

APPENDIX A

SELECTED SES DRAFT RI AND CAP PHOTOS, FIGURES, AND PLANS

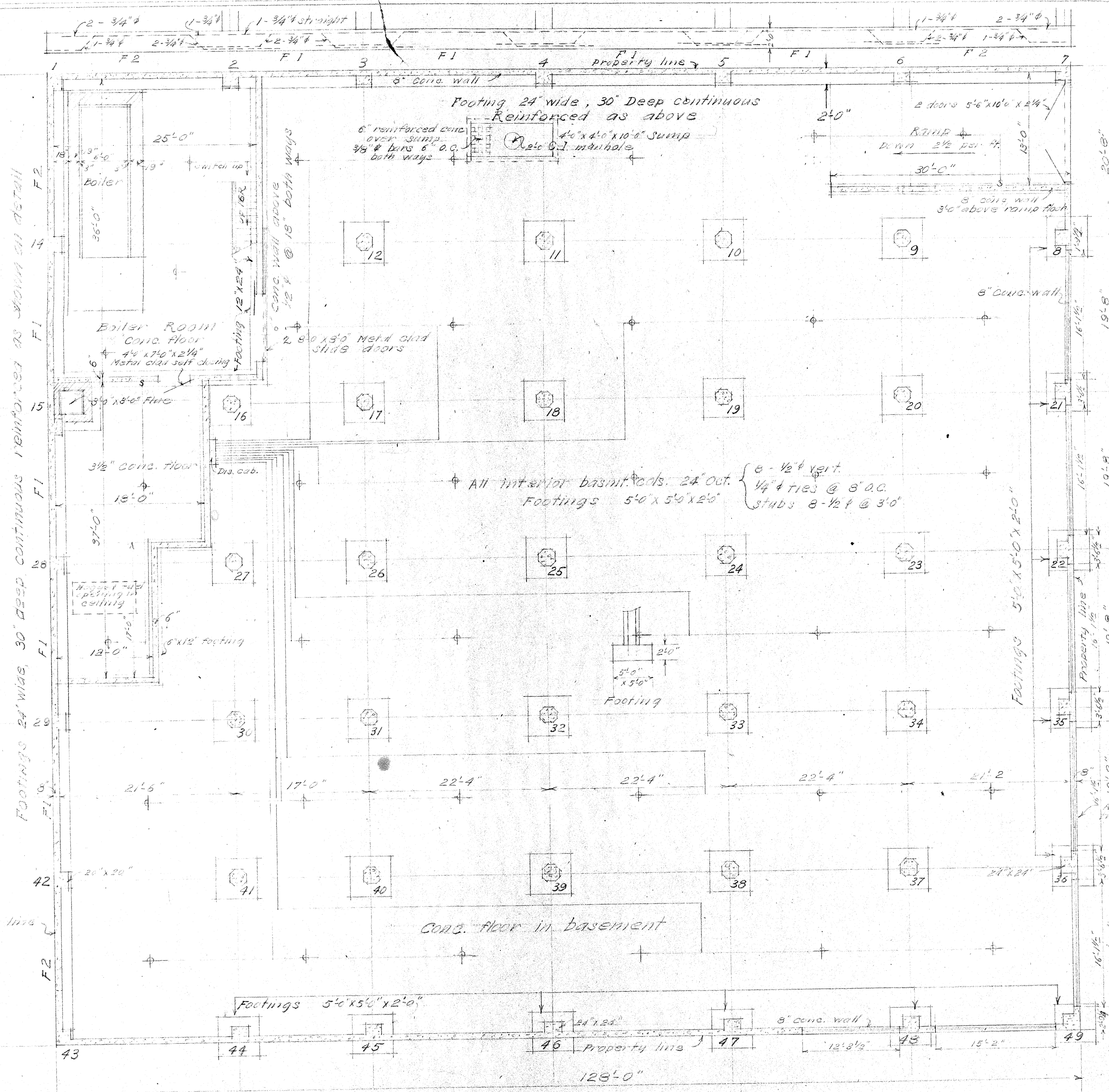
APPENDIX A ILLUSTRATIONS

From Draft Remedial Investigation Report (SES, 2013b)

Figure 4	Subsurface Utilities Map
Figure 5	Historical Property Features, Basement
Figure 6	Historical Property Features, First Floor
Figure 7	Historical Off-Property Features
Figure 8	Site Exploration Location Plan
Figure 9	Geologic Cross Section A-A'
Figure 10	Geologic Cross Section B-B'
Figure 11	Geologic Cross Section C-C'
Figure 12	Conceptual Model of Site Water-Bearing Zones

From Draft Cleanup Action Plan (SES, 2015)

Figure 12	Groundwater Contour Map, Intermediate A Water-Bearing Zone (January 6, 2014)
Figure 13	Groundwater Contour Map, Intermediate A Water-Bearing Zone (June 16, 2015)
Figure 14	Groundwater Contour Map, Deep Water-Bearing Zone (January 6, 2014)



First story columns 1 to 7 inclusive
14, 15, 28, 29, 42, 43
20' x 20'
4 - 5/8" vertical
1/4" ties @ 3' o.c.

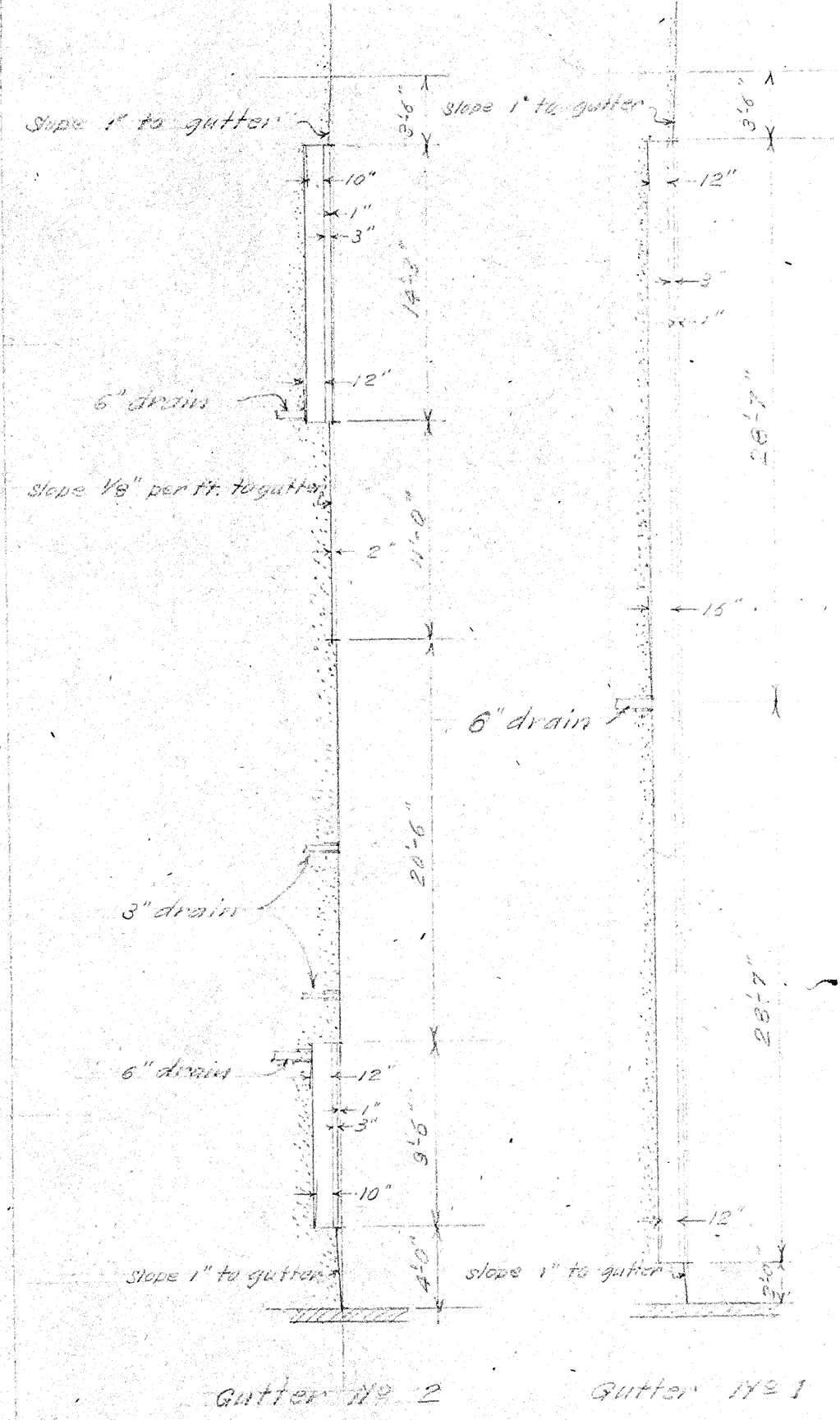
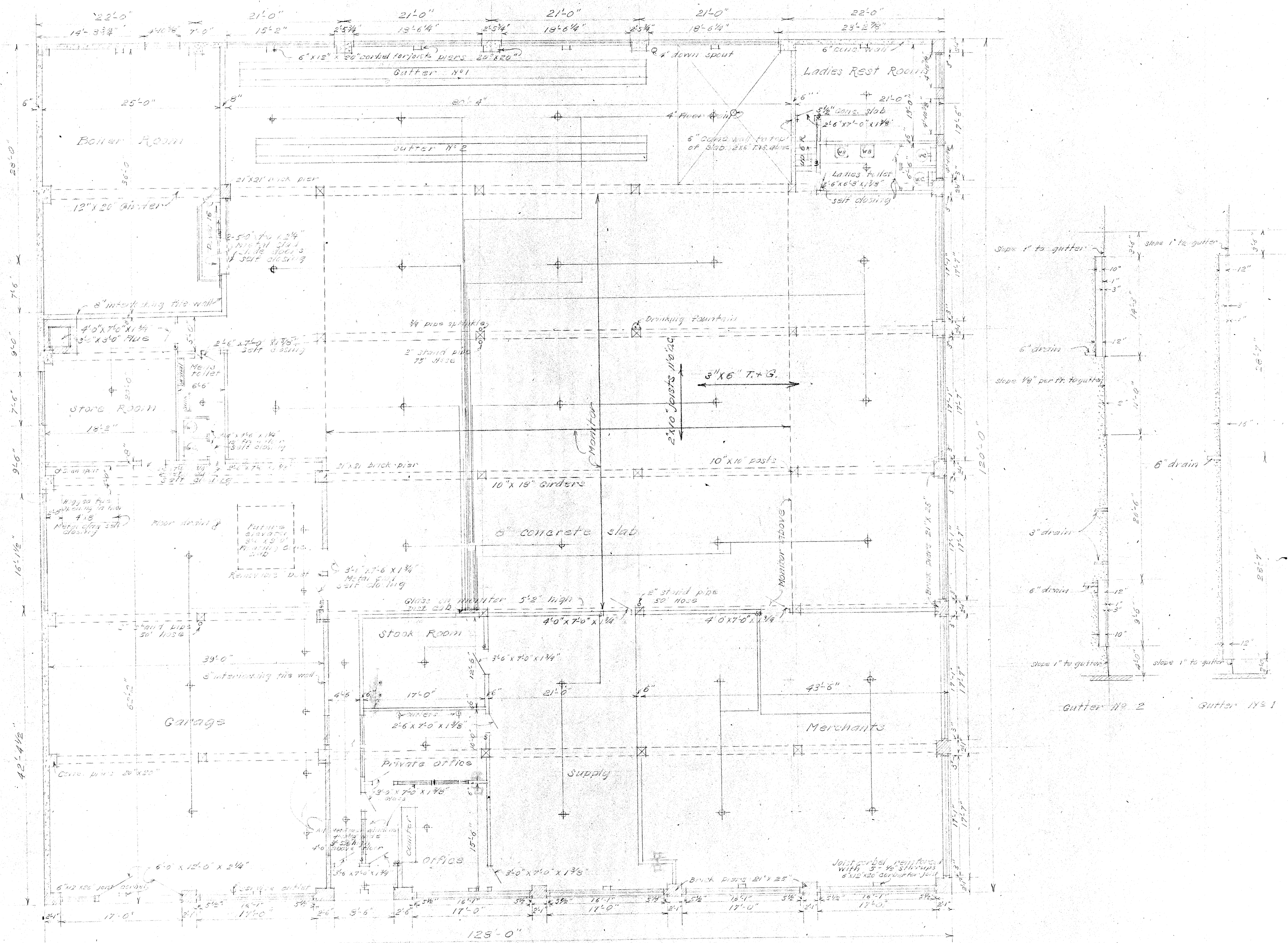
Exterior basement columns
24' x 24' 4 - 3/4" vertical
1/4" ties @ 8' o.c.

Footings 24' wide, 30" deep, continuous reinforced as shown in detail

Property line

BASEMENT PLAN
scale 1/8" = 1'-0"
DESIGN No 2966

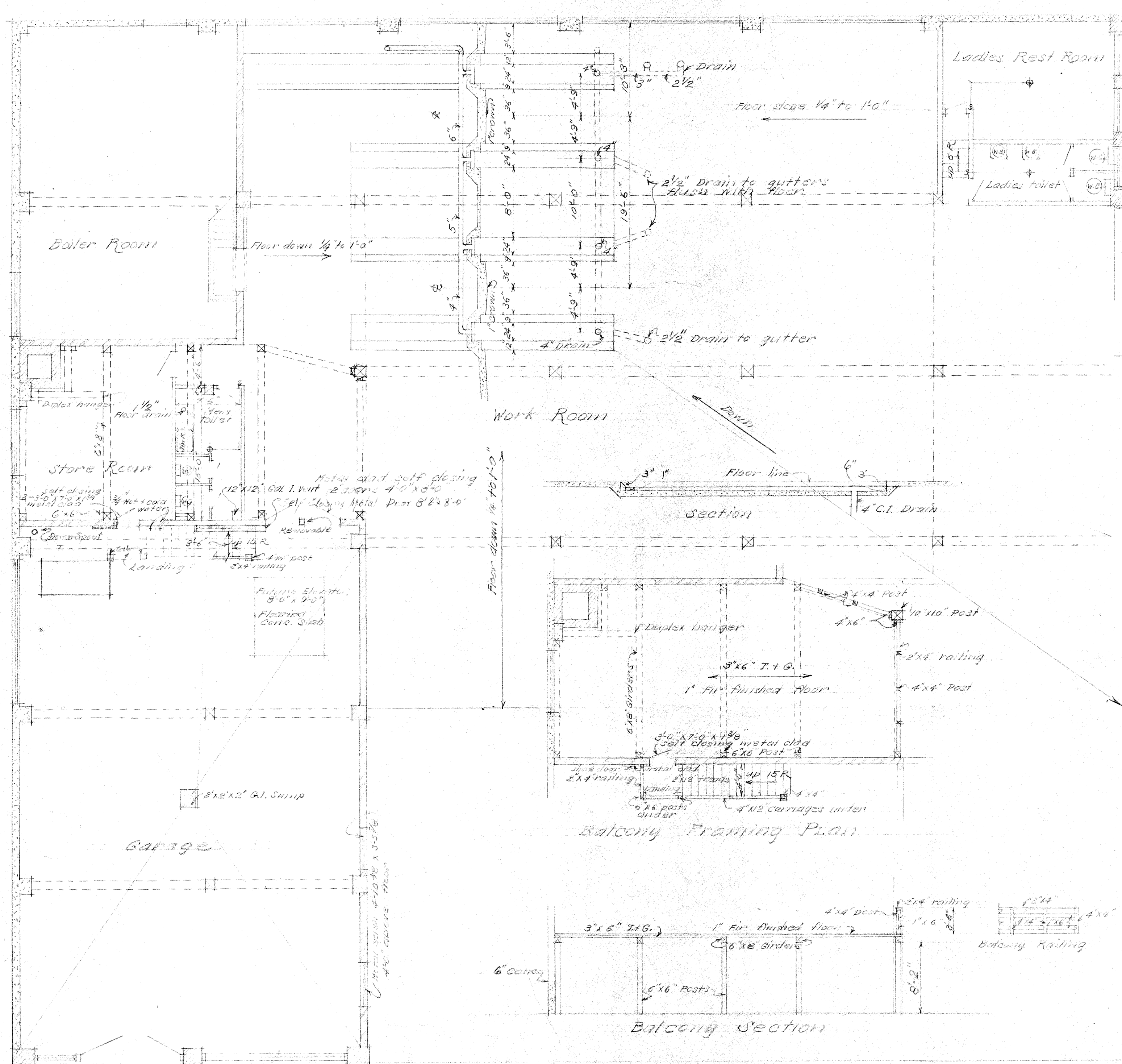
V.W. Voorhees Architect & Engineer
Eitel Bldg. Seattle, Wash.



FLOOR PLAN
 scale 1/8" = 1'-0"
 DESIGN No 2966

V.W. Voorhees Architect & Engineer
 8141 2nd Bldg. Seattle, Wash.

S+R

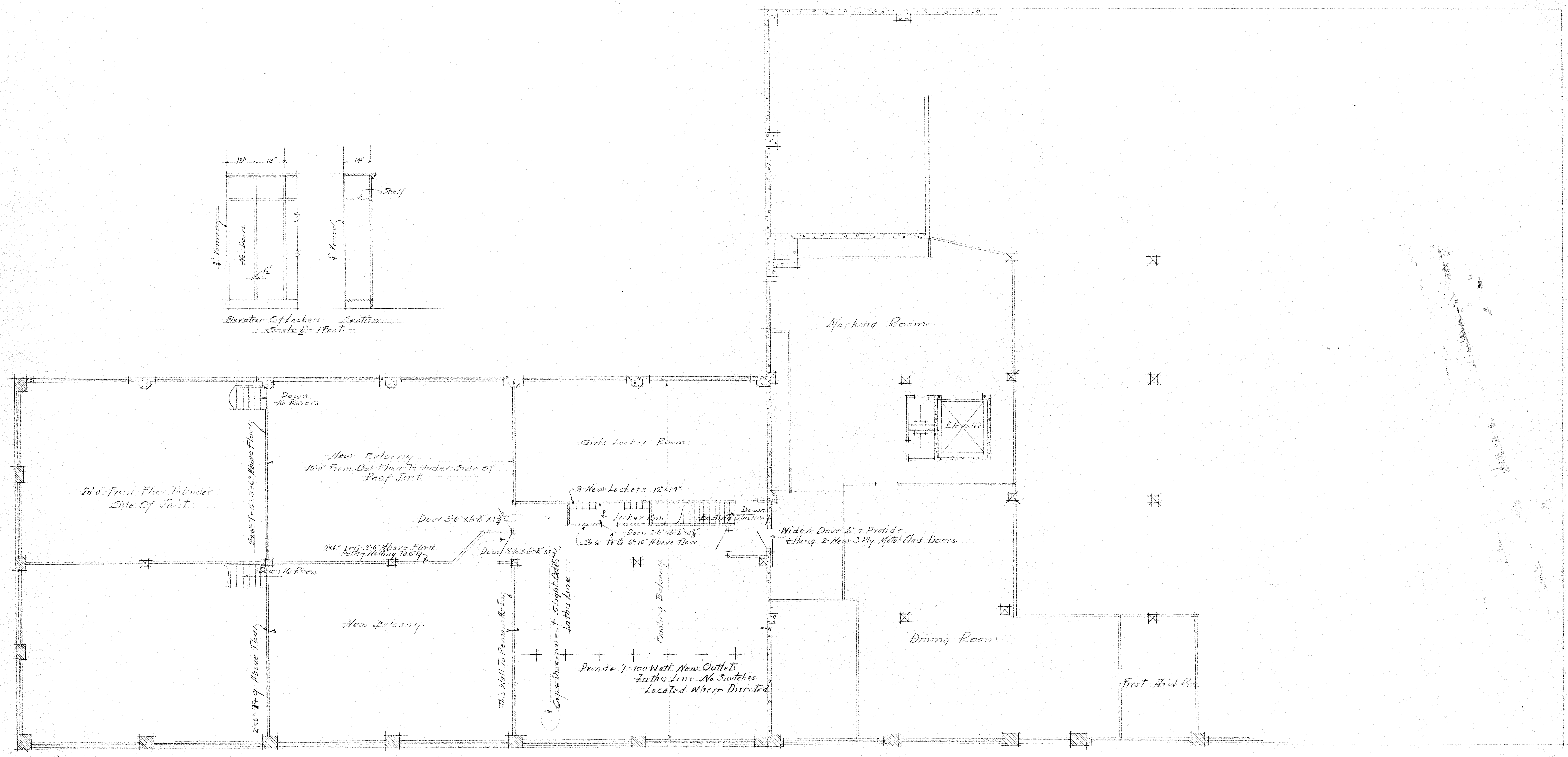
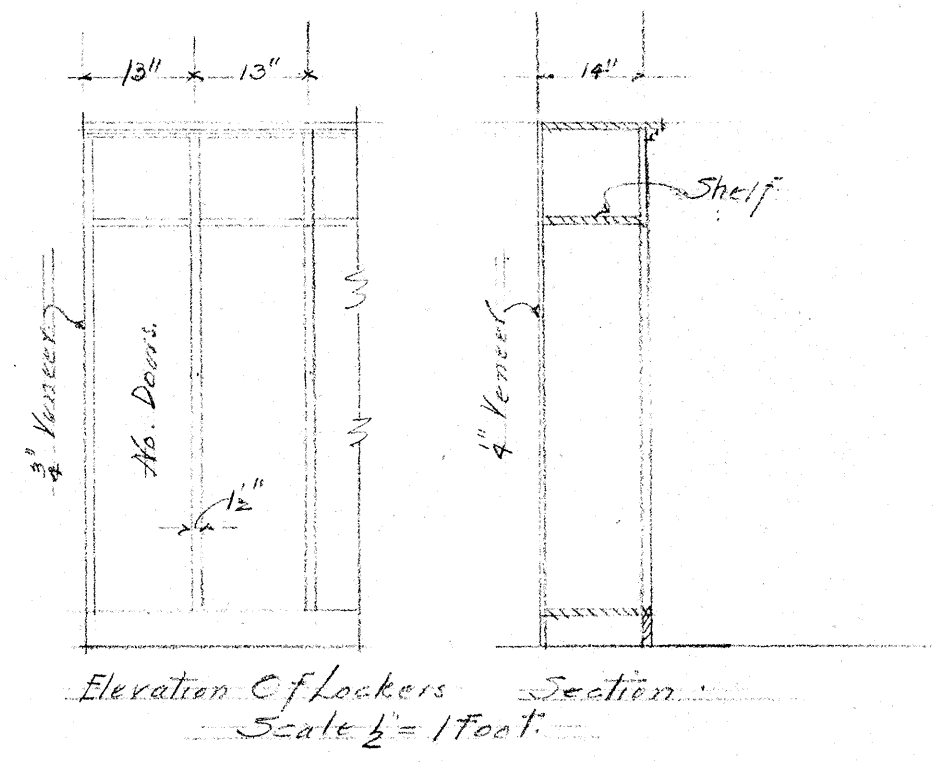


