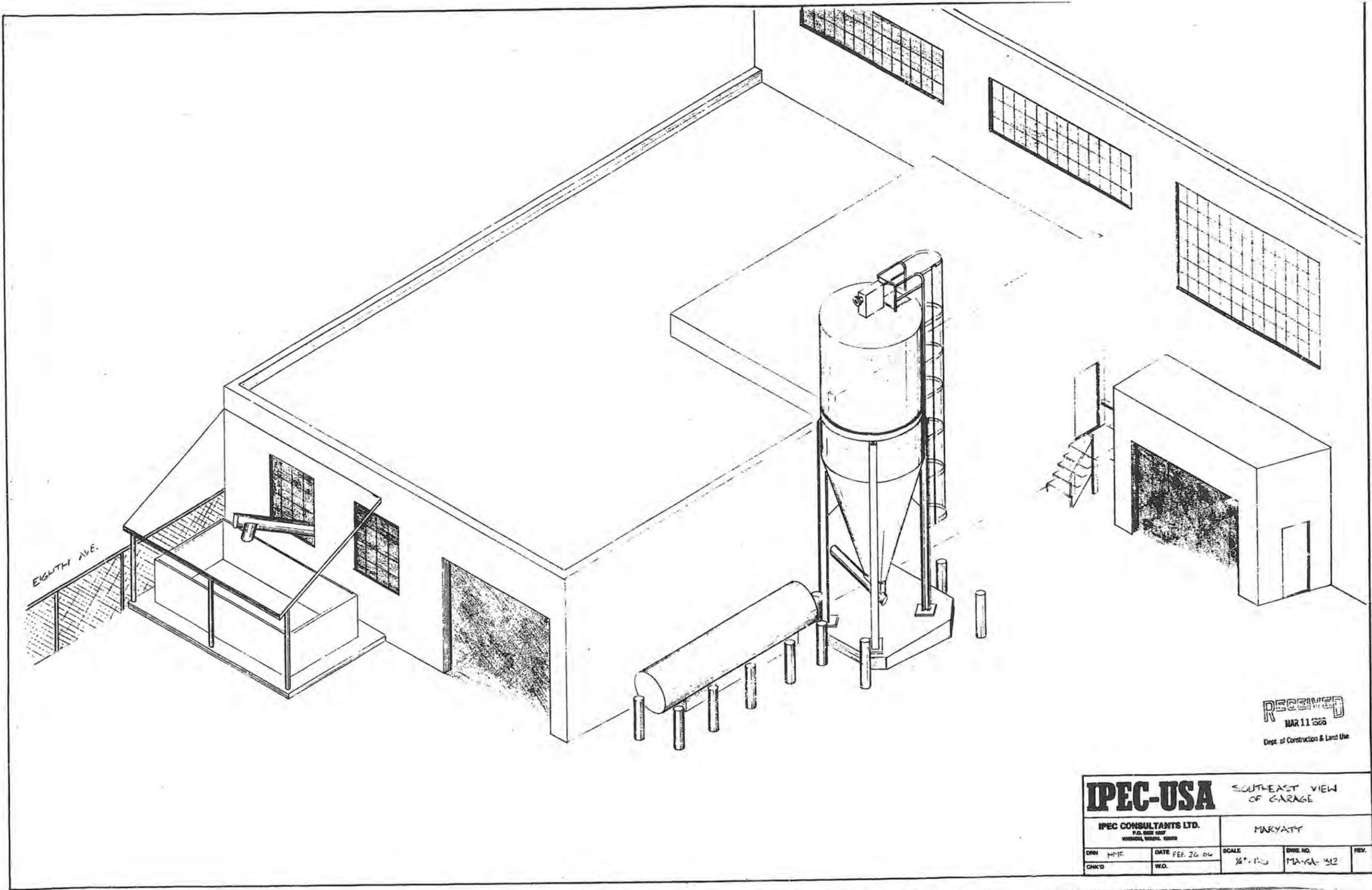
PROJECT
 MARYATT INDUSTRIES
 WASTE WATER TREATMENT
 UPGRADE
 771 VALLEY ST.
 SEATTLE, WA.

SHEET
 P-1
 JOB NO. 86-056

NOTE: If the microfilm data is LESS clear than this notice, it is due to the quality of the original.



EIGHTH AVE.