PLAN SHOWING SEWER OUTLETS, BALCONY & GUTTERS

Scale 1/8" = 1'-0"
 DESIGN No 2966

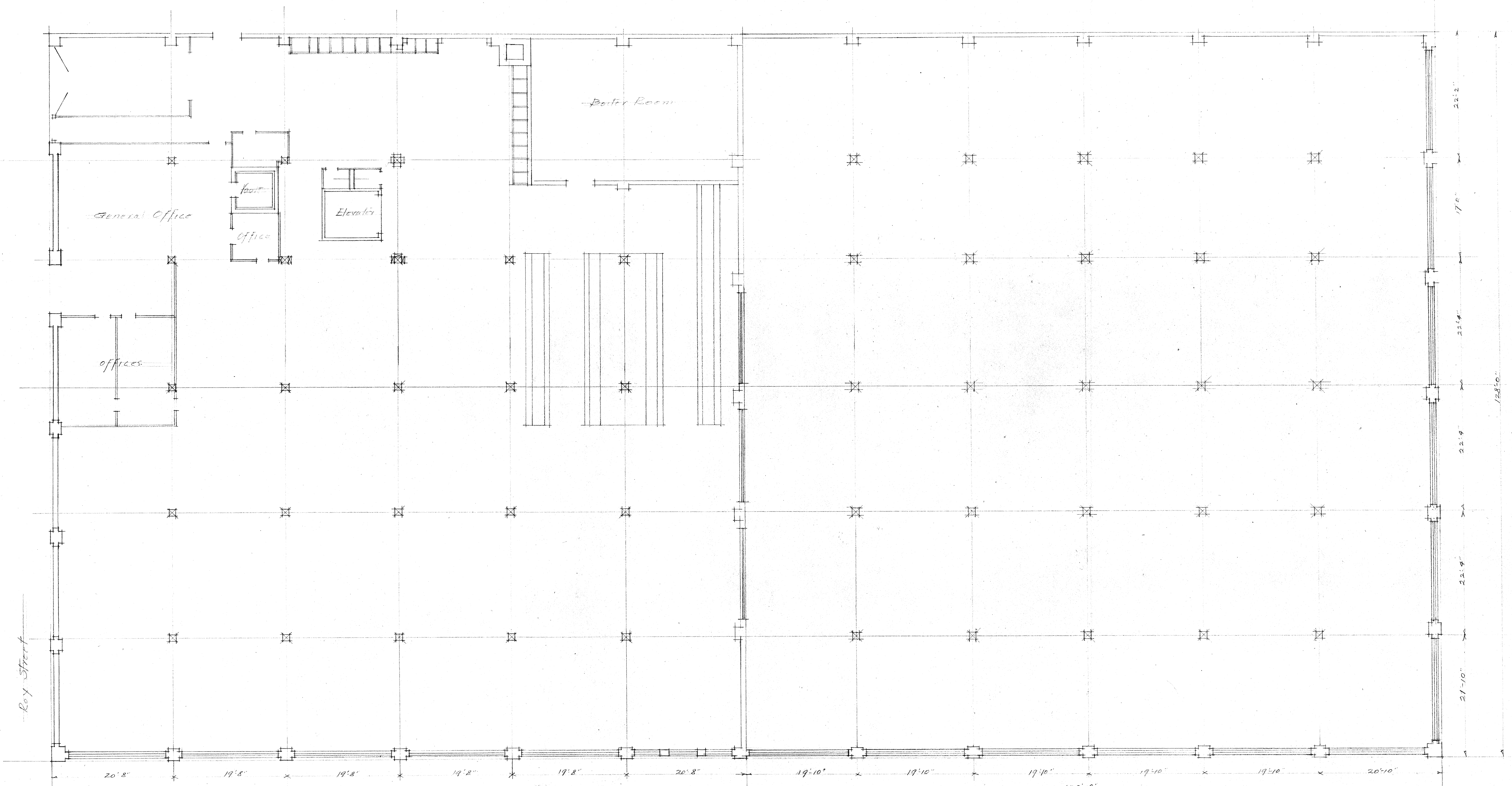
V.W. Voorhees, Architect + Engineer
 Eitel Bldg Seattle, Wash.

Strandling & Robinson
 By A. M. Strandling
 Inc. Pa.



Roy Street
Balcony Floor Plan
Scale 1/8" = 1 Foot

Maryatt Laundry Owners
V W Voorhees Architect
July 16-40 #3075



Roy Street

20' 8" 19' 8" 19' 8" 19' 8" 19' 8" 20' 8" 19' 10" 19' 10" 19' 10" 19' 10" 19' 10" 20' 10" 120'-0" 120'-0"

8 Avenue

First Floor Plan
Scale 1/2" = 1 Foot

Naryatt Laundry
V. W. Voorhees Architect

Boiler Room

General Office

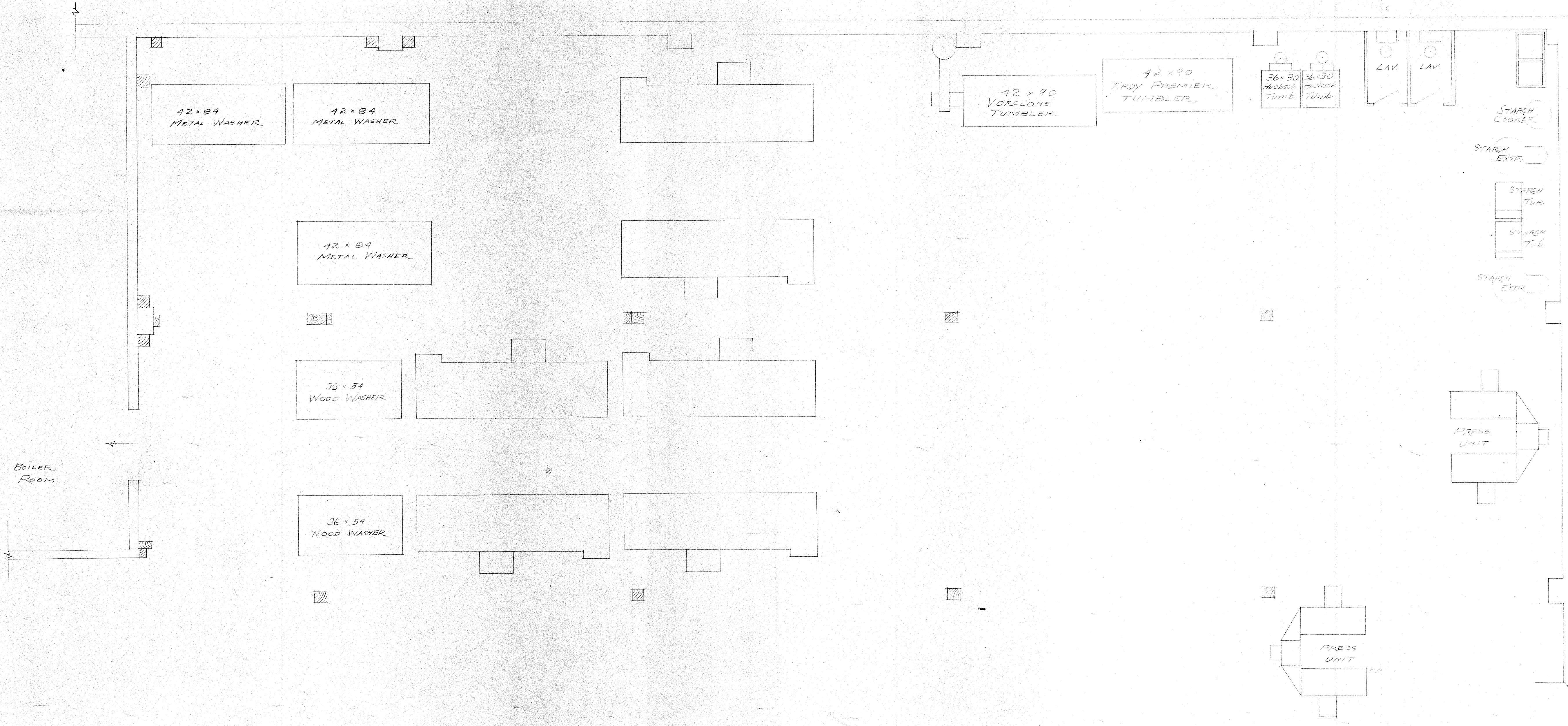
Hall
Office

Elevator

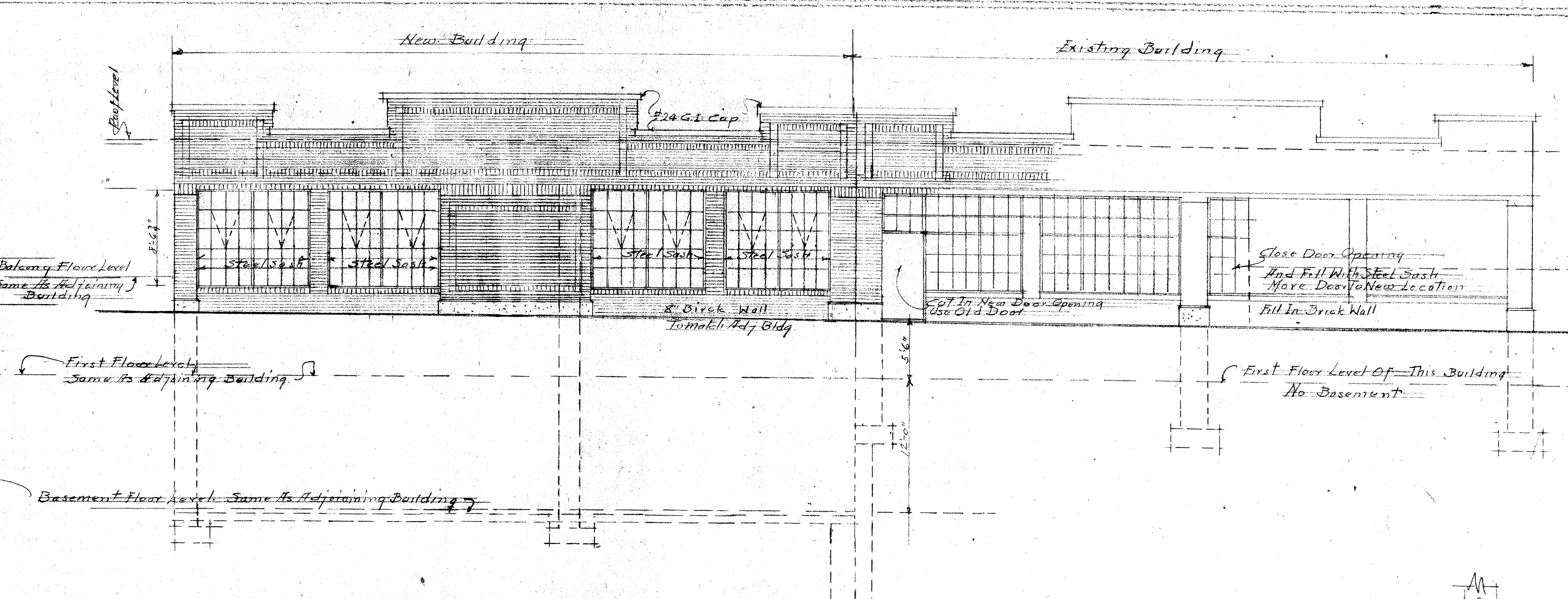
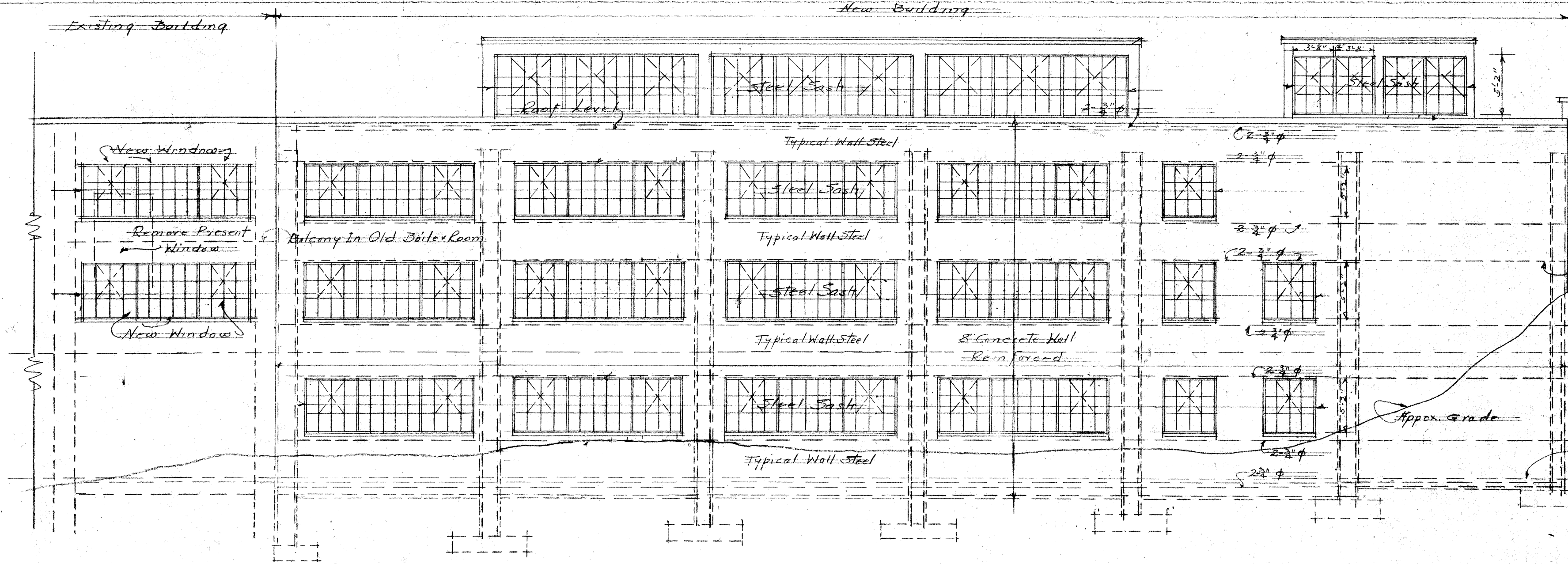
offices

22'-2"
17'-0"
22'-4"
22'-9"
22'-9"
21'-10"

128'-0"

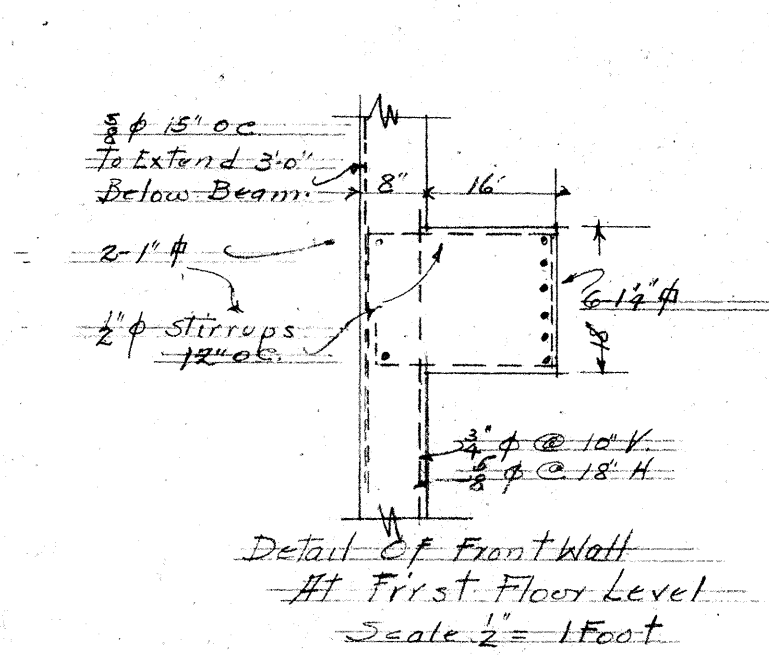


American Linen Supply Co
 Seattle Wash
 DWG 46112 A 6/27/46
 Geo W Hilton A.M.C.

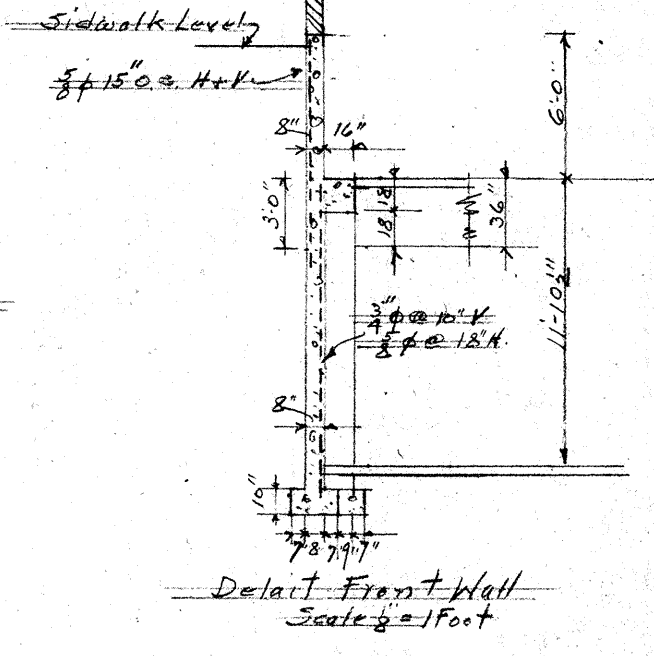


North Side Of Present Boiler Room

North Side Elevation Scale 1/2" = 1 Foot

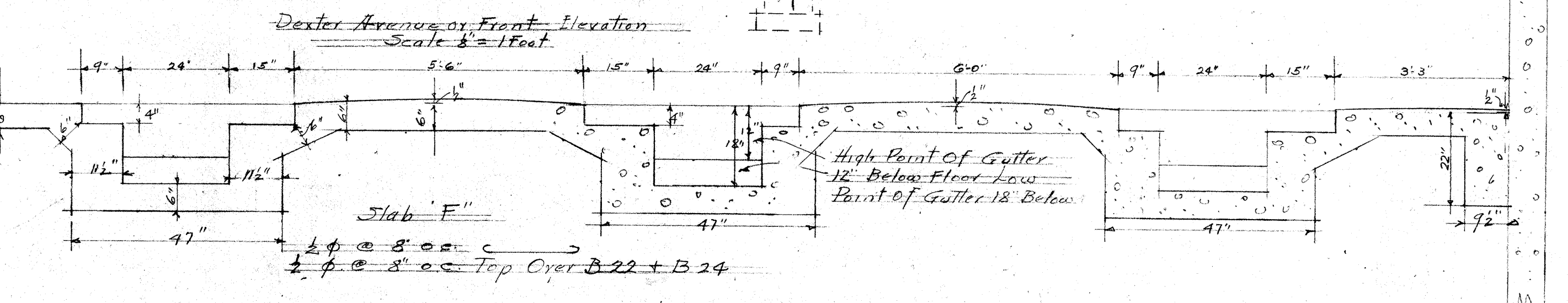


Detail of Front Wall at First Floor Level Scale 1/2" = 1 Foot

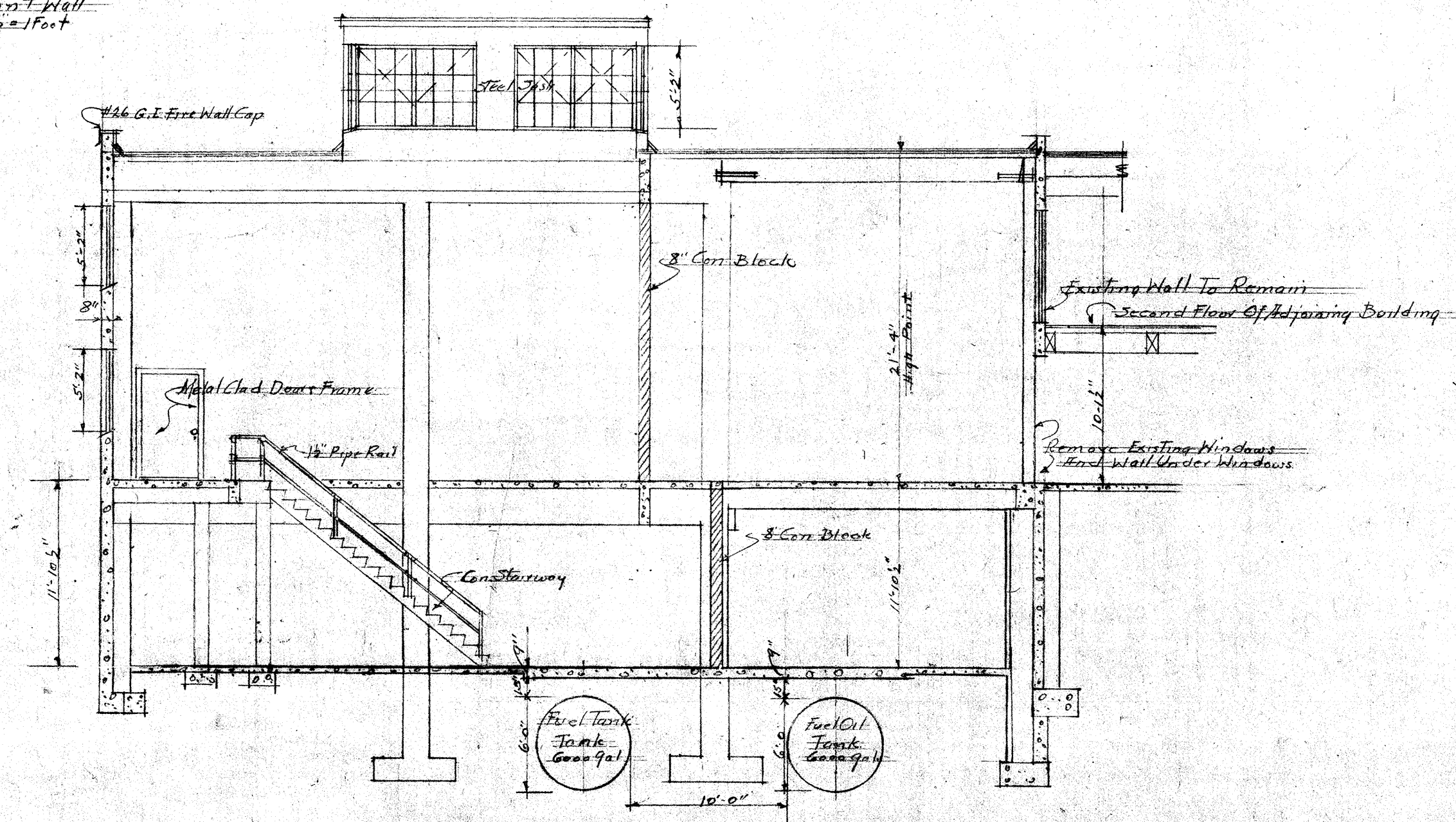
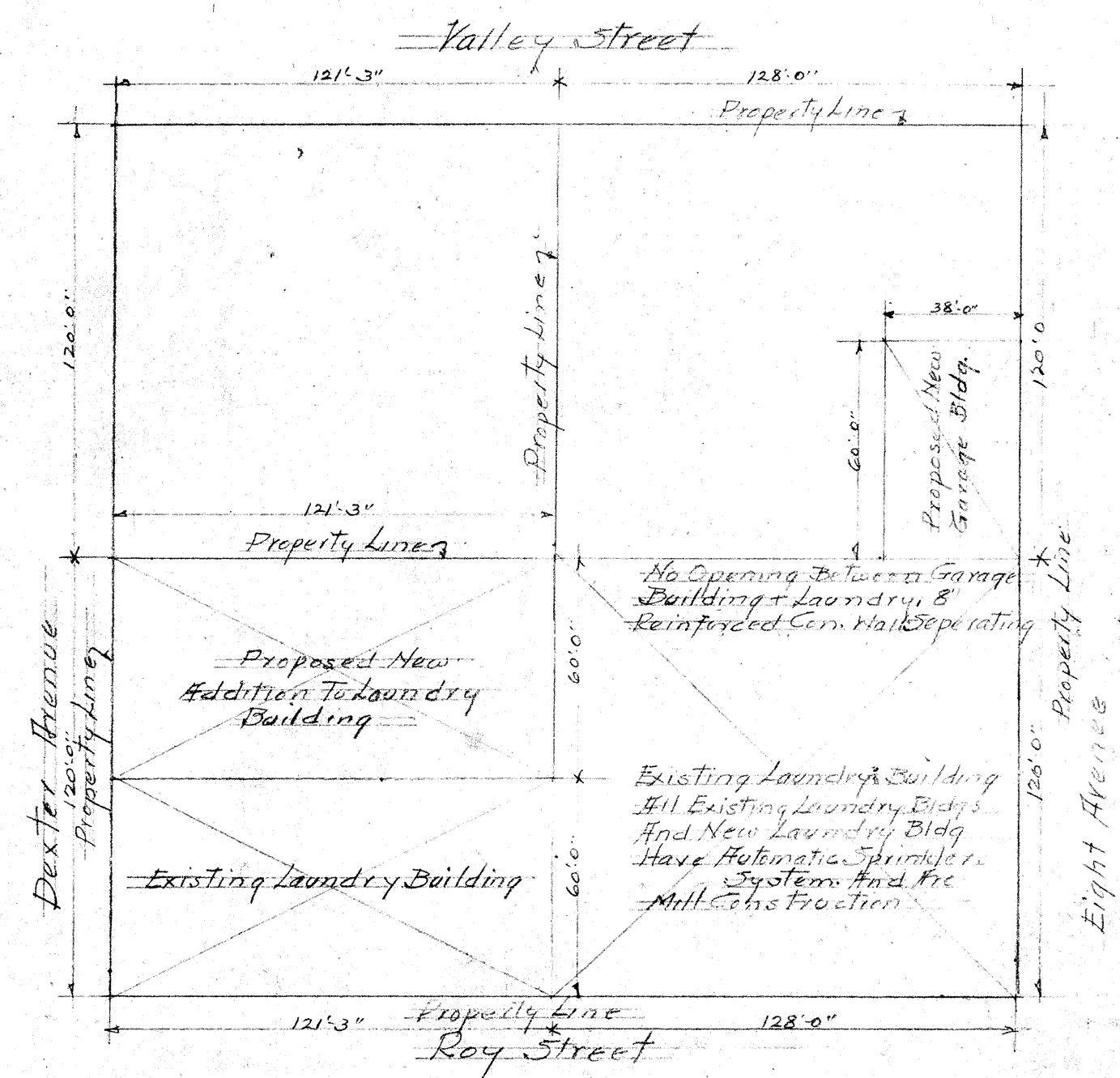