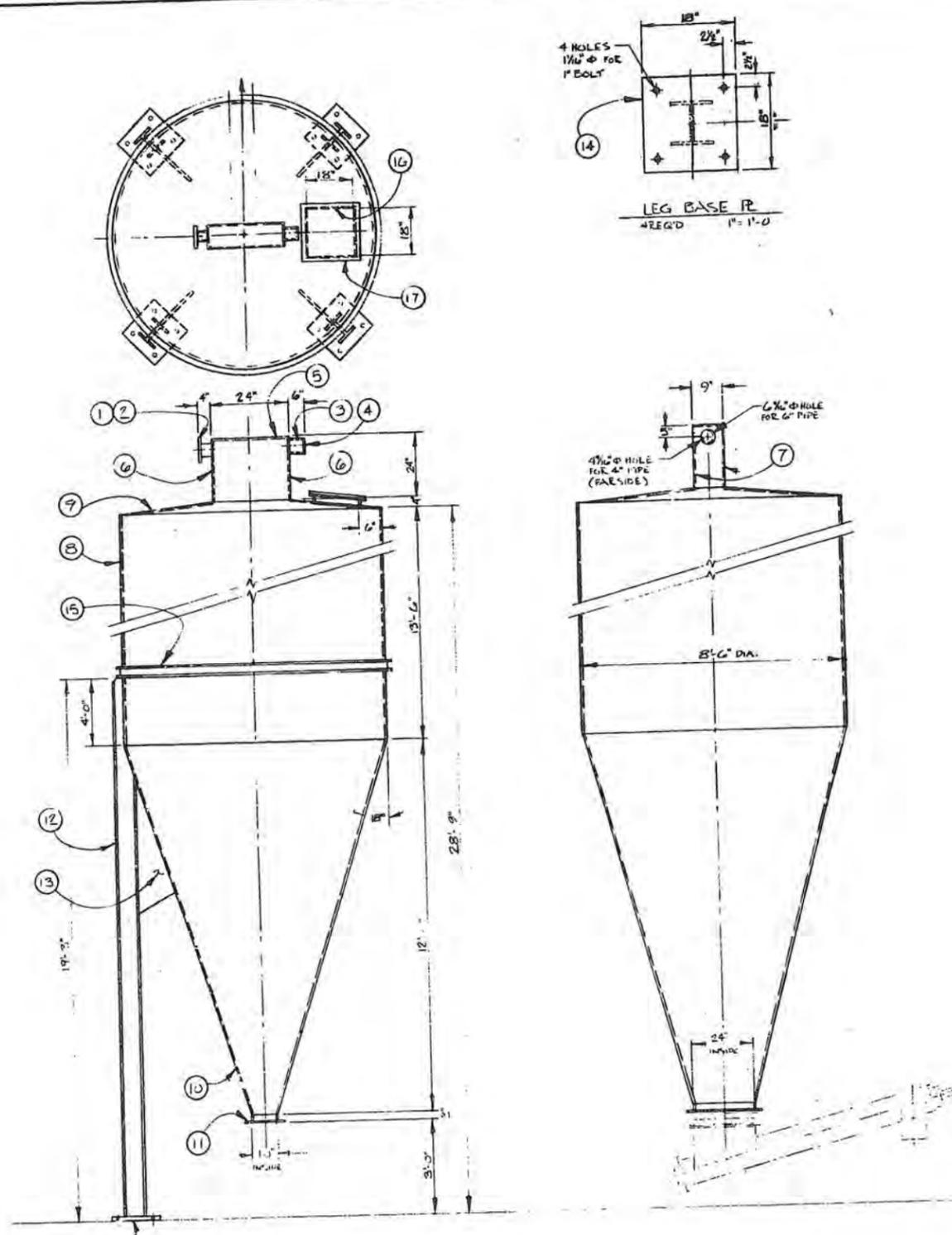


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 Dept. of Construction & Land Use

IPEC-USA		SOUTHEAST VIEW OF GARAGE	
IPEC CONSULTANTS LTD. P.O. BOX 1007 VIRGINIA, MARYLAND, 20180		MARYATT	
DRN HME	DATE FEB. 26 66	SCALE 1/4" = 1'-0"	DWG. NO. MA-GA-312
CHK'D	W.O.		REV.