Detail Front Wall Scale 1/2" = 1 Foot

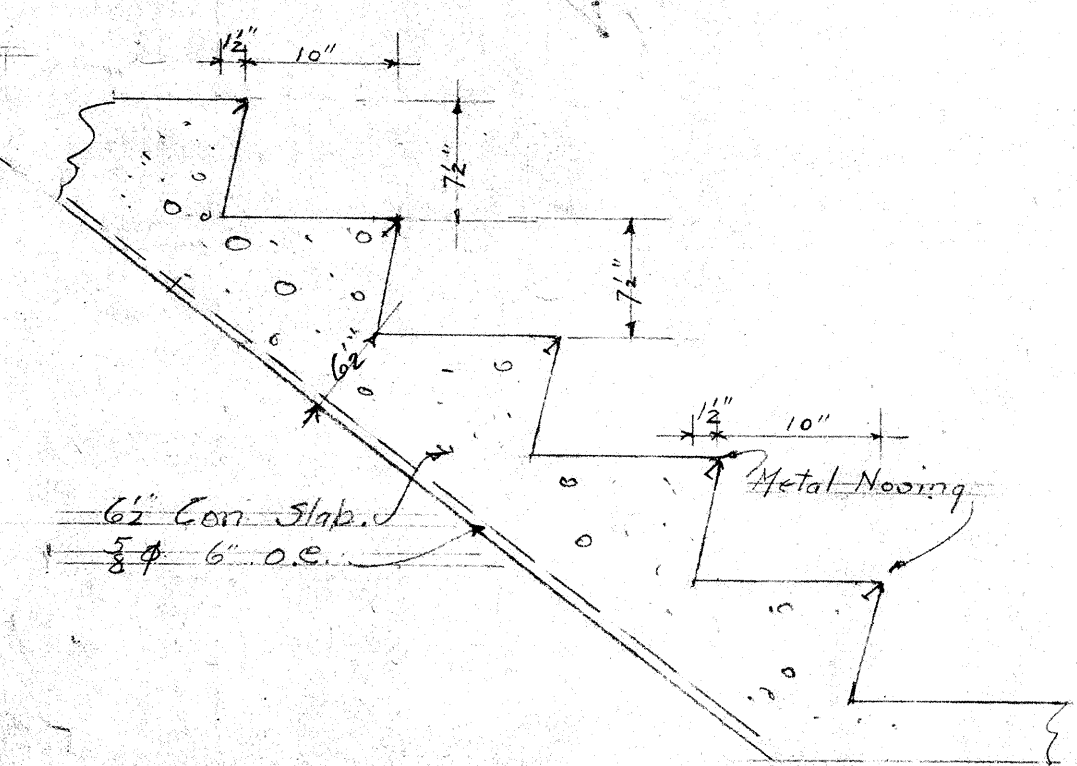
Note
Gutters 12" Deep At West End & 18" Deep At East End



Detail of Gutters in Floor in Floor Over Old Boiler Room Scale 1/2" = 1 Foot

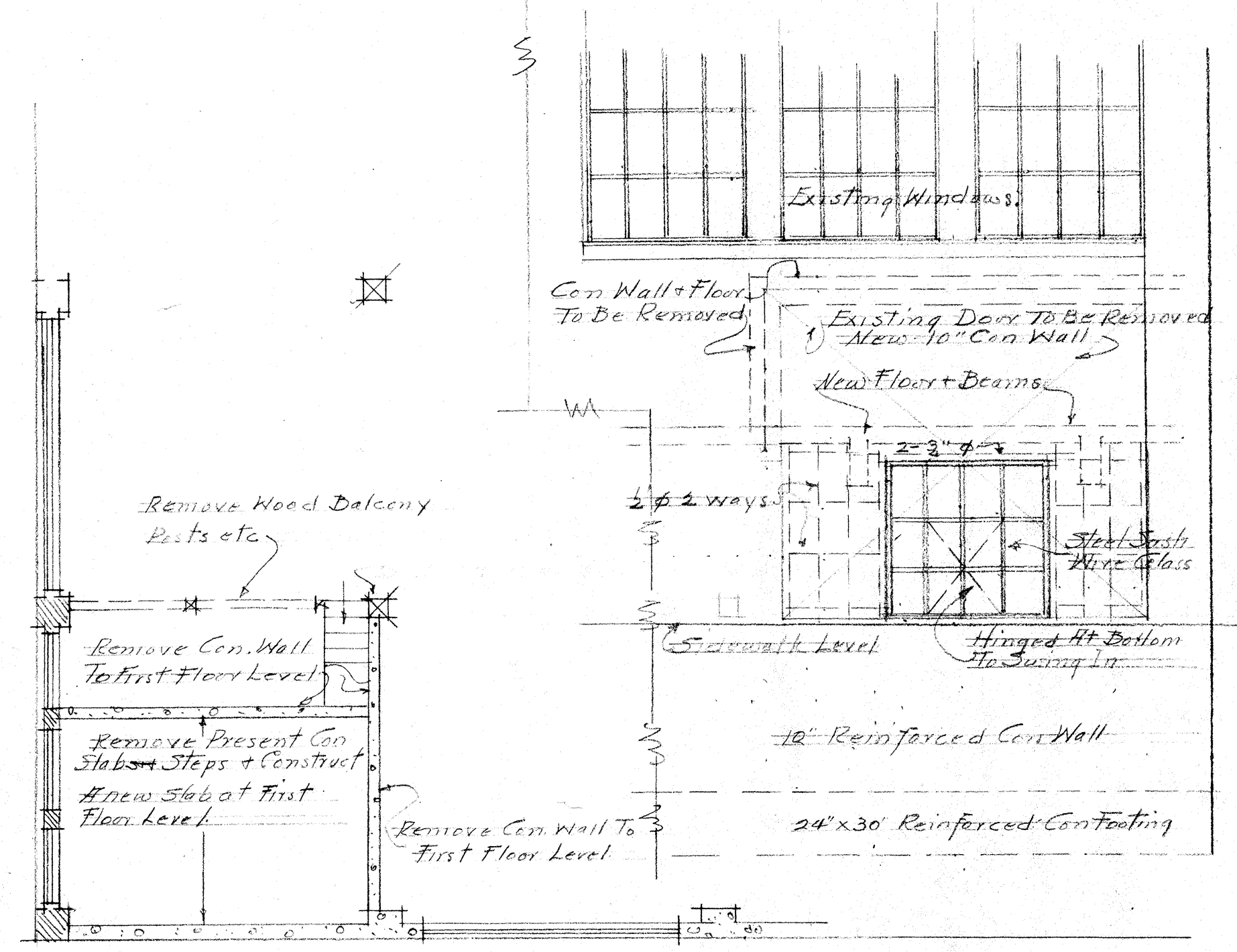


Wall Section Through Boiler Room Scale 1/2" = 1 Foot

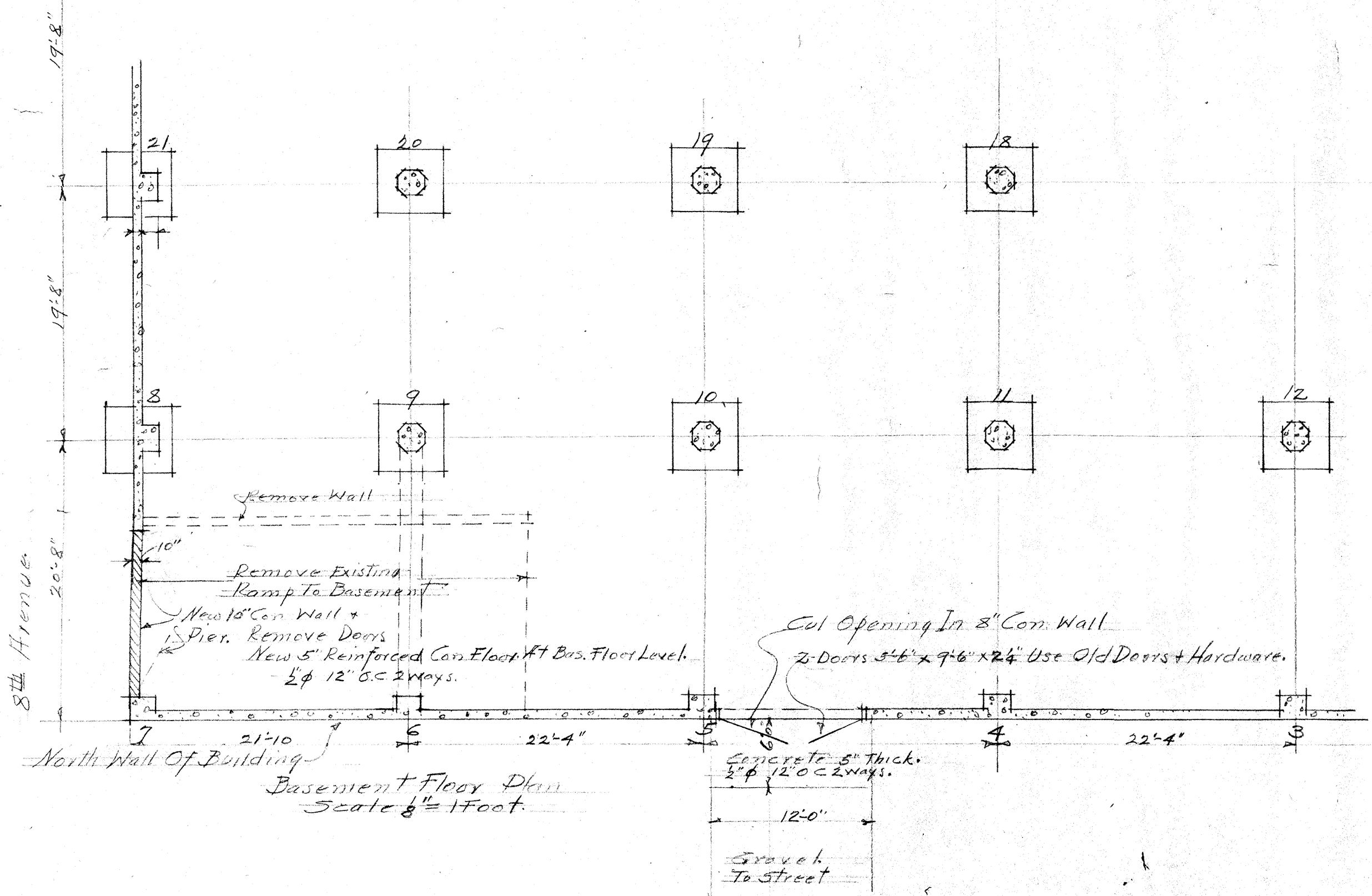
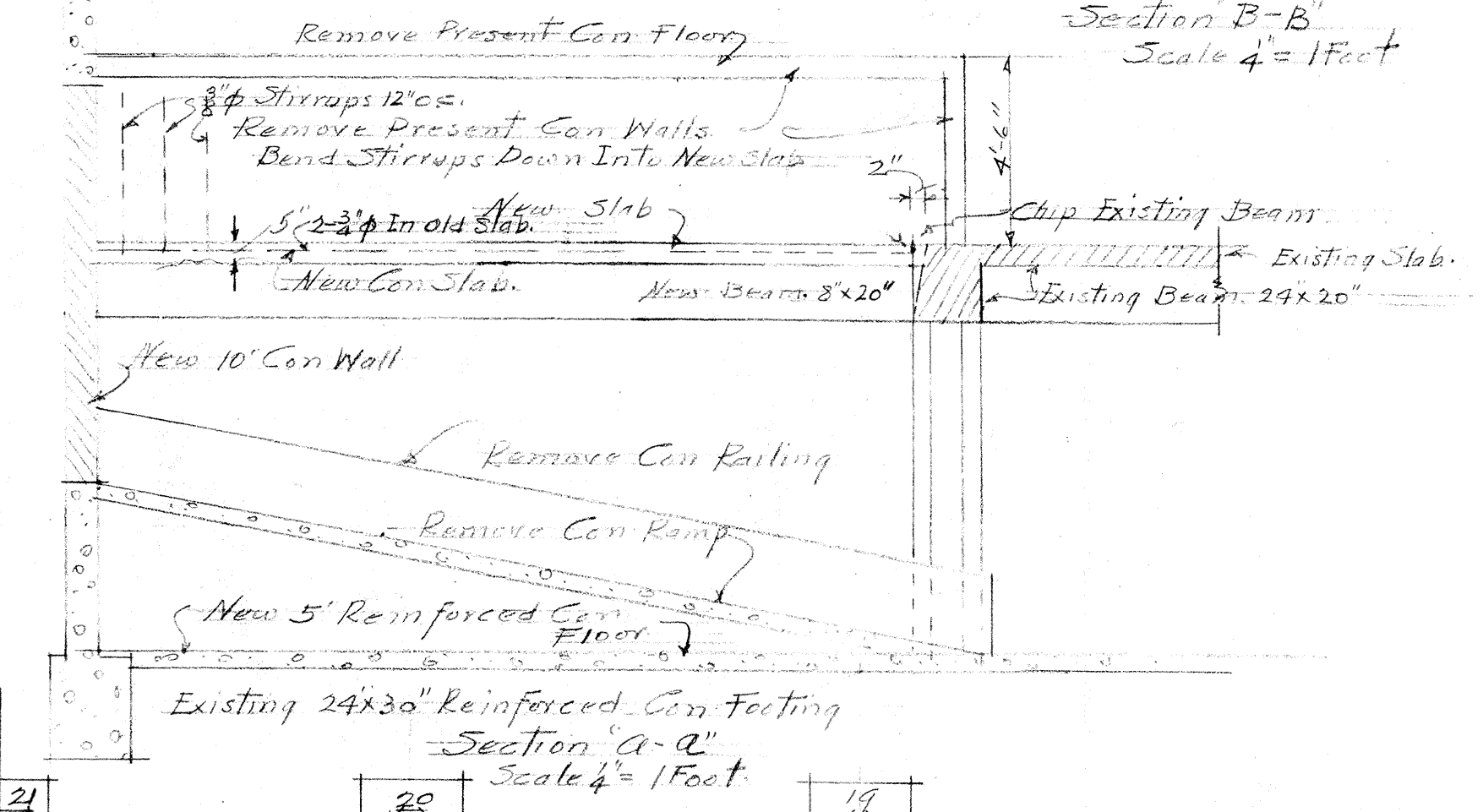
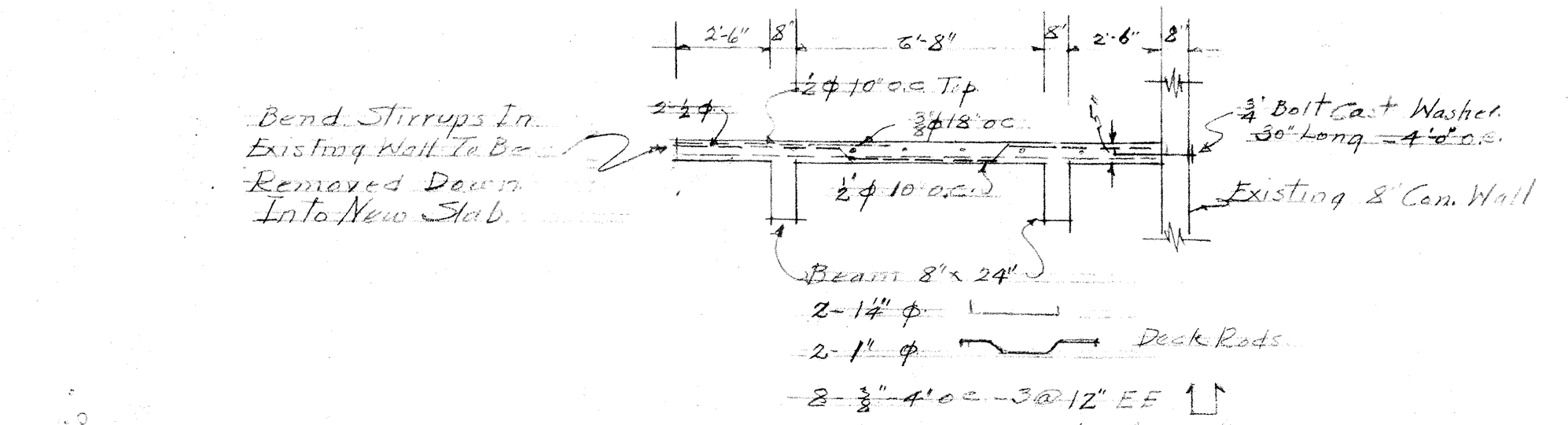
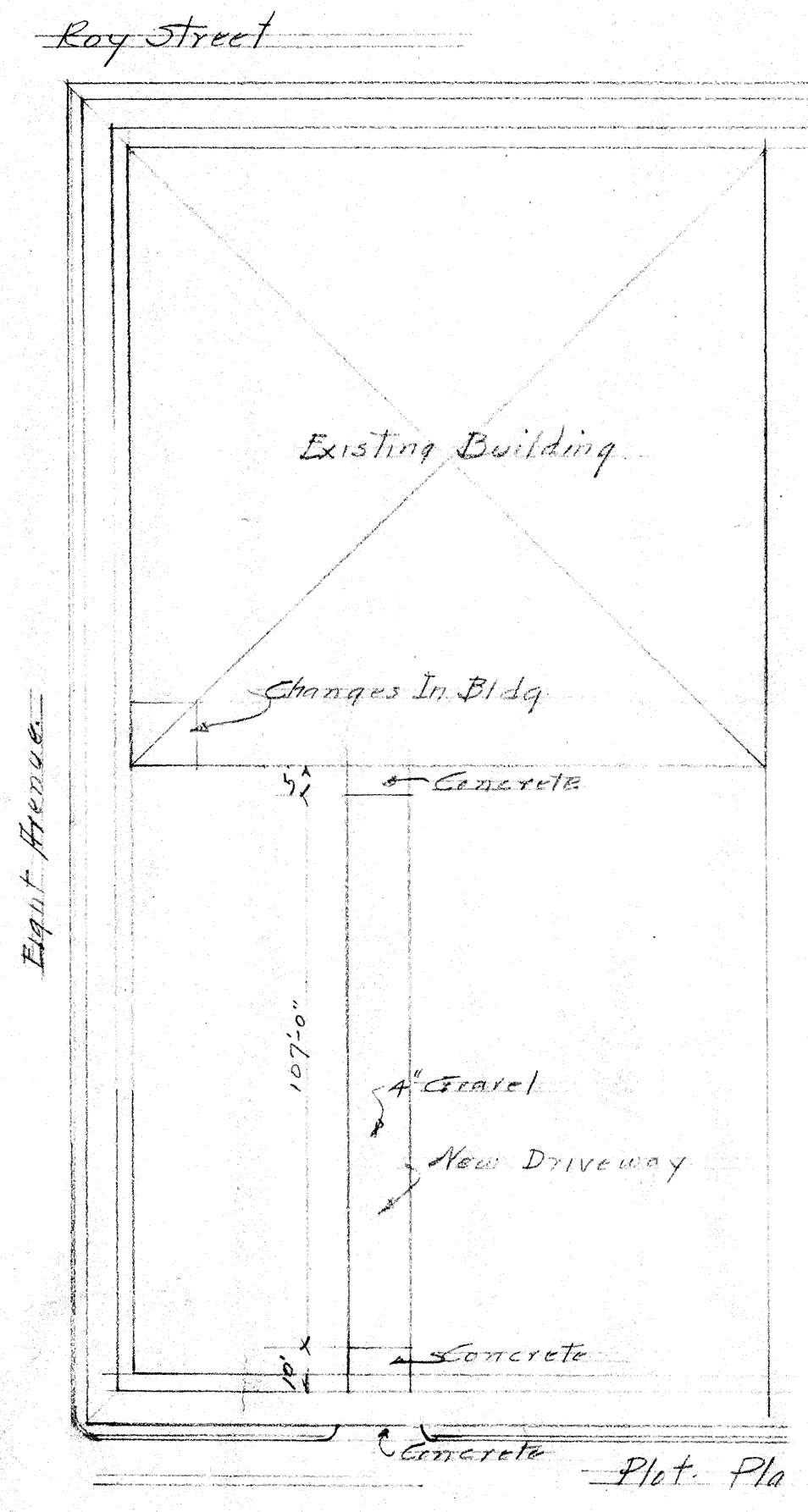