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





TITLE		ENG. NO.	REV
STORAGE TANK		MA-FD-505	
ITEM	SIZE/AMOUNT	QTY	DESCRIPTION
1	BLK W/PIPE	1	4" Ø MS STD PIPE x 6" LG.
2	FLANGE	1	1/2" MS 9" DIA.
3	TARGET PIPE	1	6" Ø MS PIPE x 6" LG.
4	FILLER PL	1	1/2" MS 6 1/2" DIA.
5	BOX TOP	1	1/2" MS 9" x 24" LG.
6	BOX ENDS	2	1/2" MS 9" x 24" LG.
7	BOX SIDES	2	1/2" MS 24" x 24" LG.
8	TANK WALL	1	1/2" MS 13'-6" x 26'-7 1/2" LG.
9	TANK TOP	1	1/2" MS 8'-6" DIA. x 4" DEEP CONE
10	TANK BOTTOM	1	1/2" MS SQUARE TO ROUND CONE
11	BOTTOM FLANGE	1	1/2" MS 2' x 5' x 92" LG.
12	LEG	4	1/2" x 8' x 3/16 MS x 19'-2" LG.
13	CLIP SET	4	1/2" MS 1'-2" x 4'-0 LG.
14	LEG BASE PL	4	1/2" MS 18" x 18" LG (DRILL HOLES)
15	TANK RING	1	C 4 @ 6.25 MS x 26'-8 1/2" LG.
16	C OVER FLANGE	1	1/2" MS 1 1/2" x 1 1/2" x 84" LG.
17	C OVER	1	1/2" MS 21" x 21" LG.

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IPEC-USA STORAGE TANK

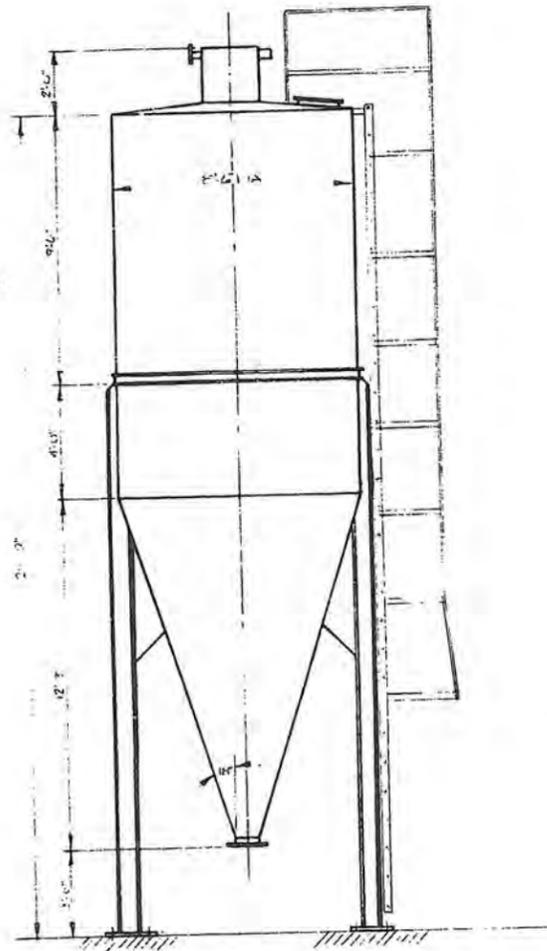
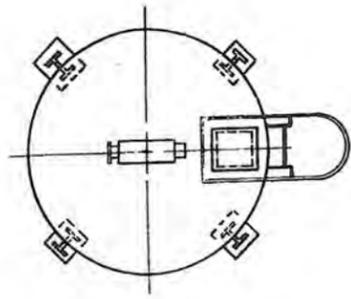
IPEC CONSULTANTS LTD.
P.O. BOX 107
VINNOMON, WASH. STATE