Detail of Concrete Stairway Scale 1/2" = 1 Foot

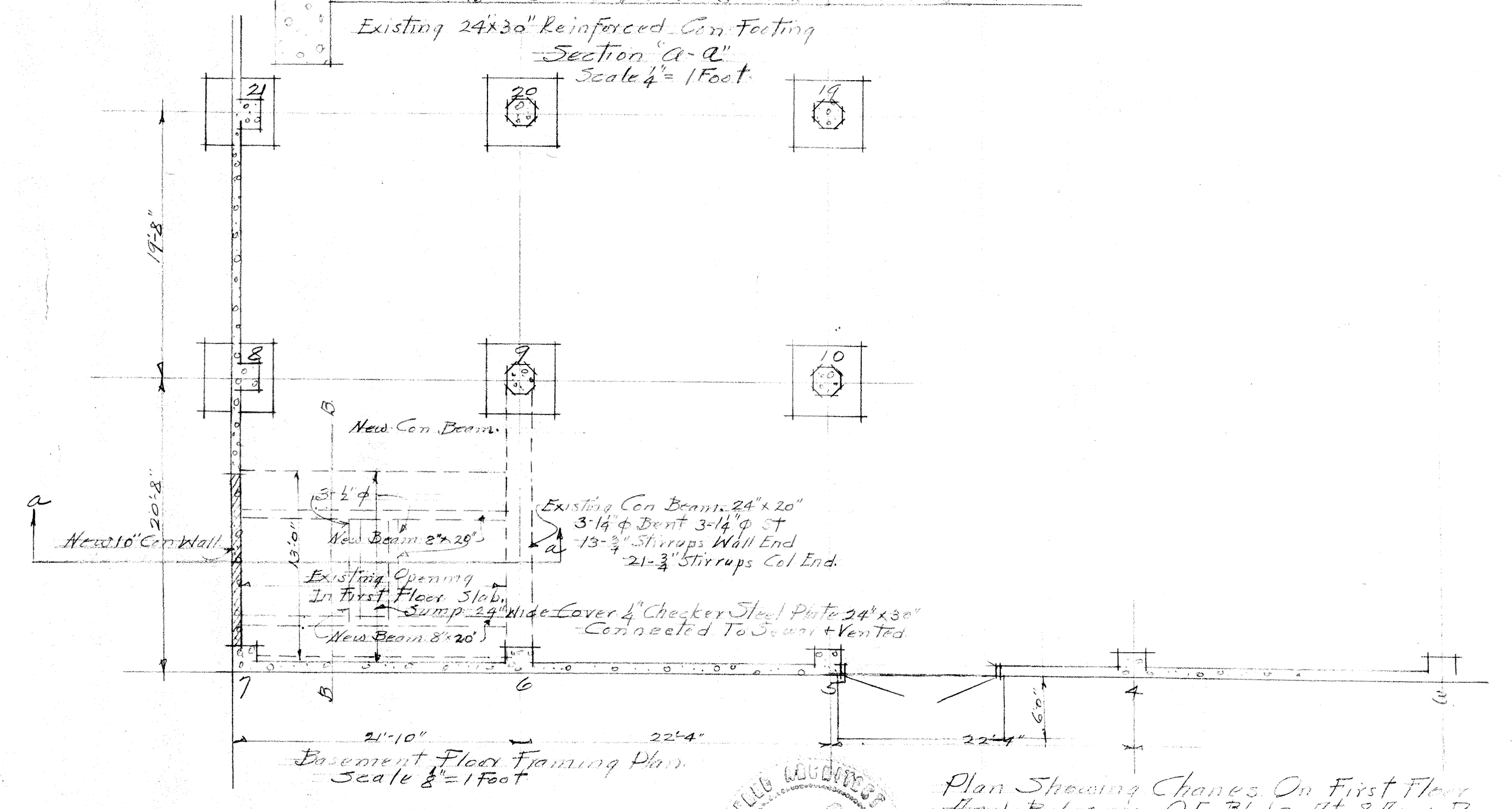
American Lumber Supply Co. Owners
Laundry Building at 8th & Roy Street + Dexter Ave
Seattle Washington
K.W. Yoakley Architect
April 10, 1927



First Floor Plan
 Eight Avenue Elevation
 Showing Door Removed
 And New Window
 Scale $\frac{1}{4} = 1$ Foot



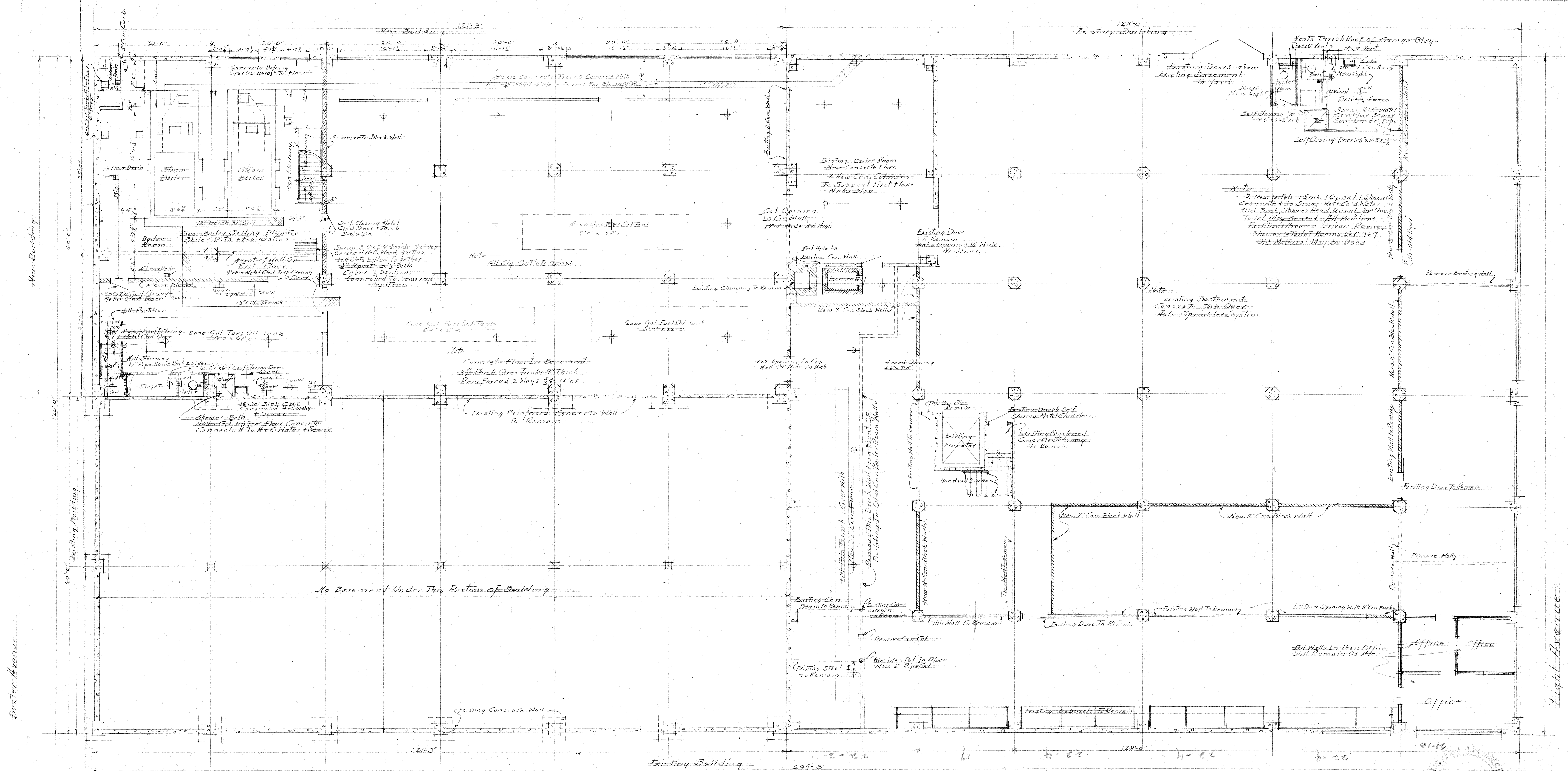
Basement Floor Plan
 Scale $\frac{1}{8} = 1$ Foot



Basement Floor Framing Plan
 Scale $\frac{1}{8} = 1$ Foot



Plan Showing Changes On First Floor
 And Balcony Of Bldg At 8 Ave. Roy Street
 - American Linen Supply Co. Owners
 - W. W. Voorhees Architect



Roy Street

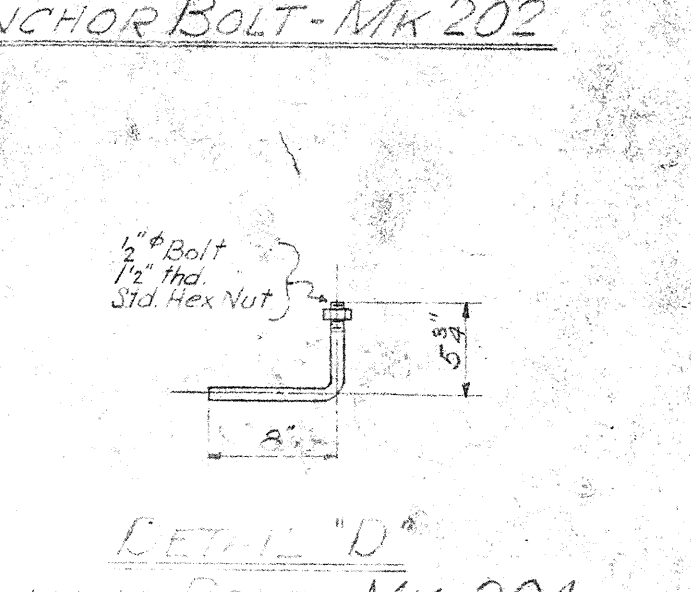
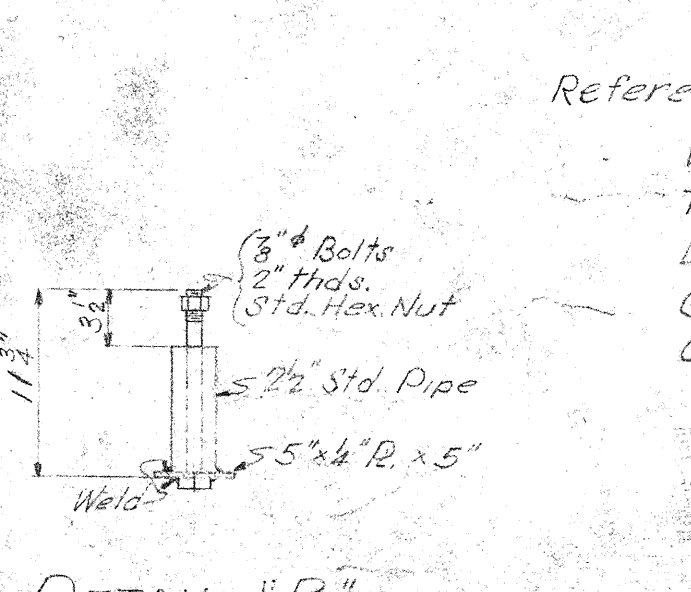
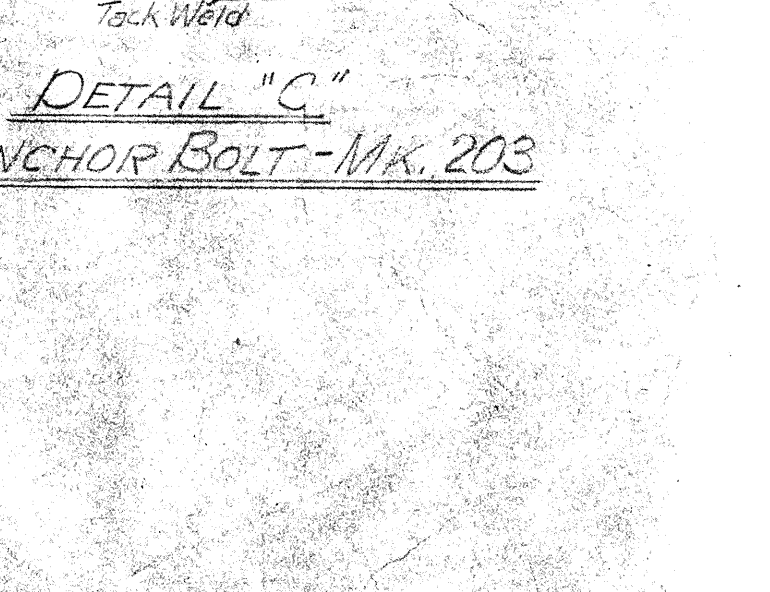
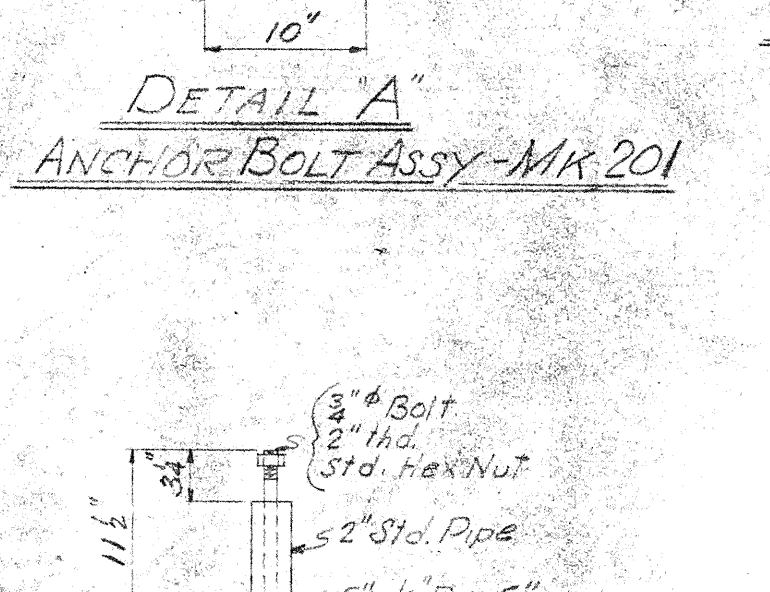
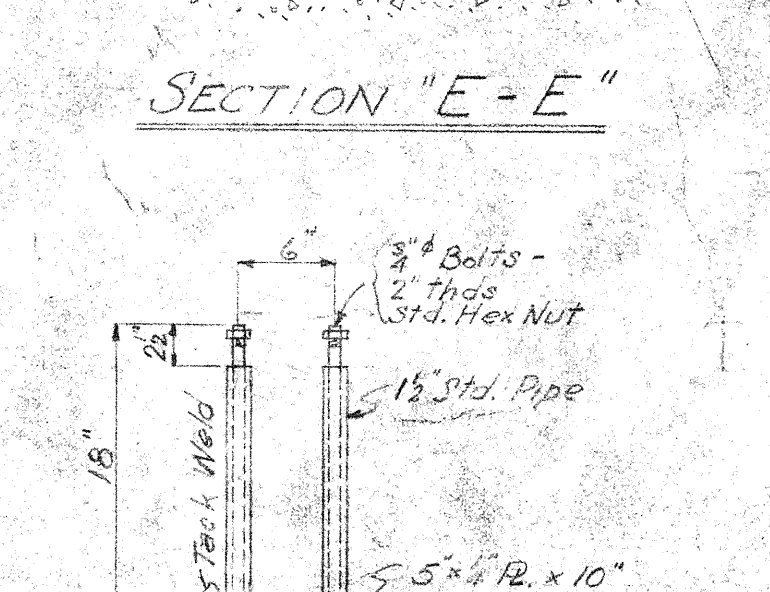
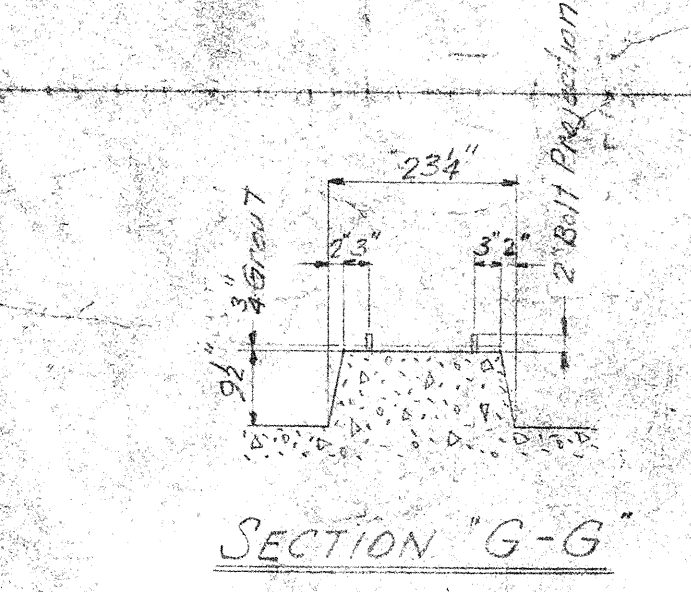
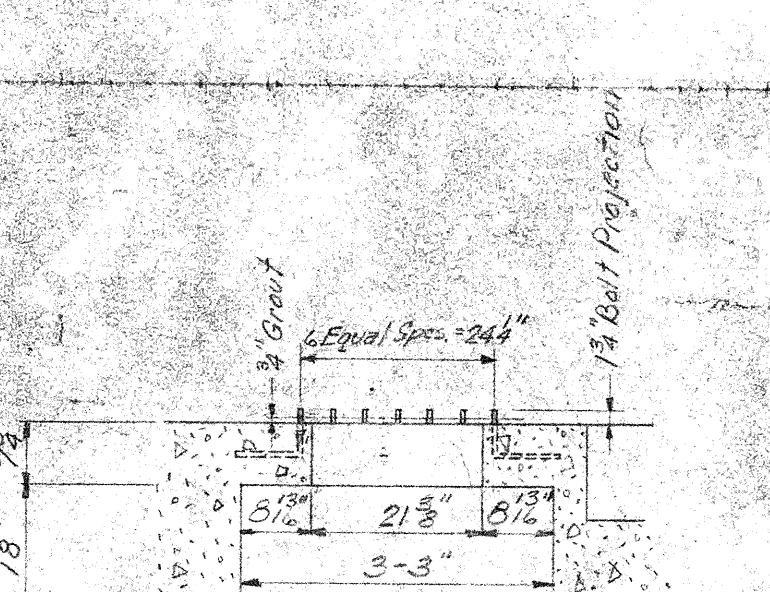
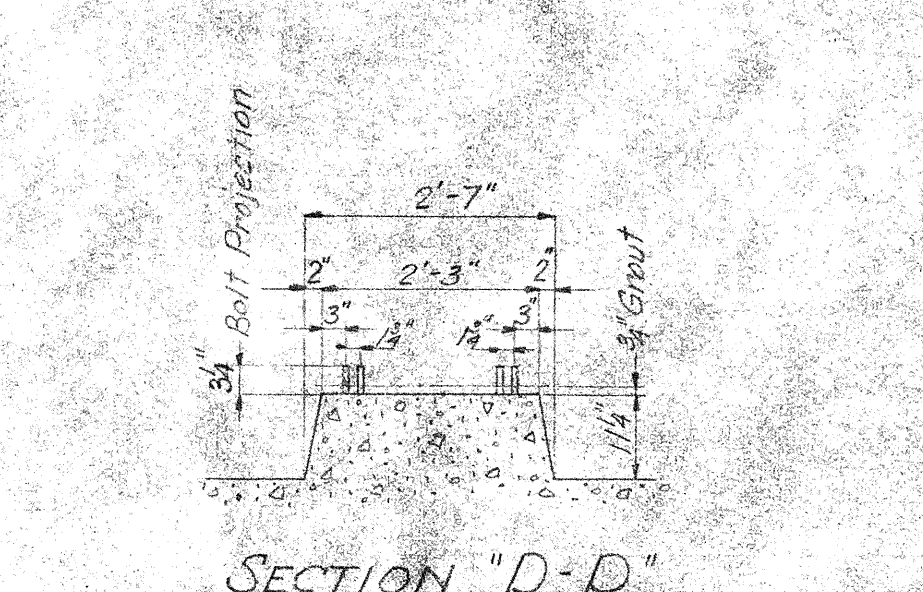
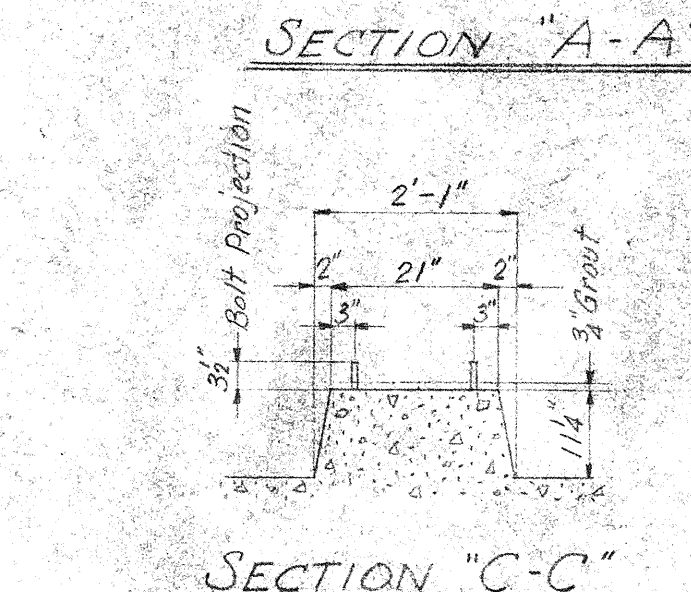
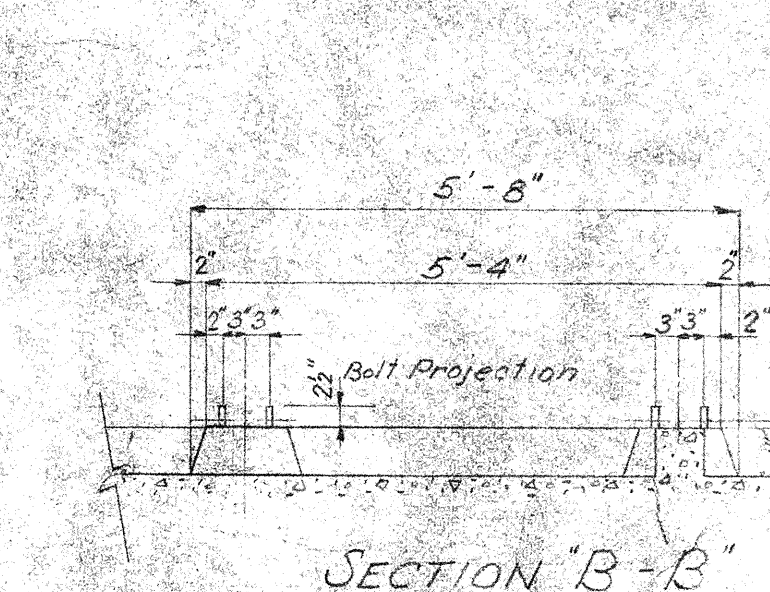
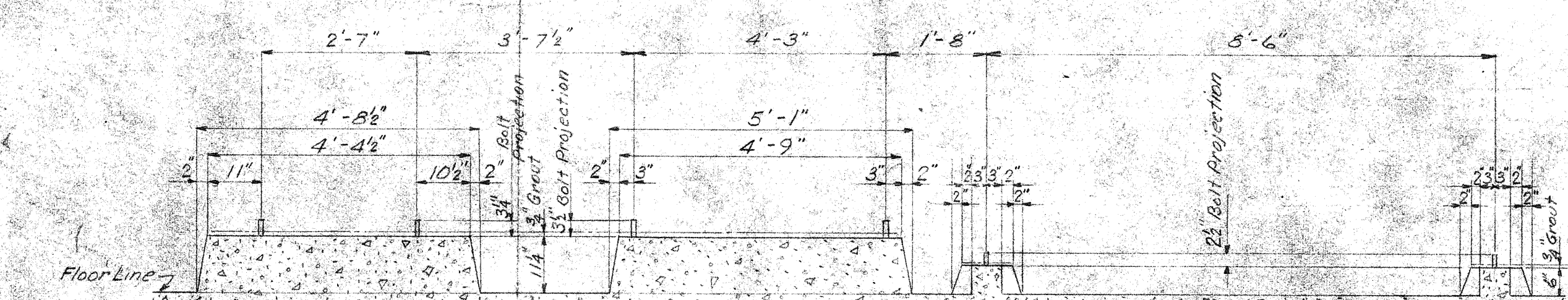
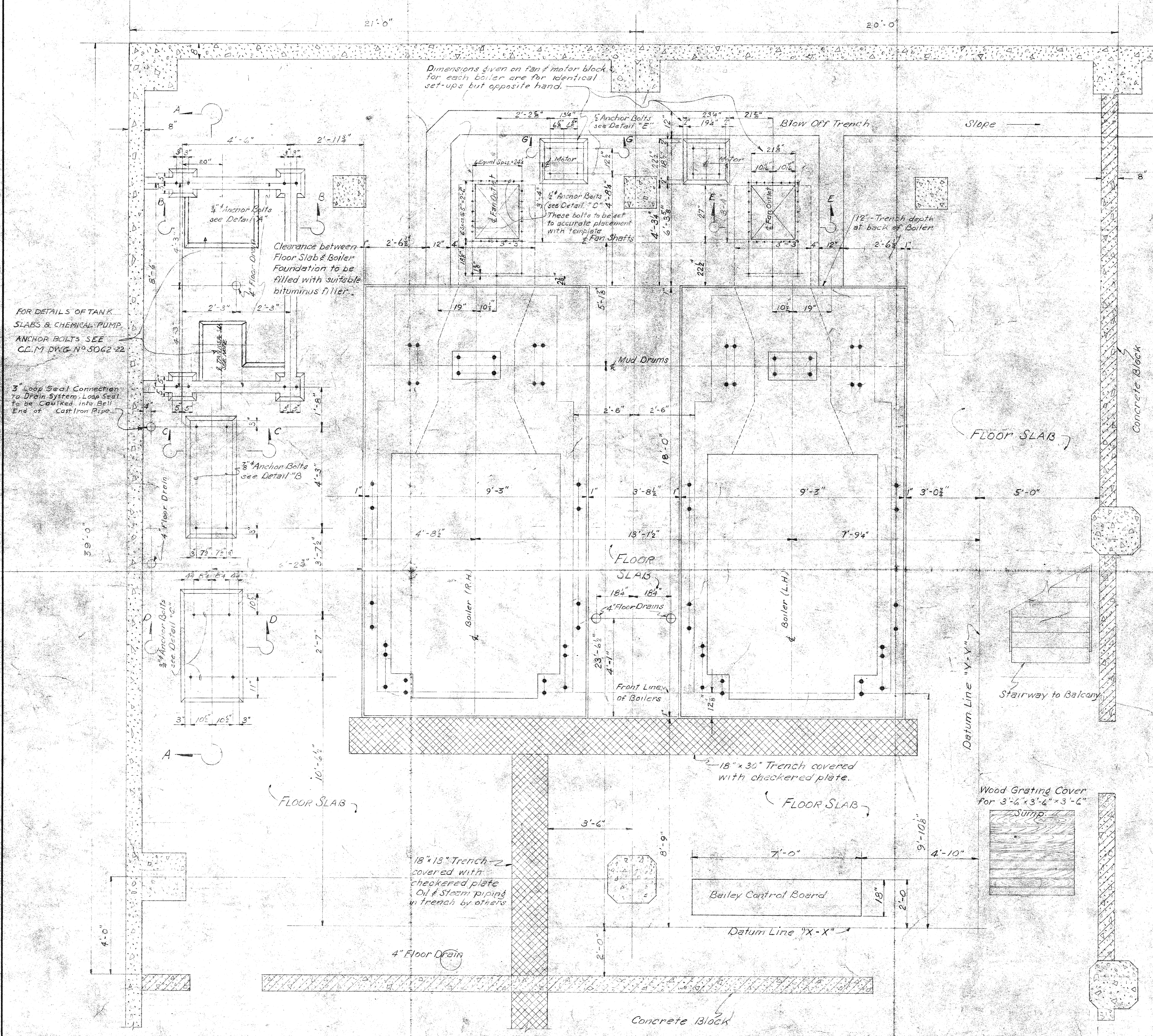
Basement Floor Plan
Scale 3/8" = 1'00"