MARIATT

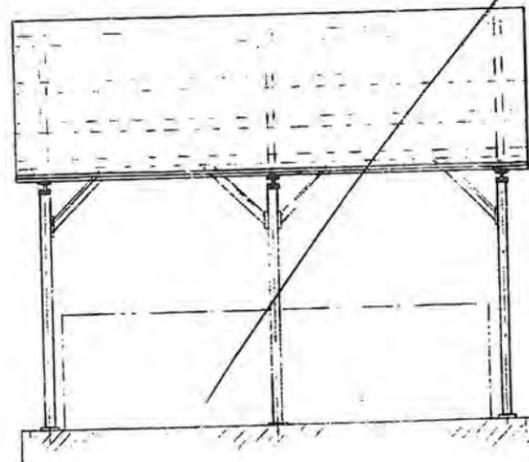
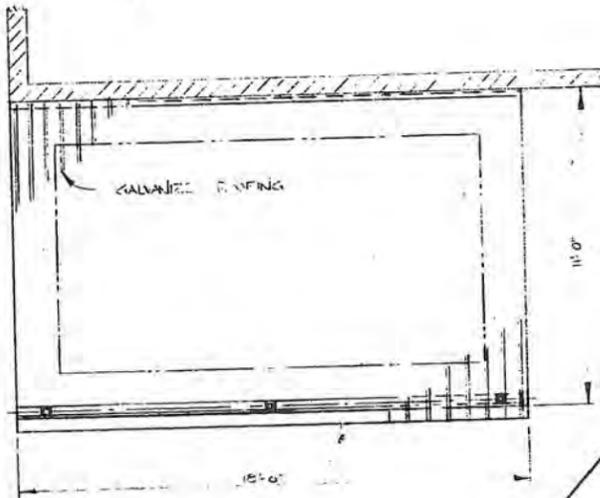
DRN	HMC	DATE	FEB 17 66	SCALE	1/2" = 1'-0"	DRWG. NO.	MA-FD-505	REV.
CHKD	W.O.							

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.

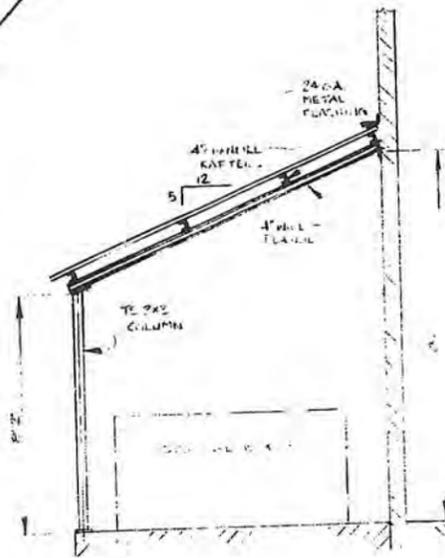




STORAGE TANK



DISPOSAL BOX ROOF

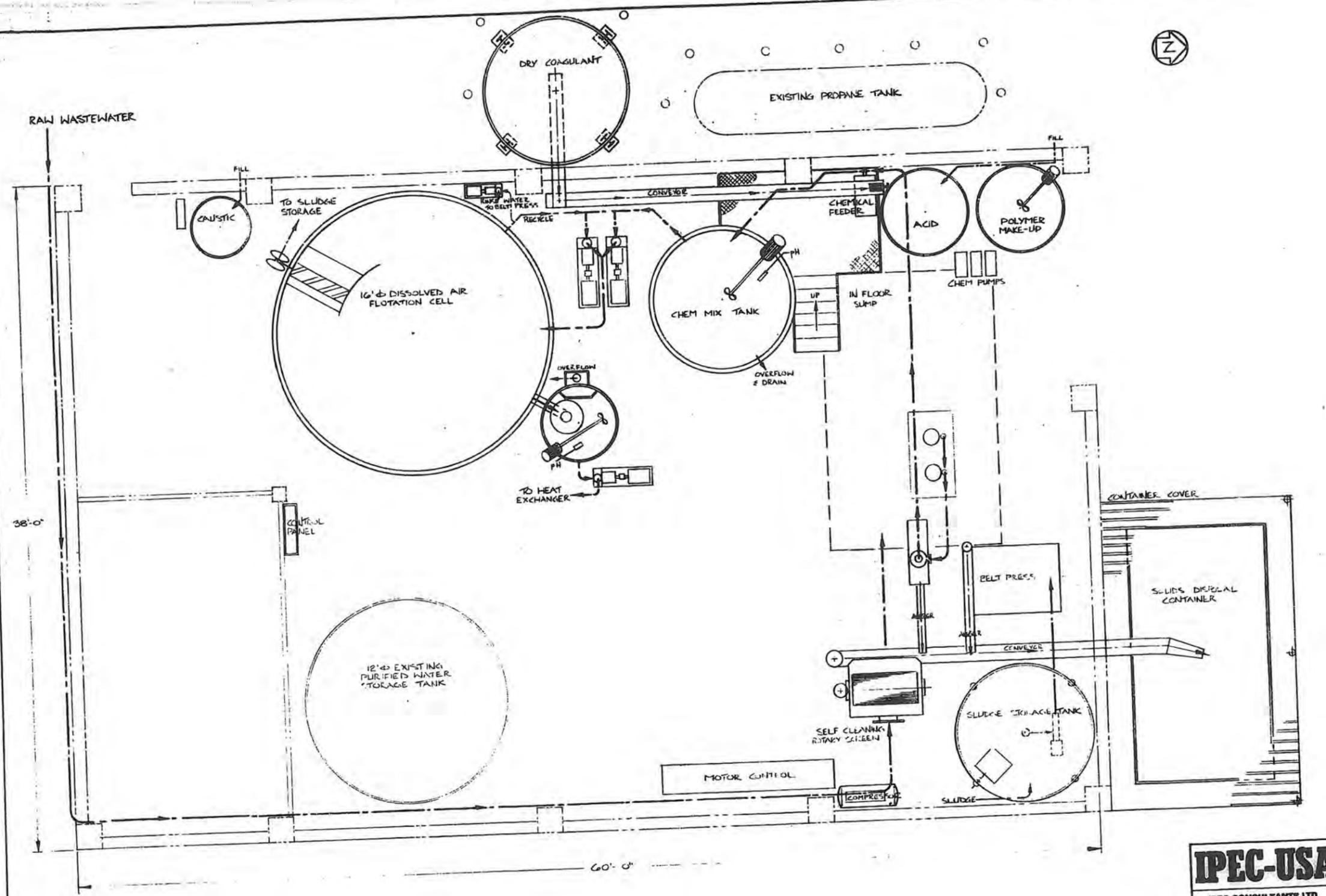


RECEIVED
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IPEC-USA		STORAGE TANK & DISPOSAL BOX ROOF PLAN & ELEVATIONS	
IPEC CONSULTANTS LTD. P.O. BOX 1077 WASHOUGA, WASH. 99149			
DRN L.M.F.	DATE FEB 10/66	SCALE 3/8" = 1'-0"	DWG. NO. MA-GA-300
CHKD	W.D.		REV.

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.