Note Shower Added June 26-47

American Linen Supply Co. Owners
Laundry Building at 812 1/2 Roy St. Seattle
Seattle Wash. State
V. W. Voorhies Architect
April 10-1947 Sheet # 4

BILL OF MATERIAL

MARK	QUANTITY	SIZE	DESCRIPTION	MATL.	REMARKS
201	4	3/4"	Anchor Bolt Assembly	Steel	see Detail "A"
202	4	3/4"	do do do	do	do do "B"
203	4	3/4"	do do do	do	do do "C"
204	54	1/2"	do do do	do	do do "D"
205	8	1/2"	do do do	do	do do "E"



- References:
- Western Blower Co. "Heavy Duty Fan" Dwg. No. M-1505
 - The Weinman Pump Mfg. Co. Dwg. No. 314
 - Leiman Mfg. Co., McGonair Pump Div. Dwg. No. B-4228
 - General Electric Co. Std. Dim. Sheet GEM 860 FR 254
 - C.C.M. Co. Dwg. No. 5062-1 "Arrangement of Boiler House"
 - do do do do do -3 "Detail of Boiler Foundation"
 - do do do do do -9 "Storage Tank Plat'form"
 - do do do do do -22 "Detail of Chemical Set & Tank Stabs."

THIS IS A TEMPLATE DRAWING
 AND IS ONLY TO BE USED FOR LOCATION OF ANCHOR BOLTS AND DETAILS INDICATED AND DIMENSIONED, WHICH MUST BE ADHERED TO. STRUCTURAL DESIGN OF FOUNDATION NOT BY C. C. MOORE & CO. ENGINEERS

THIS PRINT NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ENDORSED HERE.
 DATE [] BY []

Boiler Room Arrangement Floor Plan & Details
 American Limer Supply Co. Seattle Wash.
C. C. MOORE & CO. ENGINEERS
 INCORPORATED VANCOUVER, B.C.
 PORTLAND PHOENIX SEATTLE
 MAIN OFFICE: SAN FRANCISCO
 LOS ANGELES HONOLULU, T.H.
 DRAWN BY: M.B.D. SCALE: 1/2" = 1'-0" APPROVED
 CHECKED BY: J.S.T. DATE: 6-14-47
 ENG. DEPT. FILE NO. E-392 DRAWING NUMBER 5062-21

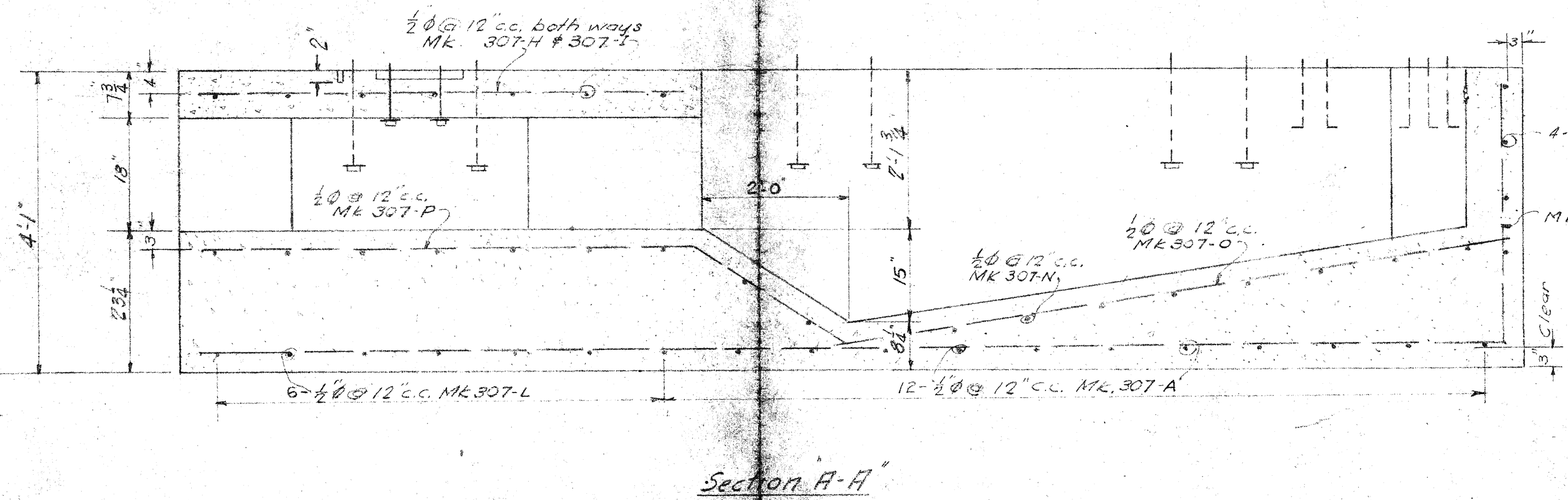
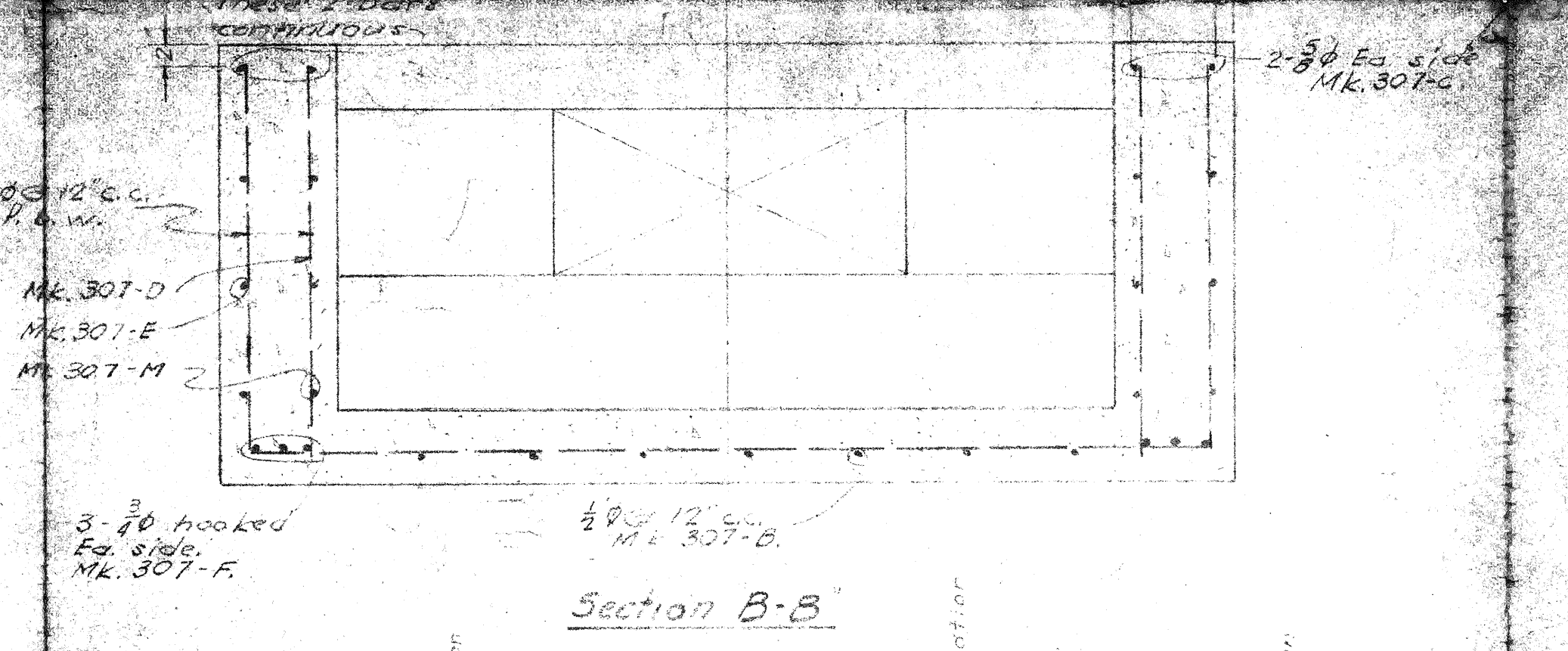
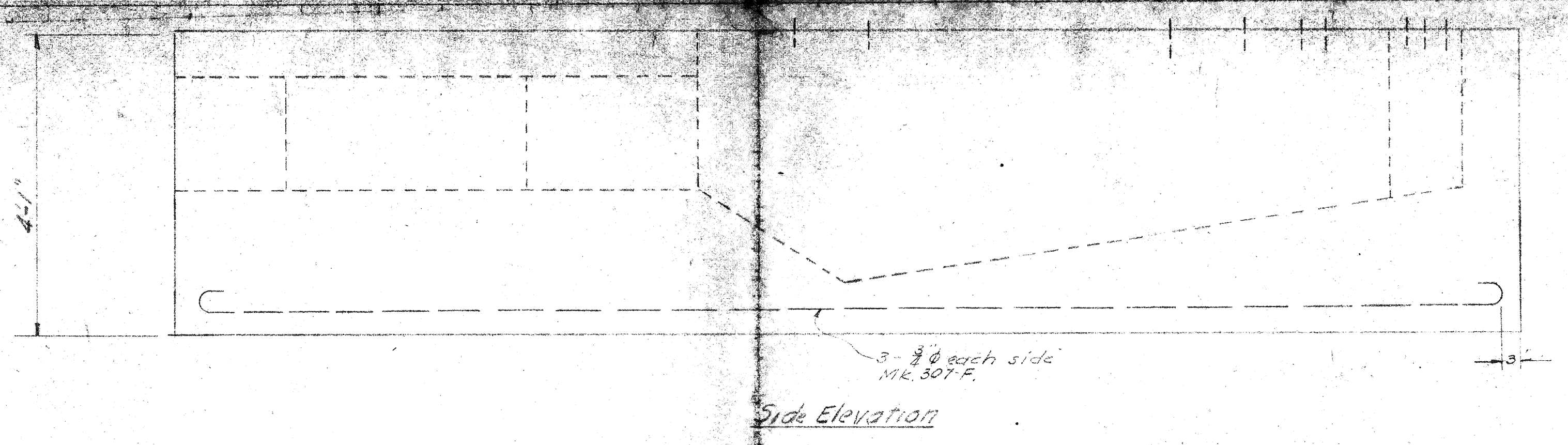
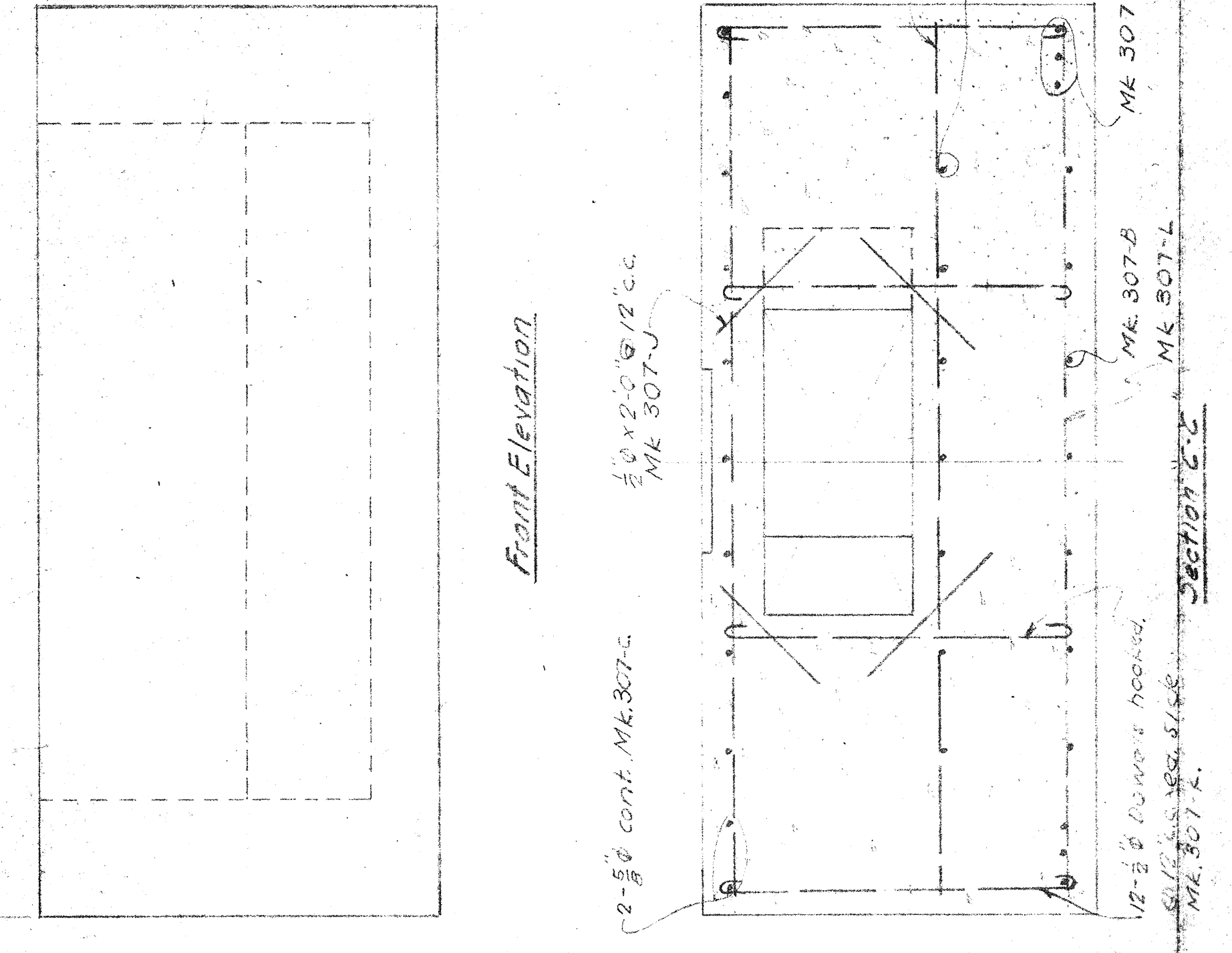
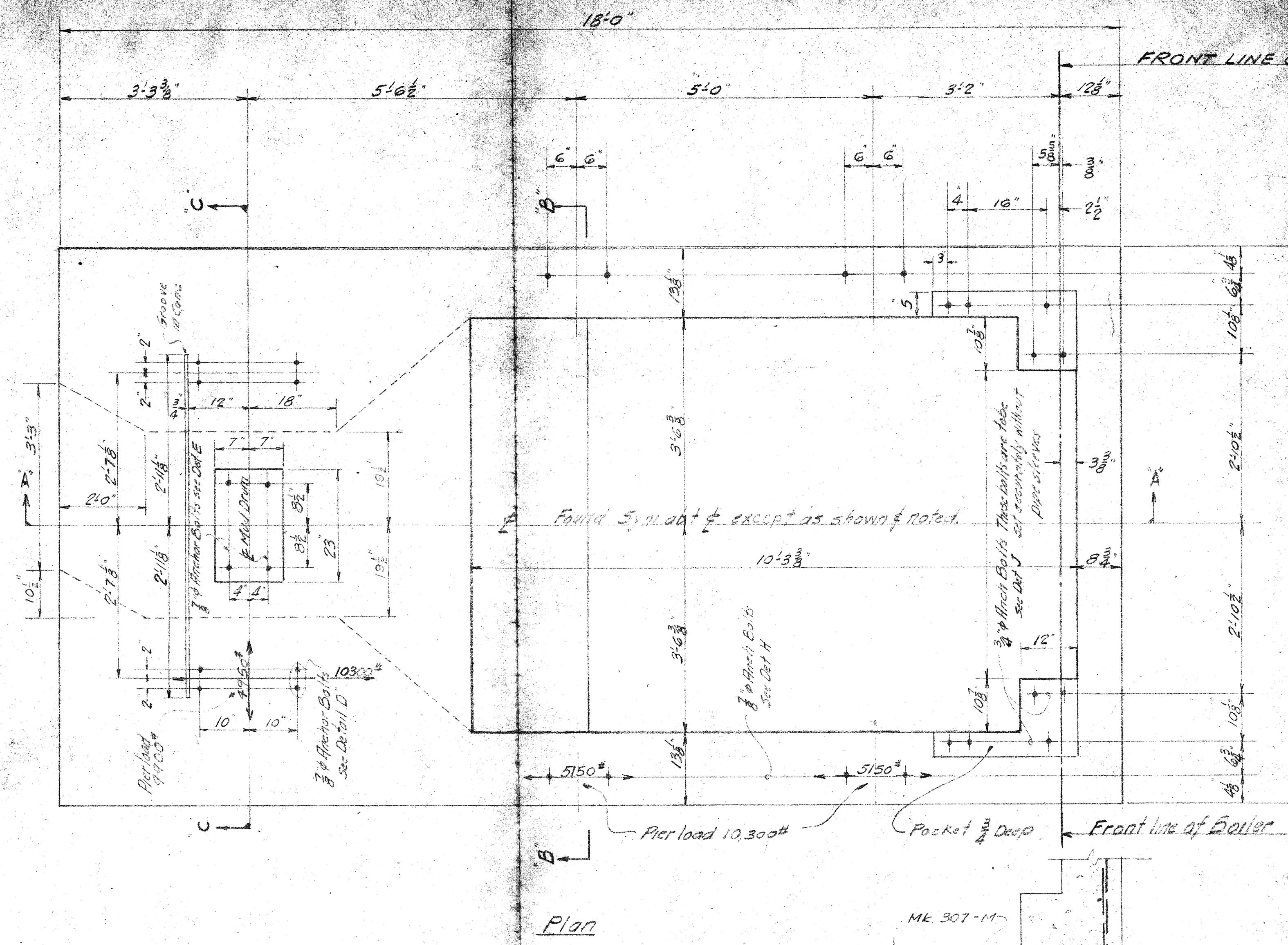
REVISIONS	B	Moved Boilers 8' forward	DATE 7-28-47	CHK'D P.J.W.	C	Anchor Bolts located and anchor bolt details added	DATE 8-14-47	CHK'D P.J.W.	D	Added Loop Seal Drain Connection Revised Curbing Under P.W. Storage Tank	DATE 8-13-47	CHK'D P.J.W.	E	ADDED DETAILS OF TANK SLABS AND REFERENCES Wrote No. 5062-22	DATE 12-10-47	CHK'D D.S.T.	F	DATE 12-10-47	CHK'D D.S.T.	G	DATE 12-10-47	CHK'D D.S.T.	H	DATE 12-10-47	CHK'D D.S.T.
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BILL OF MATERIAL For Two Boilers

MARK	QUANTITY	SIZE	DESCRIPTION	MATL.	REMARKS
301	1	-	Boiler Foundation As Shown	-	See Det.
2	1	-	Boiler Foundation Opp Hand	-	See Det.
3	8	-	Anchor Bolt Assemblies	SH	See Det.
4	8	-	-	-	-
5	16	-	-	-	-
6	20	-	-	-	-
7	-	-	Reinforcing Steel	-	See Schedule
8	-	-	-	-	-
9	-	-	-	-	-

Mark 307 REINFORCING SCHEDULE - For 2 Boilers

MARK	QUANTITY	SIZE	DESCRIPTION	REMARKS
307A	24	16'-1"	1/2" Bottom Bars	
B	14	21'-2"	1/2" Bottom Bars - longit.	
C	8	17'-6"	3/8" Straight	
D	45	3'-5"	1/2" straight - verticals	
E	12	11'-10"	1/2" straight - Horiz.	
F	12	19'-0"	3/4" Hooked.	
G	8	18'-1"	1/2" End wall horizontal	
H	14	6'-8"	1/2" Straight	
I	14	8'-9"	1/2" Straight	
J	45	2'-0"	1/2" Straight	
K	48	4'-5"	1/2" Dovels hooked	
L	12	8'-5"	1/2" Straight	
M	12	14'-6"	1/2" Horiz. Inside side wall.	
N	24	8'-9"	1/4" Horizontal - straight	
O	14	9'-6"	1/2" Longitudinal - straight	
P	14	8'-5"	1/2" Longitudinal - Bent.	



General Notes:
 Foundation is designed for an allowable soil load of 4000²/sq ft.
 Anchor Bolts shall be set with wood form plates. Concrete shall be 1-2-4 mix having a compressive strength of 5000 lbs per sq in. 28 days.
 Reinforcing steel shall be deformation bars of Intermediate grade.
 Working points to be used in placing boiler foundation in building are "Top of Bolt Found" and "Front Line of Boiler".
 See dwg 5062-2 for Location of Foundations.
 See dwg 5062-4 for Details of F.O.P. Found.

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DATE [] BY []

DETAIL OF BOILER FOUNDATION

FF12#20

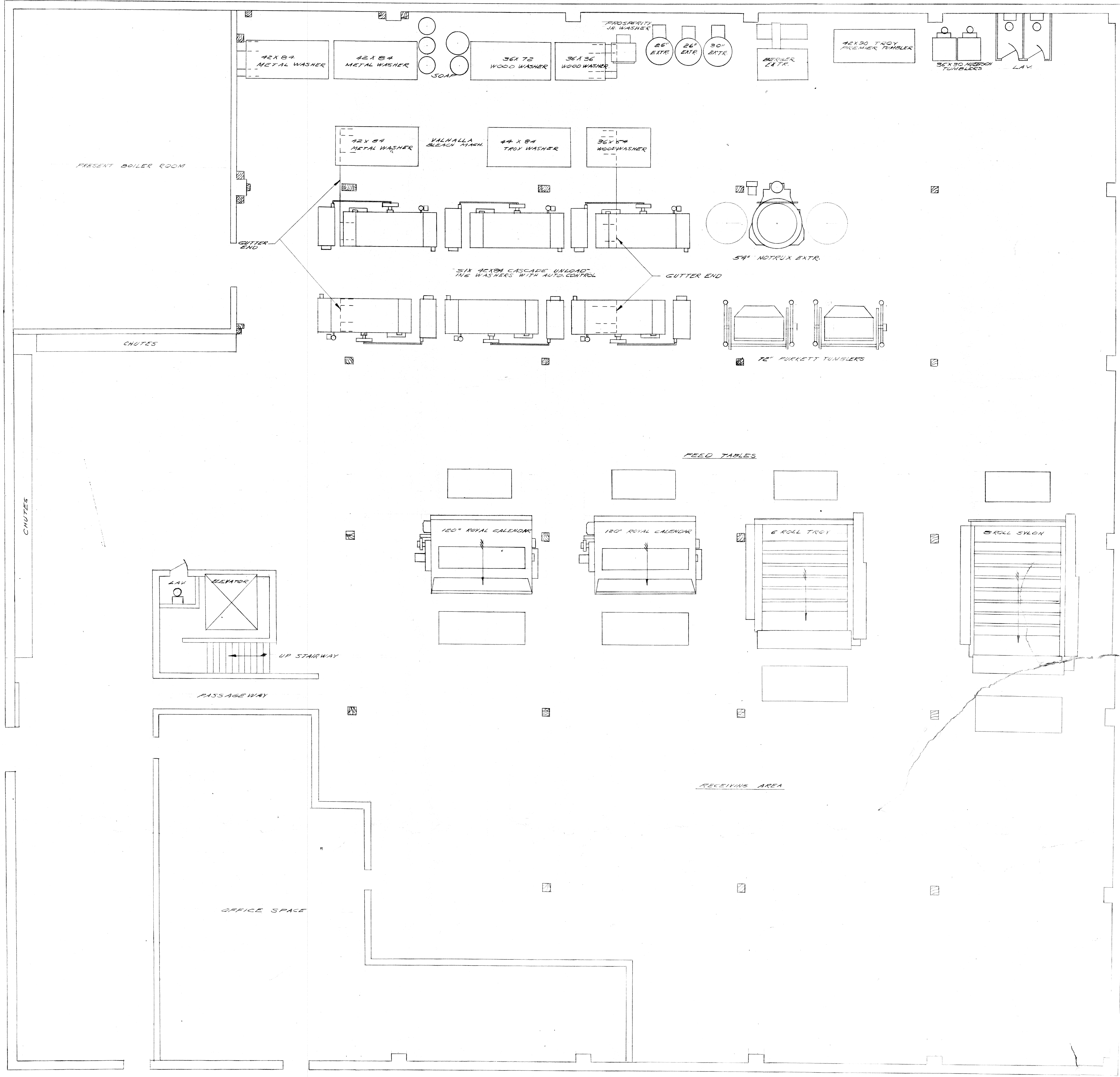
AMERICAN LINEN SUPPLY CO., SEATTLE WASH
C. C. MOORE & CO. ENGINEERS
 INCORPORATED
 PORTLAND VANCOUVER, B.C.
 PHOENIX LOS ANGELES
 SEATTLE MAIN OFFICE: SAN FRANCISCO HONOLULU, H.I.

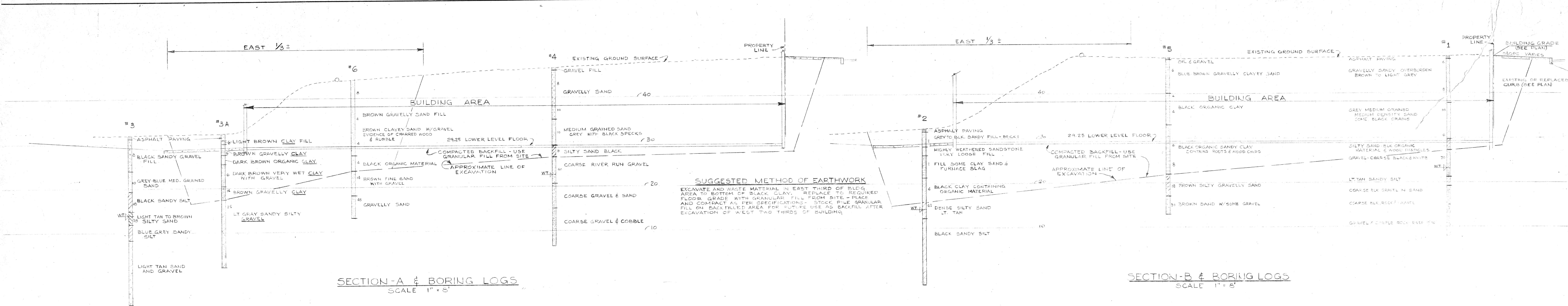
DRAWN BY 257 SCALE 3/8"=1' APPROVED
 CHECKED BY WJ7 DATE 6/13/27
 ENG. DEPT. FILE NO. DRAWING

Boiler Foundation MK 301 As Shown
 Boiler Foundation MK 302 Opp Hand

Anchor Bolt Assy MK 305

Anchor Bolt Assy MK 304





SECTION-A & BORING LOGS
SCALE 1" = 8'

SECTION-B & BORING LOGS
SCALE 1" = 8'

SUGGESTED METHOD OF EARTHWORK

EXCAVATE AND WASTE MATERIAL IN EAST THIRD OF BLOCK AREA TO BOTTOM OF BLACK CLAY. REPLACE TO REQUIRED FLOOR GRADE WITH GRANULAR FILL FROM SITE - PLACE AND COMPACT AS PER SPECIFICATIONS. STOCK THE GRANULAR FILL ON BACKFILLED AREA FOR FUTURE USE AS BACKFILL AFTER EXCAVATION OF WEST TWO THIRDS OF BUILDING.

LEGEND

NEW	CONTOUR LINES	EXISTING
SPOT ELEVATIONS	CITY BUILDING GRADES	EXISTING SPOT ELEVATIONS
SOL BORING LOCATION NUMBER	CONCRETE WALLS ON ISLAND	EXISTING CONCRETE WALLS ON ISLAND
TACK IN LEAD IN SIDEWALK	SEWER LINES	EXISTING SEWER LINES
WATER LINES	GAS LINES	

NOTES

DATUM - ELEVATION ARE REFERRED TO CITY OF SEATTLE DATUM BUILDING GRIDES ARE REFERRED TO THE FOLLOWING: 1-A-A IN BACK OF CONCRETE WALL NORTH OF INTERSECTION OF VALLEY LINES AT NW CORNER OF ROY ST. & DEXTER ST. IN ELEVATION 2-A-A AT INTERSECTION OF BACK OF CONCRETE WALLS AT 87-AVENUE & VALLEY STREET - ELEVATION CONTRACTOR TO VERIFY BENCH MARK SHOWN ON

CLASSIFICATION

CONSTRUCTION (EXIST. BLDG.) TYPE II (M) CONSTRUCTION (NEW BLDG.) TYPE III OCCUPANCY (NEW BLDG.) GROUP III (GROUP G (GRANULAR)) (GROUP E (CONCRETE))

LEGAL DESCRIPTION

LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

INDEX TO DRAWINGS

ARCHITECTURAL & CIVIL
 C-1 EXISTING BUILDING
 A-1 EXISTING PAVING
 A-2 EXISTING ASPHALT DRIVE
 A-3 EXISTING ASPHALT DRIVE
 A-4 EXISTING ASPHALT DRIVE
 A-5 EXISTING ASPHALT DRIVE
 A-6 EXISTING ASPHALT DRIVE

STRUCTURAL
 S-1 TYPICAL WALL
 S-2 TYPICAL WALL

MECHANICAL
 M-1 BASEMENT PLAN
 M-2 FIRST FLOOR PLAN

ELECTRICAL
 E-1 BASEMENT PLAN
 E-2 FIRST FLOOR PLAN

LAND COVERAGE

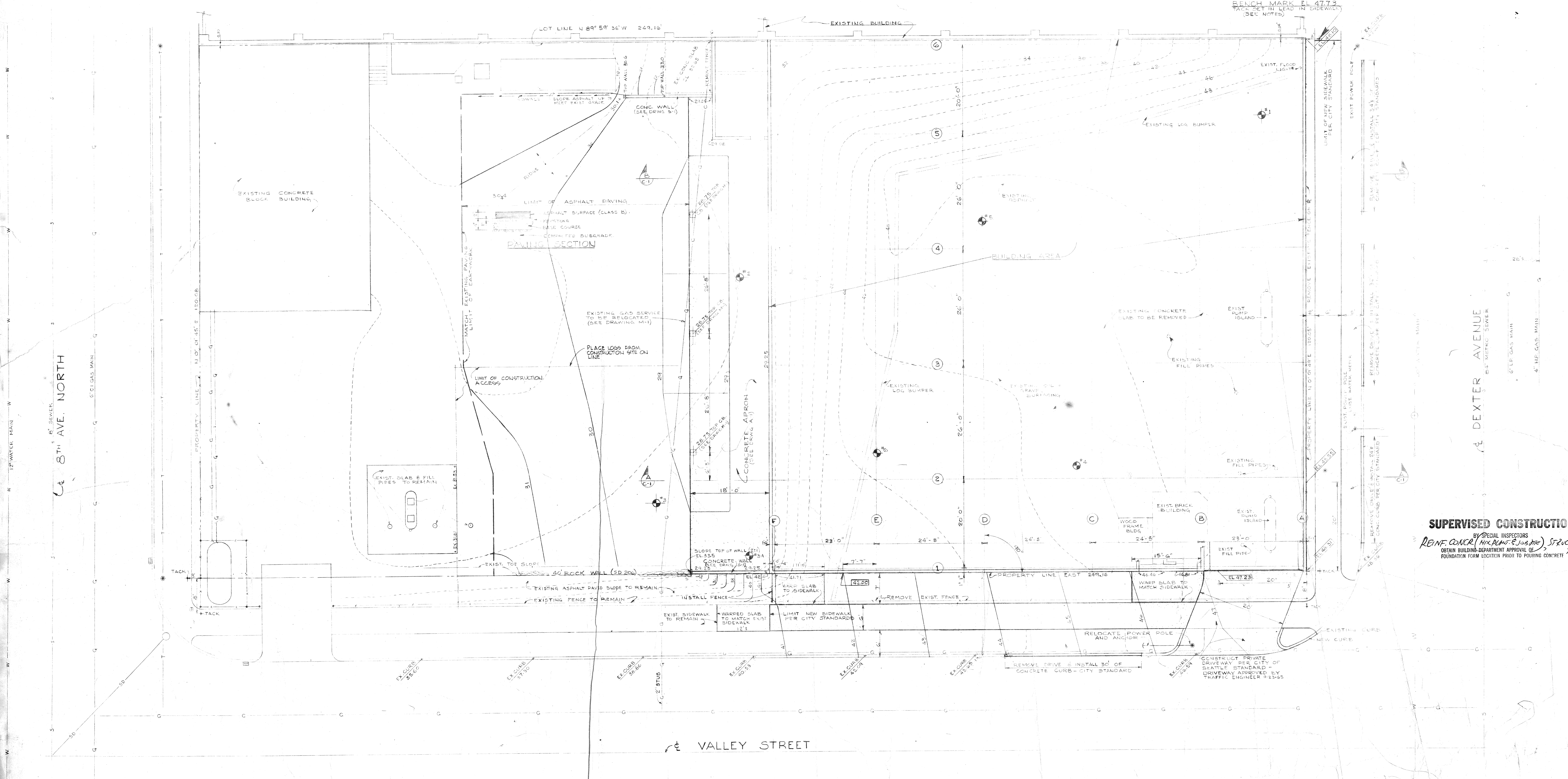
EXIST. BLDG.	1,100 SQ. FT.
NEW BLDG.	4,100 SQ. FT.
MEZZAINE	4,100 SQ. FT.

PARKING

TOTAL VEHICLES (ROOF 120, GROUND 4) : 124

PLUMBING FIXTURE TABULATION

EXIST. BLDG.	WC		SINK		FLOOR		TUB		SHOWER		MISC.	
	UR	LV	WC	LV	MEZZAINE	2	1	1	1	1	1	1
0	0	0	0	0	2	2	2	2	2	2	2	2
2	0	2	0	2	1	1	1	1	1	1	1	1
0	0	1	0	0	0	0	0	0	0	0	0	0
4	1	5	10	5	TOTAL	5	5	5	5	5	5	5



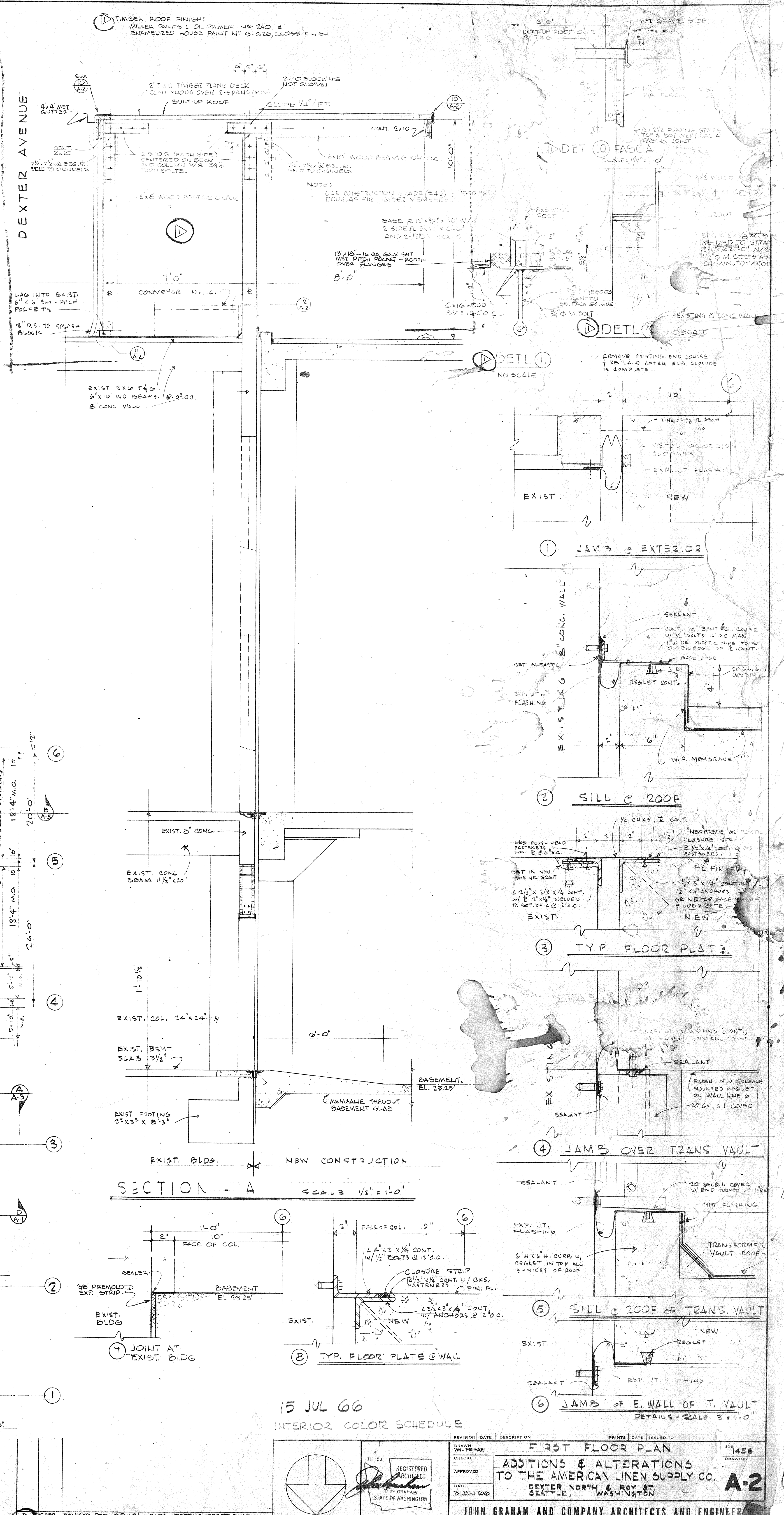
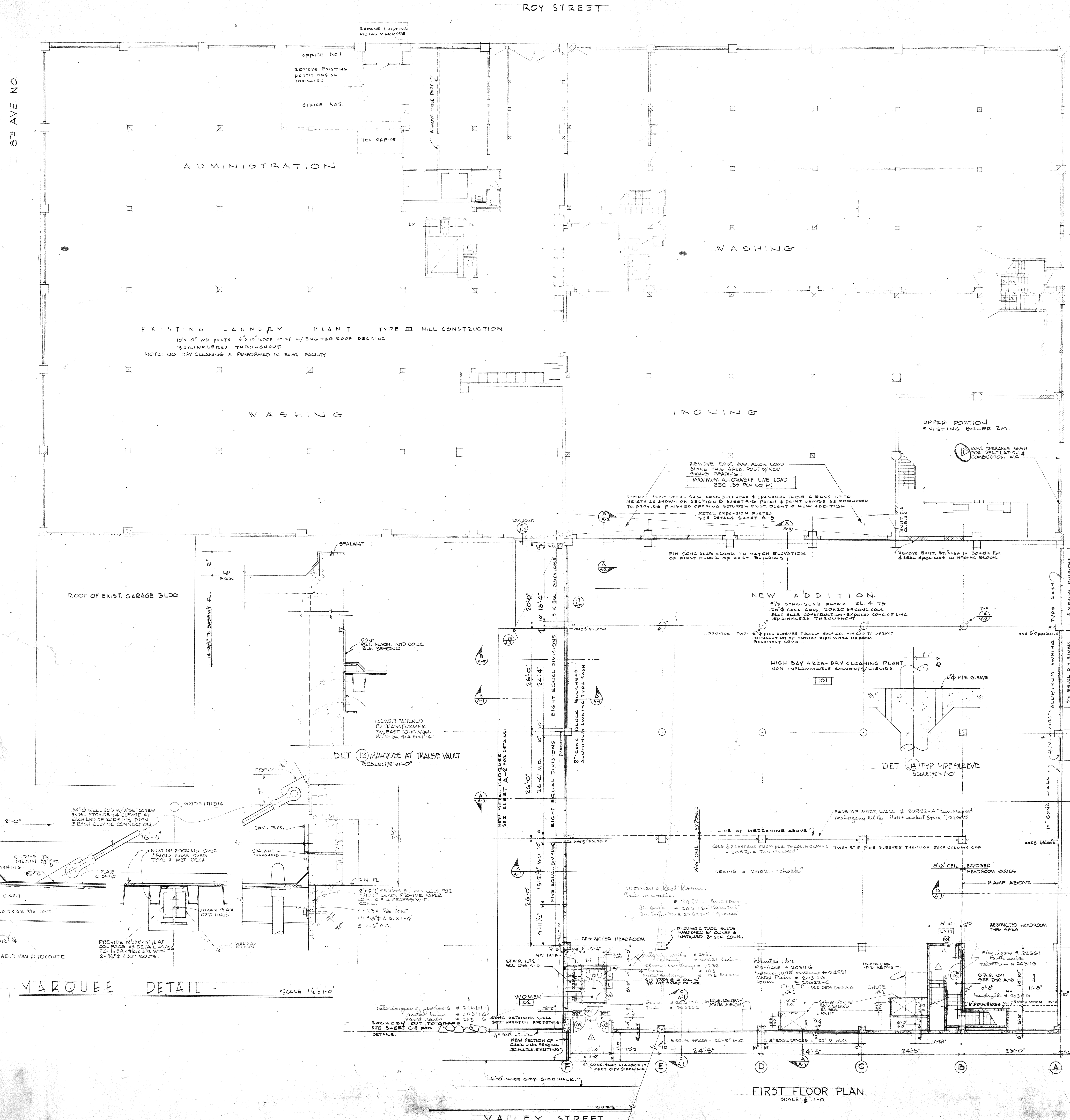
SITE PLAN
SCALE: 3/8" = 1'-0"