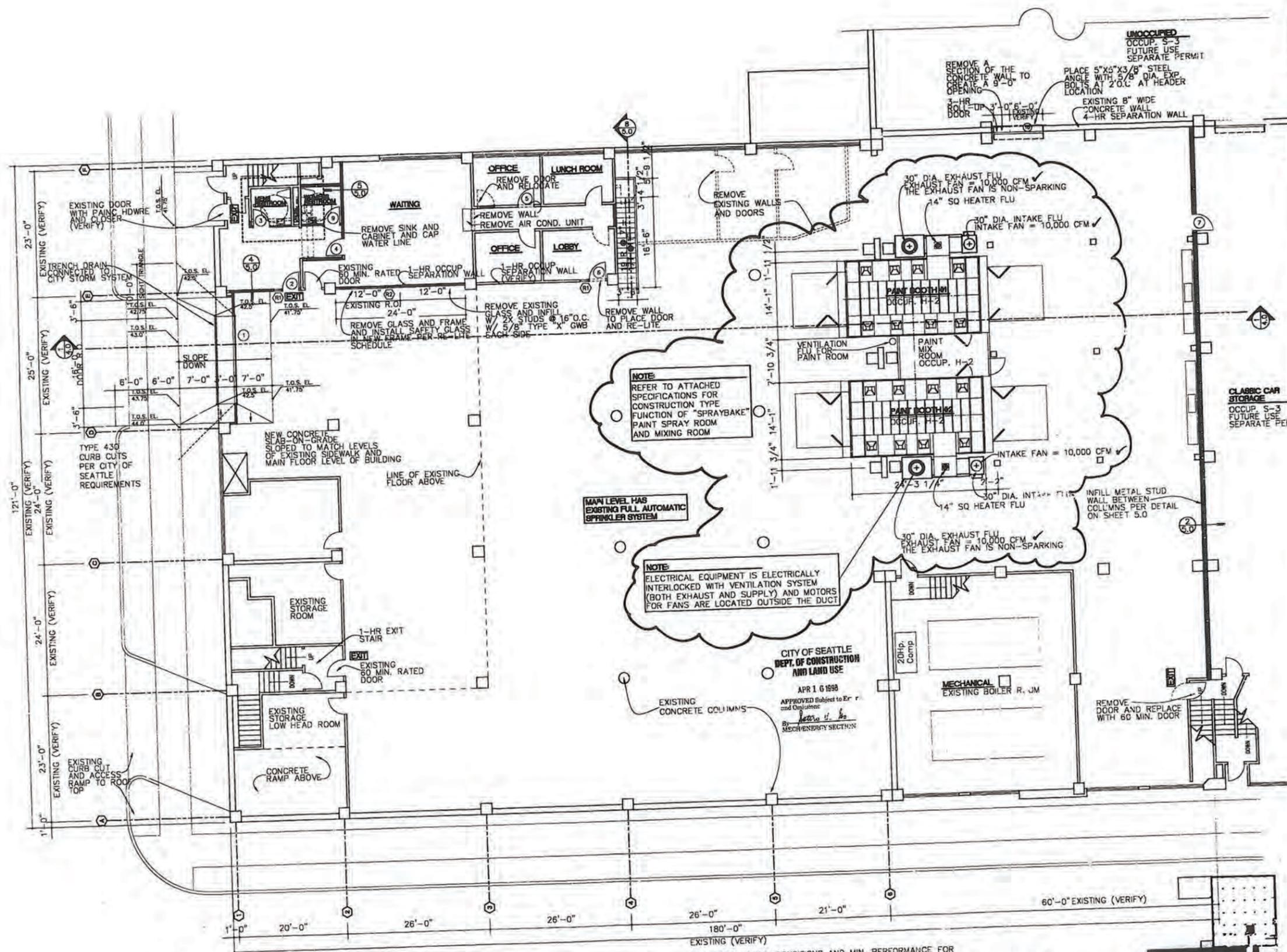


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MAR 11 1988
Dept. of Construction & Land Use

IPEC-USA		WASTEWATER TREATMENT GENERAL ARRANGEMENT	
IPEC CONSULTANTS LTD. P.O. BOX 1007 MADISON, WISCONSIN 53703		MARVACT	
DATE	FEB 17/86	SCALE	3/8" = 1'-0"
CHKD	MEG.	DRAW. NO.	MA-6A-308

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





PERMIT SET

CLASSIC CAR STORAGE
 OCCUP. S-3
 FUTURE USE
 SEPARATE PERMIT

NOTE:
 REFER TO ATTACHED SPECIFICATIONS FOR CONSTRUCTION TYPE FUNCTION OF "SPRAYBAKE" PAINT SPRAY ROOM AND MIXING ROOM

MAIN LEVEL HAS EXISTING FULL AUTOMATIC SPRINKLER SYSTEM

NOTE:
 ELECTRICAL EQUIPMENT IS ELECTRICALLY INTERLOCKED WITH VENTILATION SYSTEM (BOTH EXHAUST AND SUPPLY) AND MOTORS FOR FANS ARE LOCATED OUTSIDE THE DUCT

CITY OF SEATTLE
 DEPT. OF CONSTRUCTION AND LAND USE
 APR 16 1998
 APPROVED Subject to E.C. and Ordinance
 By: *[Signature]*
 MECHANICAL SECTION

TENANT IMPROVEMENT WORK
 FOR AUTOHOUND, DKB ENTERPRISES
 771 VALLEY STREET
 SEATTLE, WA 98109

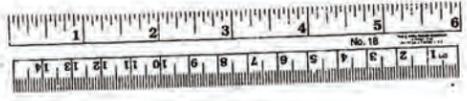
MAIN FLOOR PLAN TOTAL SQ. FT. 21,870
 SCALE: 1/8" = 1'-0"



WALL LEGEND

	EXISTING
	NEW
	TO BE REMOVED

FLOOR AREA TO HAVE AUTOMATIC SPRINKLER SYSTEM THROUGHOUT



STANDARD RATING CONDITIONS AND MIN. PERFORMANCE FOR UNIT HEATERS PER WSEC CHAPTER 14

EQUIPMENT TYPE AND RATING	CATAGORY	SUB-CATEGORY & RATING CONDITIONS	MINIMUM RATING		STANDARD
			STEADY STATE	SEASONAL OR PART LOAD	
ALL SIZE GAS UNIT HEATERS	CATAGORY	MAX. RATED CAPACITY; MIN. RATED CAPACITY	78% E2	NA	ANSI Z83.8-1985
			74% E2	NA	

1. MINIMUM AND MAXIMUM RATINGS AS PROVIDED FOR AND ALLOWED BY THE UNIT'S CONTROLS.
2. FOR MULTI-CAPACITY EQUIPMENT THE MINIMUM PERFORMANCE SHALL APPLY TO EACH STEP PROVIDED MULTI-CAPACITY REFERS TO MANUF. PUBLISHED RATING FOR MORE THAN ONE CAPACITY MODE ALLOWED BY THE PRODUCT'S CONTROLS.

KEY PLAN
 No Scale

MAIN FLOOR PLAN

Sheet No. 20
 Project No. 9720
 Date: 10-22-87