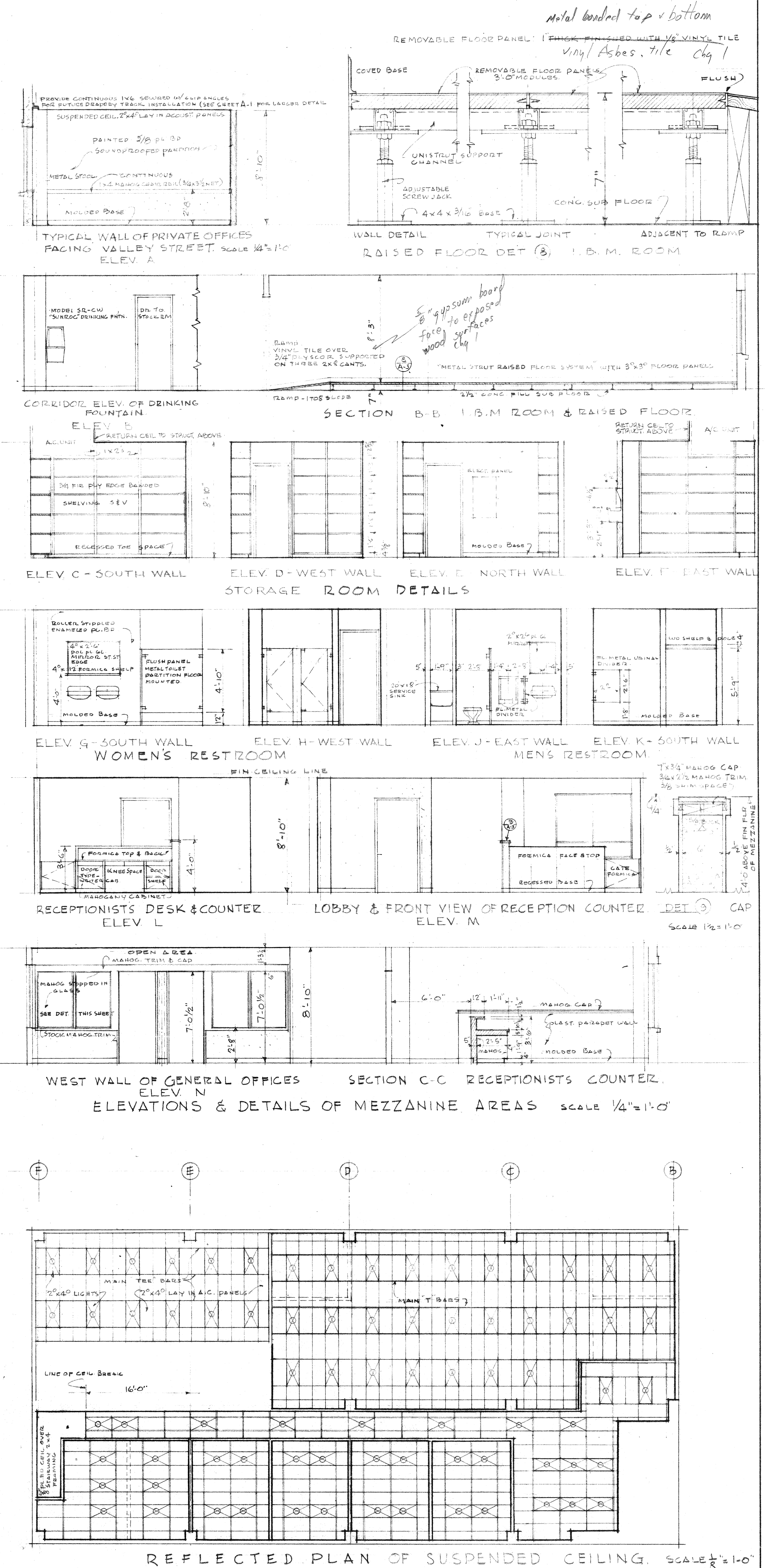
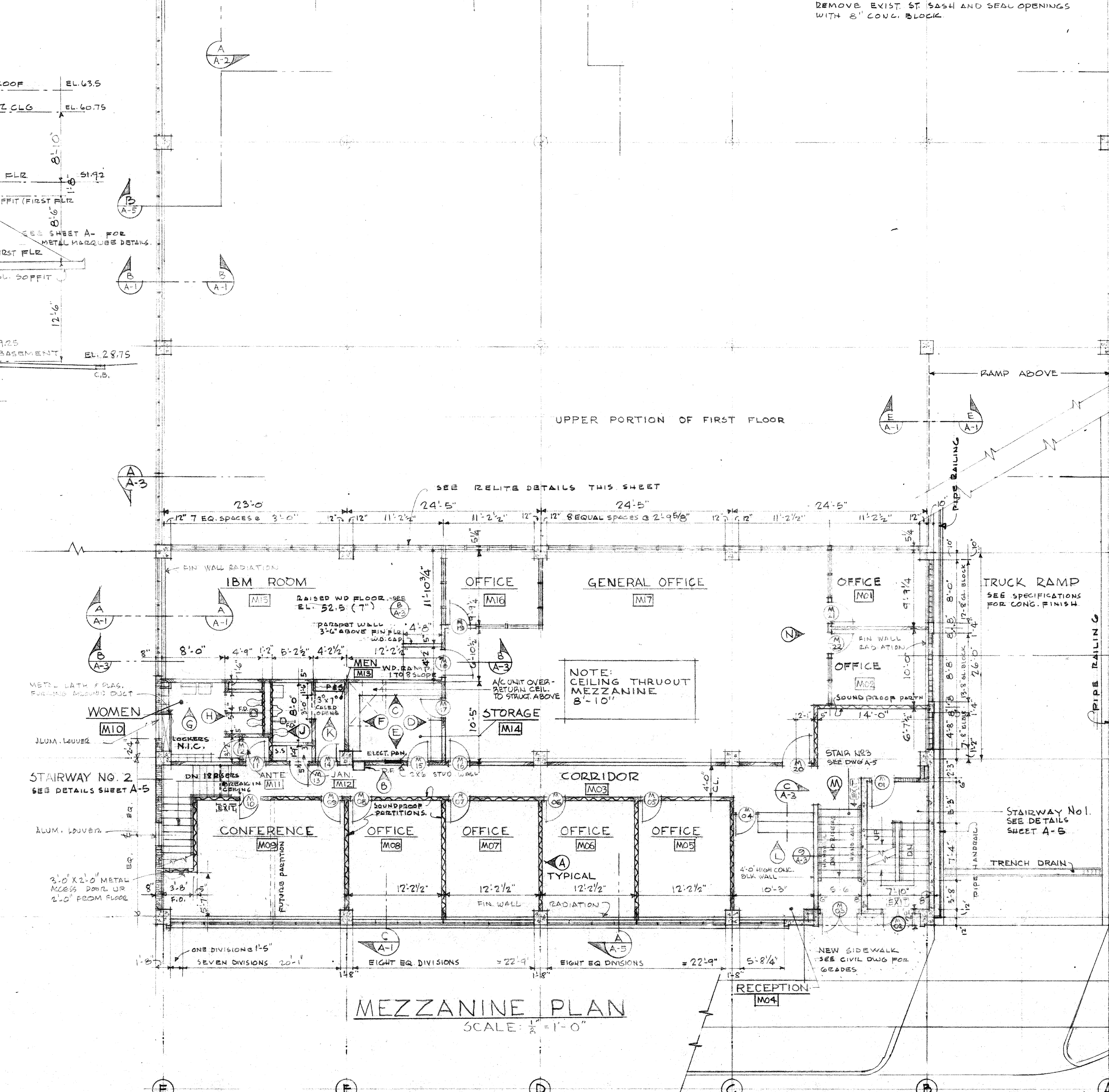
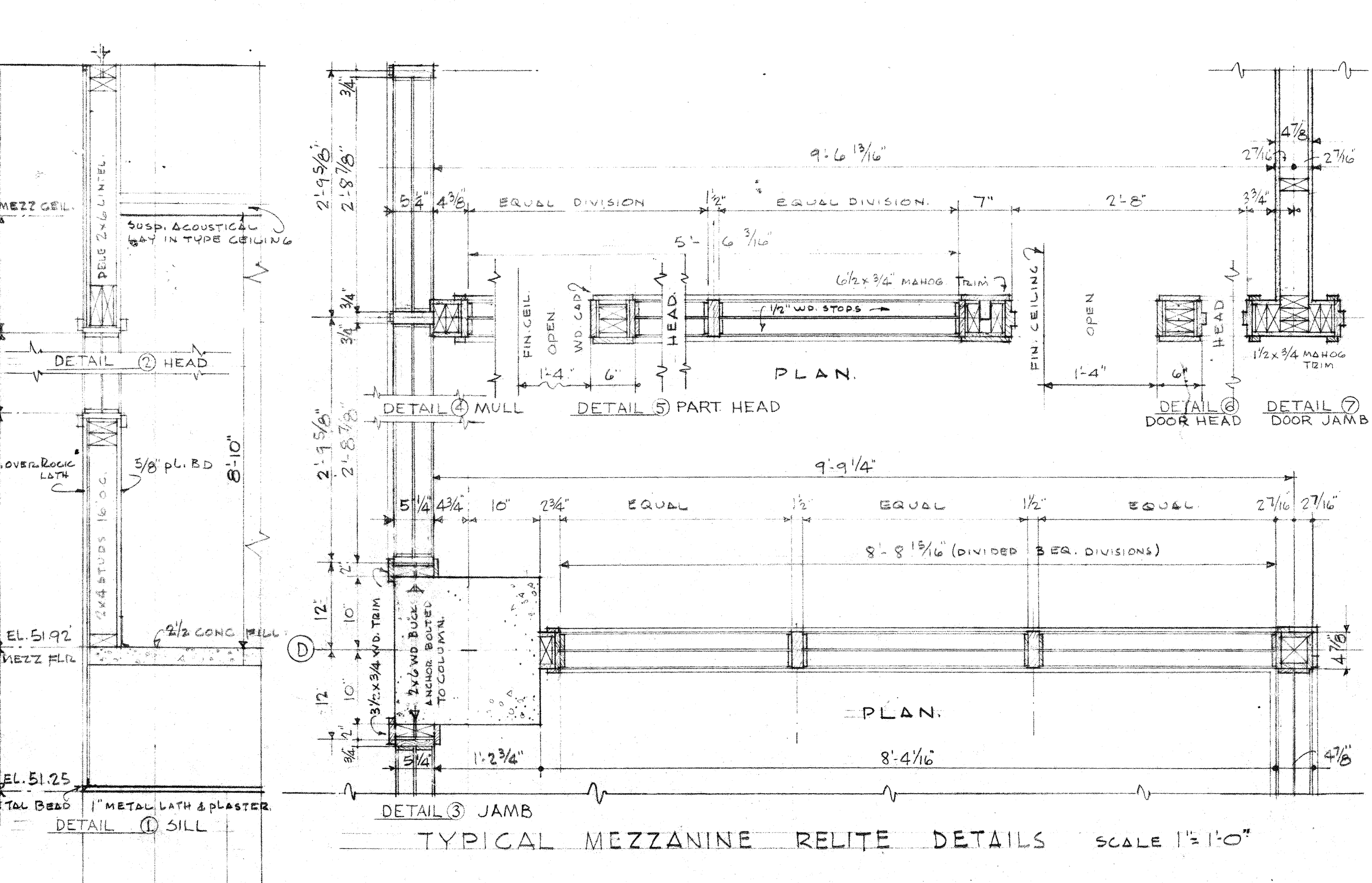
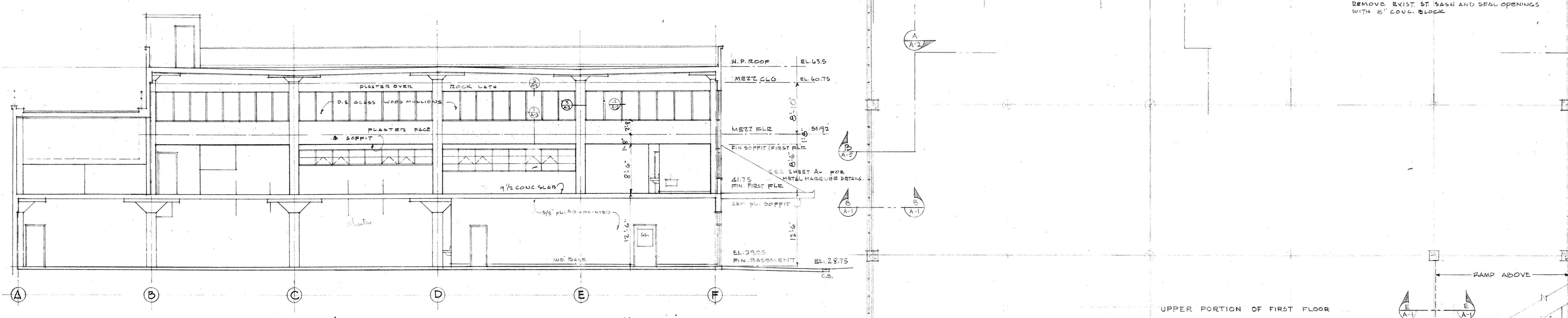
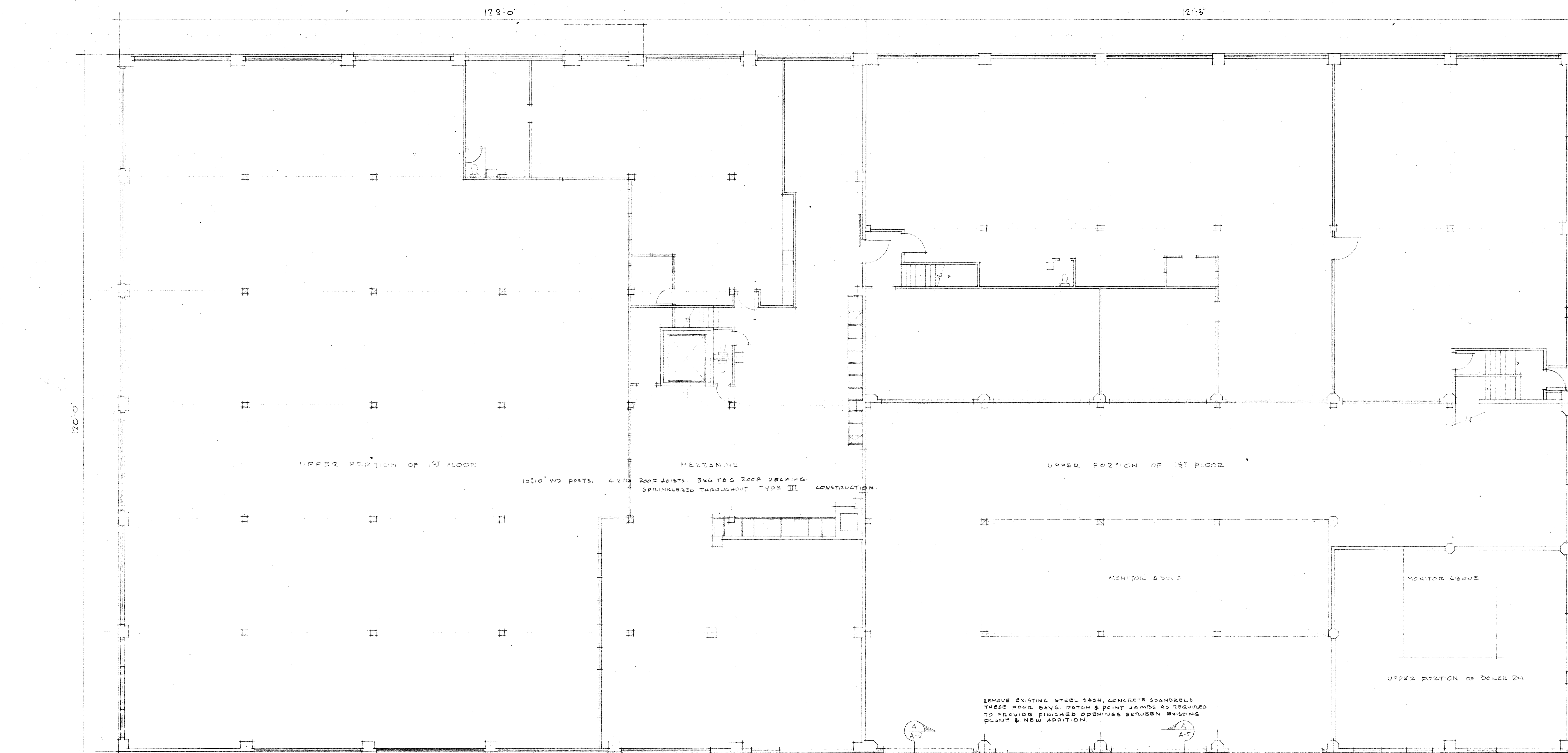
SUPERVISED CONSTRUCTION
 SPECIAL INSPECTOR
 JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS
 OBTAIN BUILDING DEPARTMENT APPROVAL OF FOUNDATION FORM LOCATION PRIOR TO POURING CONCRETE

CITY OF SEATTLE
 DEPT. OF BUILDINGS
 FEB 17 1966
 Approved Subject to Errors and Omissions
 JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS

ADDENDUM
 TO THE AMERICAN LINN SUPPLY CO.
 DEXTER AVENUE
 SEATTLE, WASHINGTON

REGISTERED ARCHITECT
 JOHN GRAHAM
 STATE OF WASHINGTON

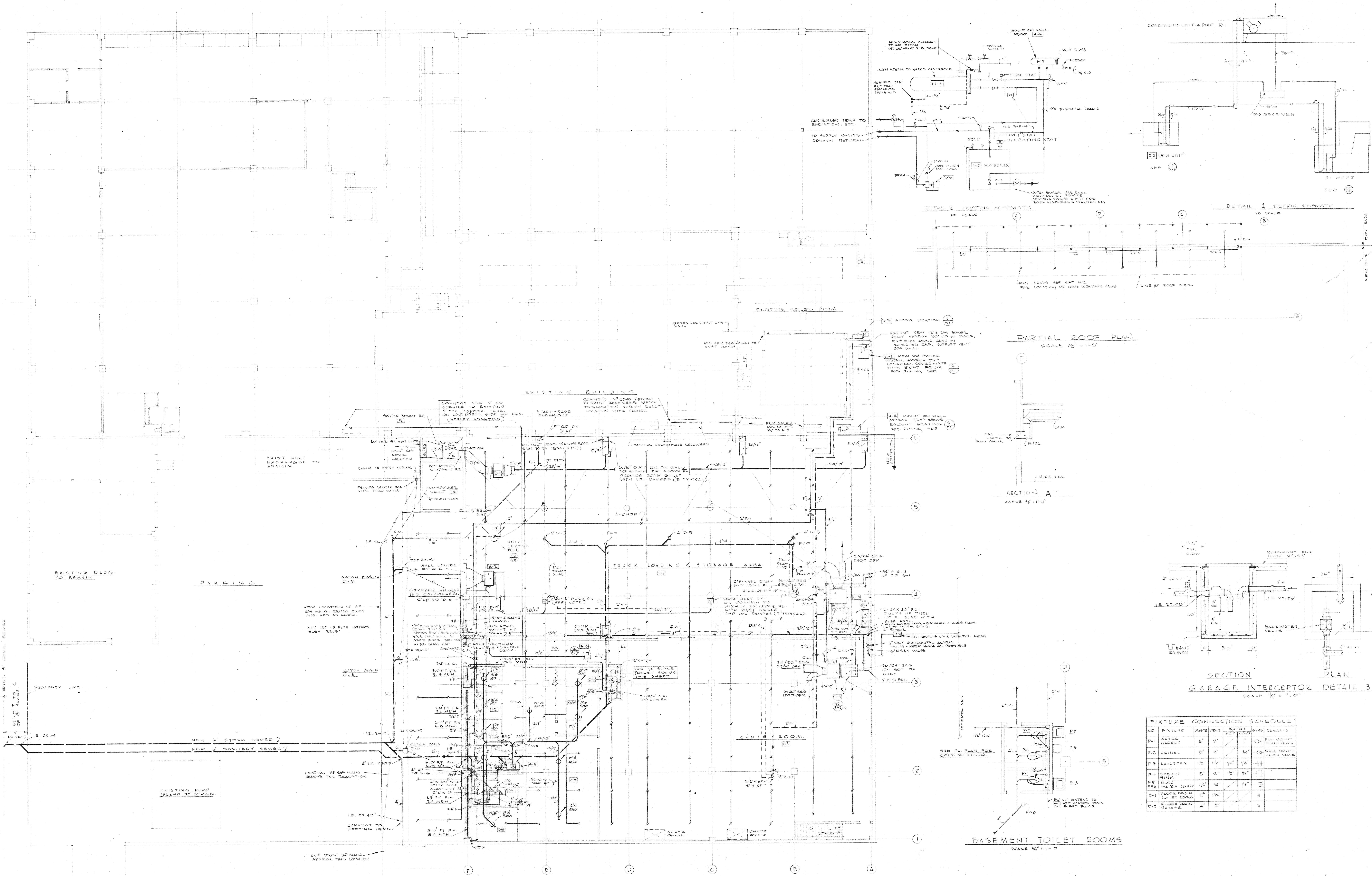




MEZZANINE PLAN & DETAILS
 ADDITIONS & ALTERATIONS
 TO THE AMERICAN LINEN SUPPLY CO.
 CENTER NORTH & ROY ST.
 SEATTLE, WASHINGTON

JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS
 SEATTLE - NEW YORK

A-3



BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

BASEMENT TOILET ROOMS
SCALE 1/4" = 1'-0"

FIXTURE CONNECTION SCHEDULE

NO.	FIXTURE	WASTE	VENT	WATER	REMARKS
P-1	WATER CLOSET	4"	2"	1"	FLY WHEEL FLUSH VALVE
P-2	URINAL	3"	2"	3/4"	WALL MOUNT FLUSH VALVE
P-3	LAVATORY	1 1/2"	1 1/2"	1/2"	
P-4	SINK	3"	2"	1/2"	
P-5	DRINK WATER COOLER	1 1/2"	1 1/2"	1/2"	
D-1	FLOOR DRAIN TOilet ROOMS	4"	1 1/2"	0"	
D-2	FLOOR DRAIN GARAGE	4"	2"	0"	

REVISIONS: DATE DESCRIPTION

ISSUED TO: **BASEMENT FLOOR PLAN & DETAILS** 11/14/56

DESIGNED BY: TLT

CHECKED BY: G.S.W.

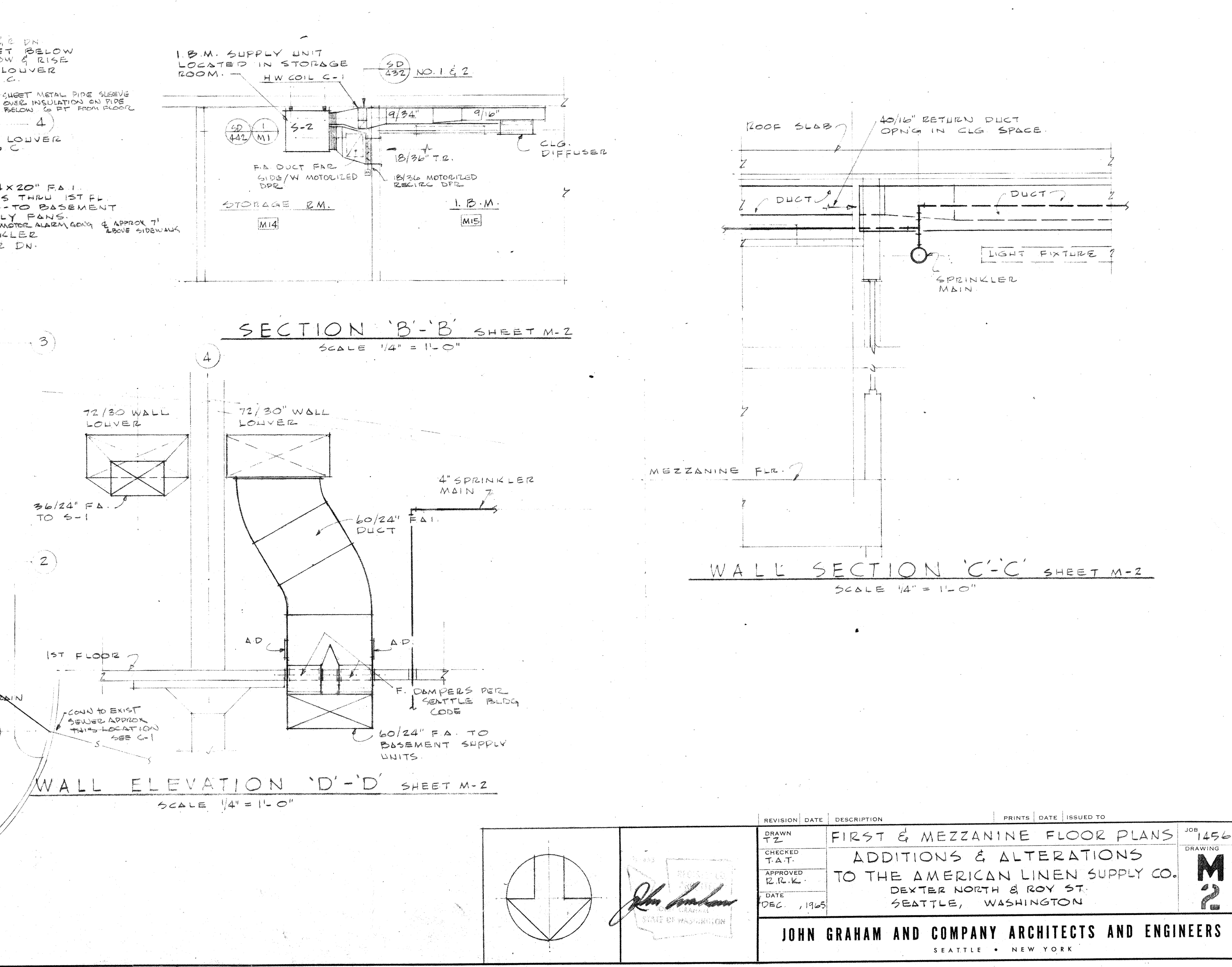
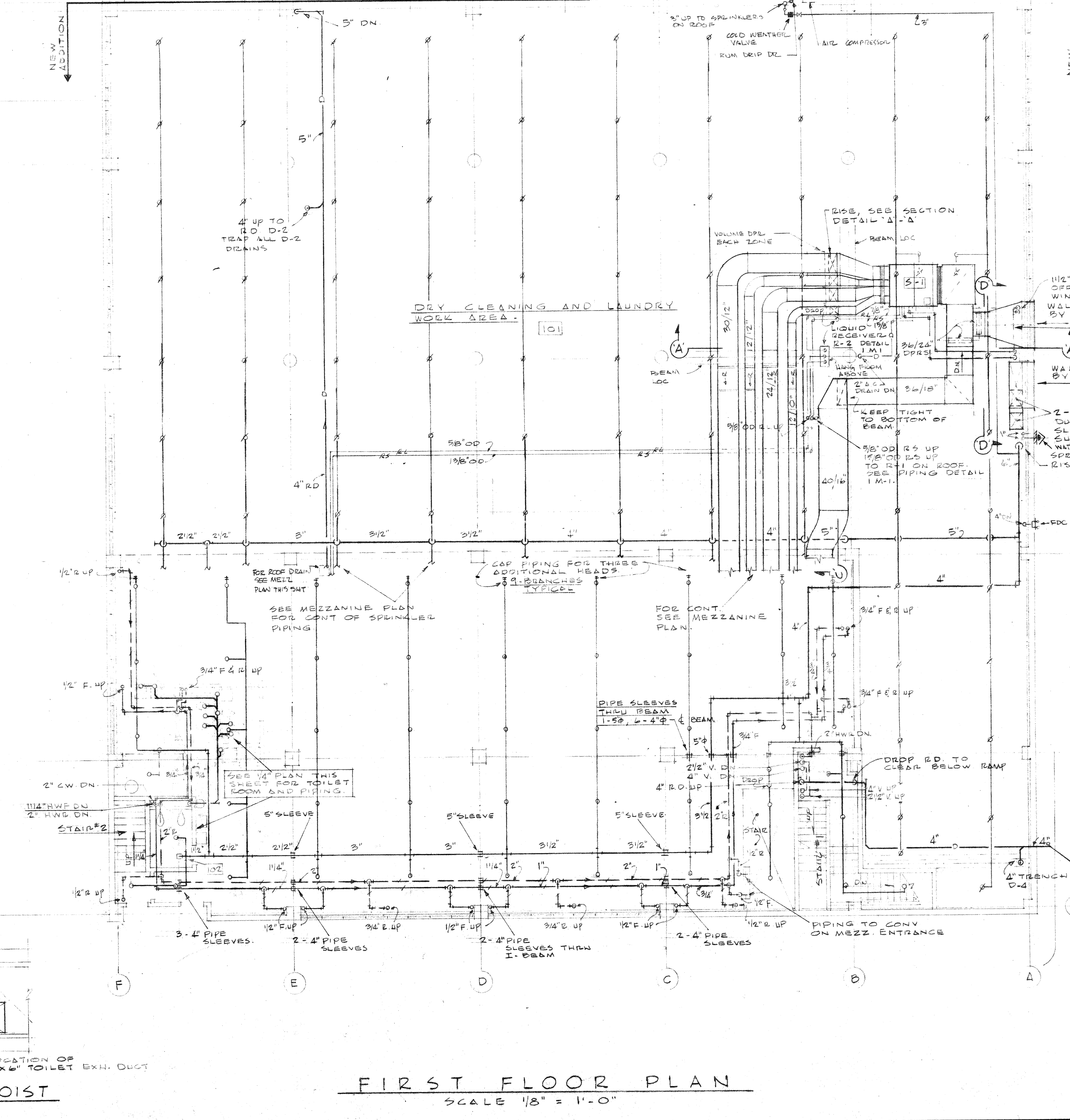
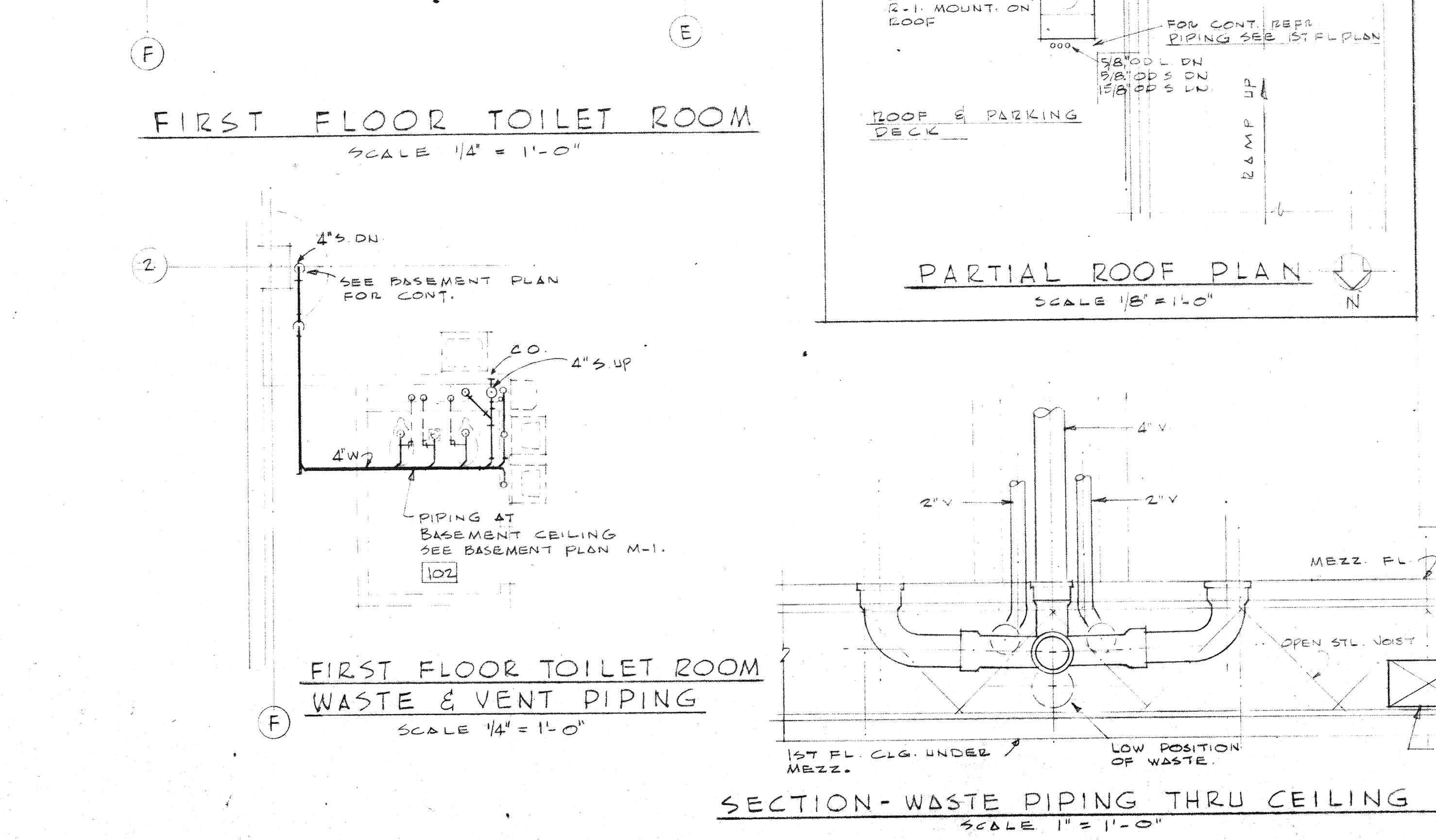
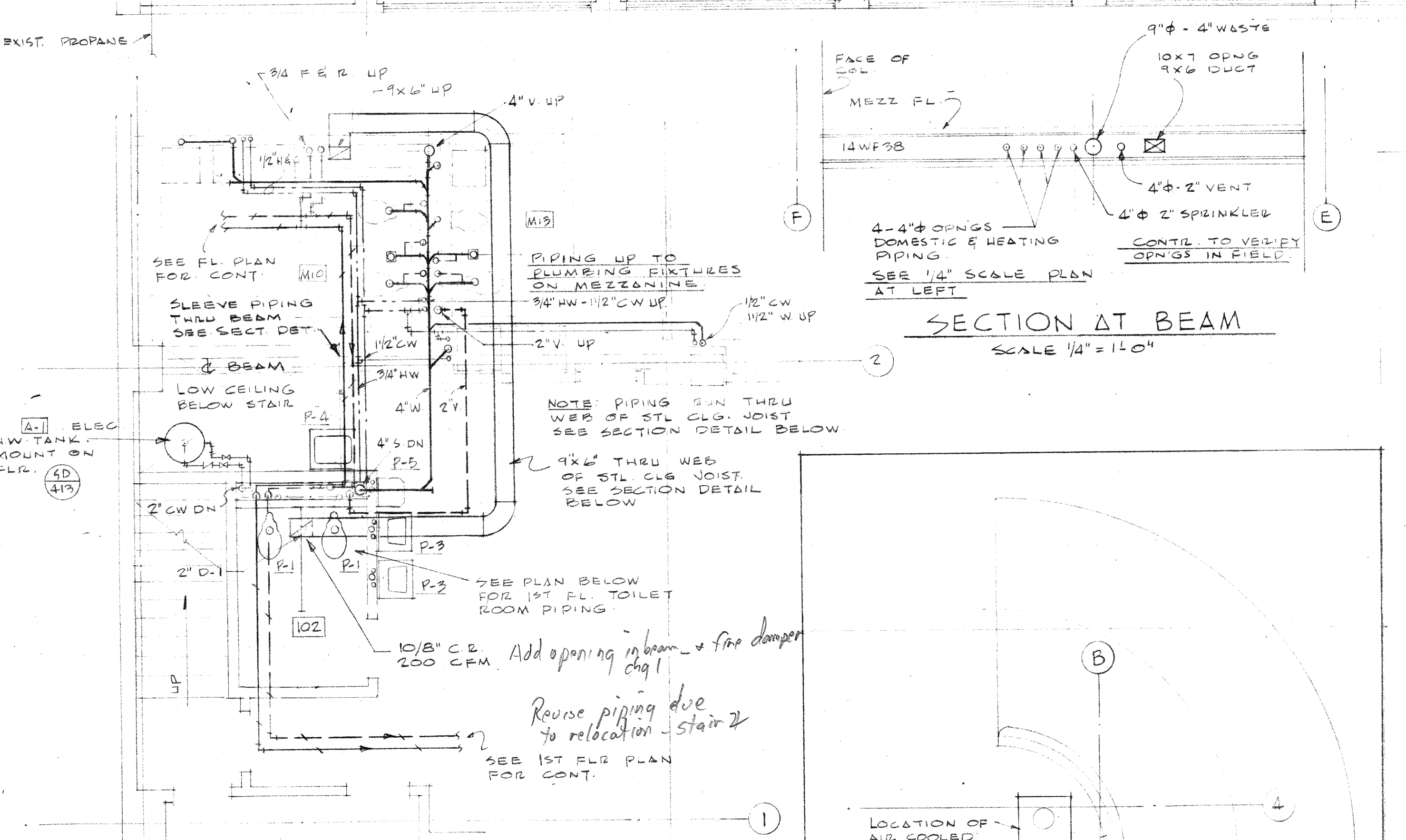
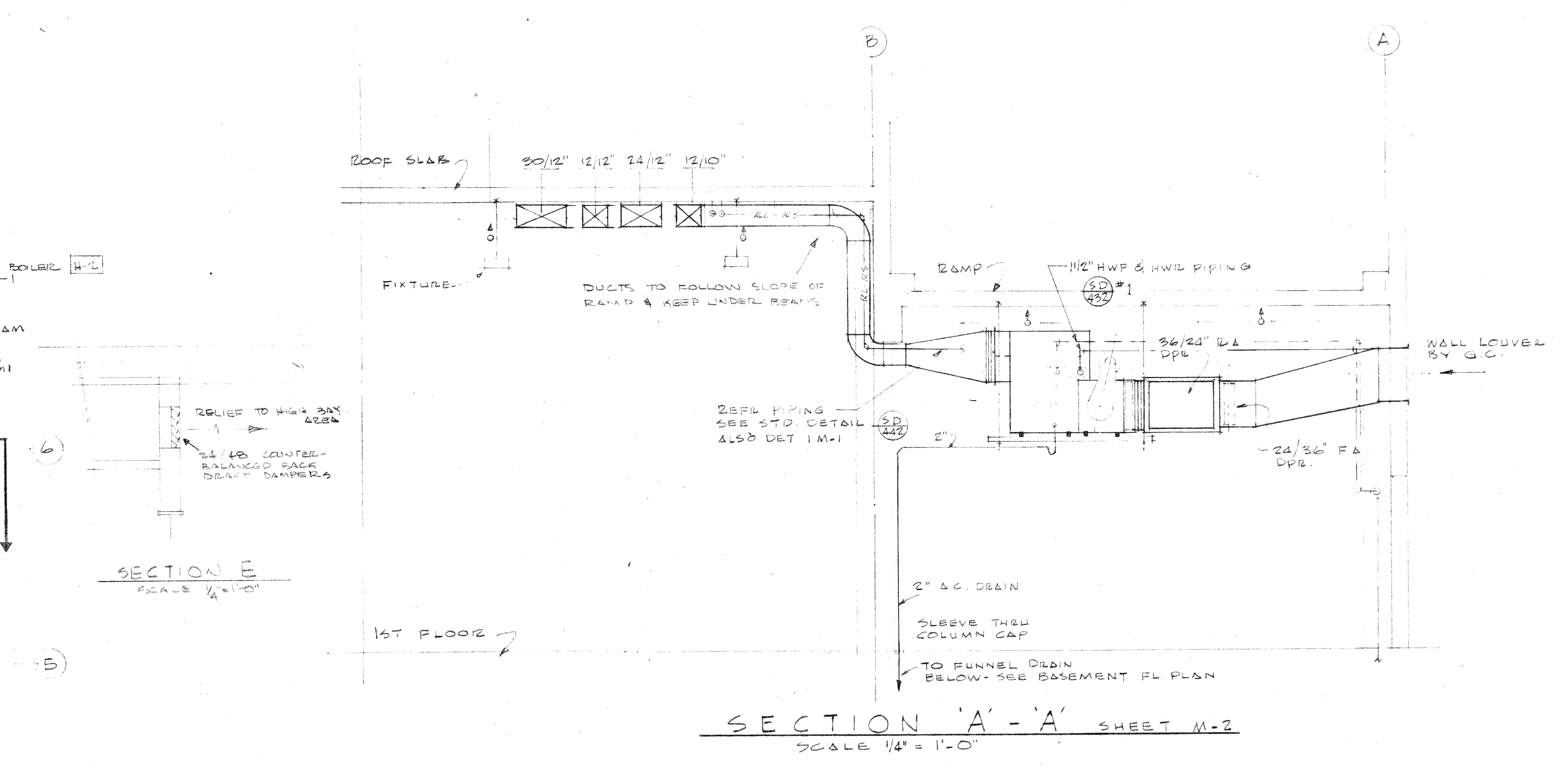
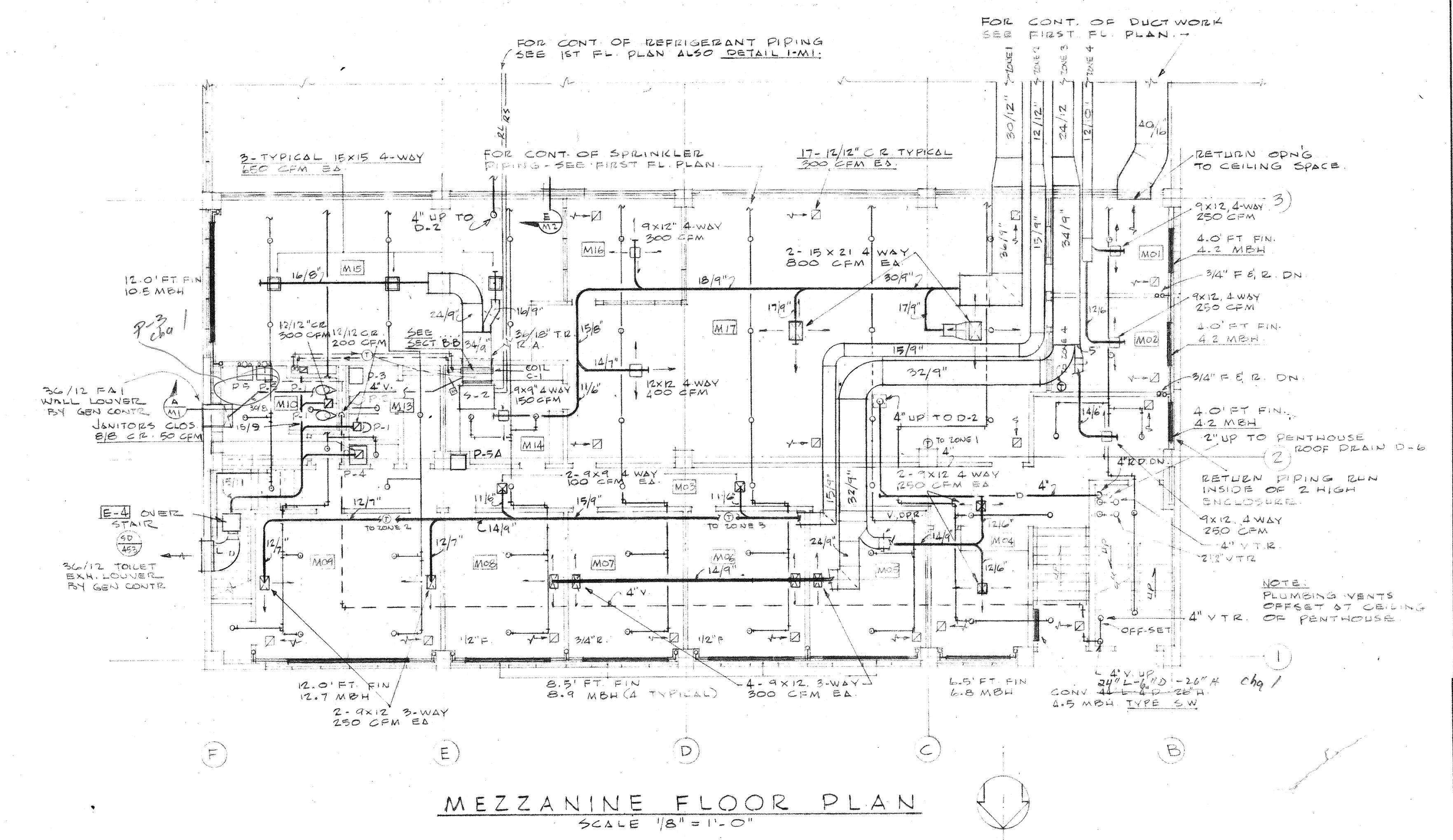
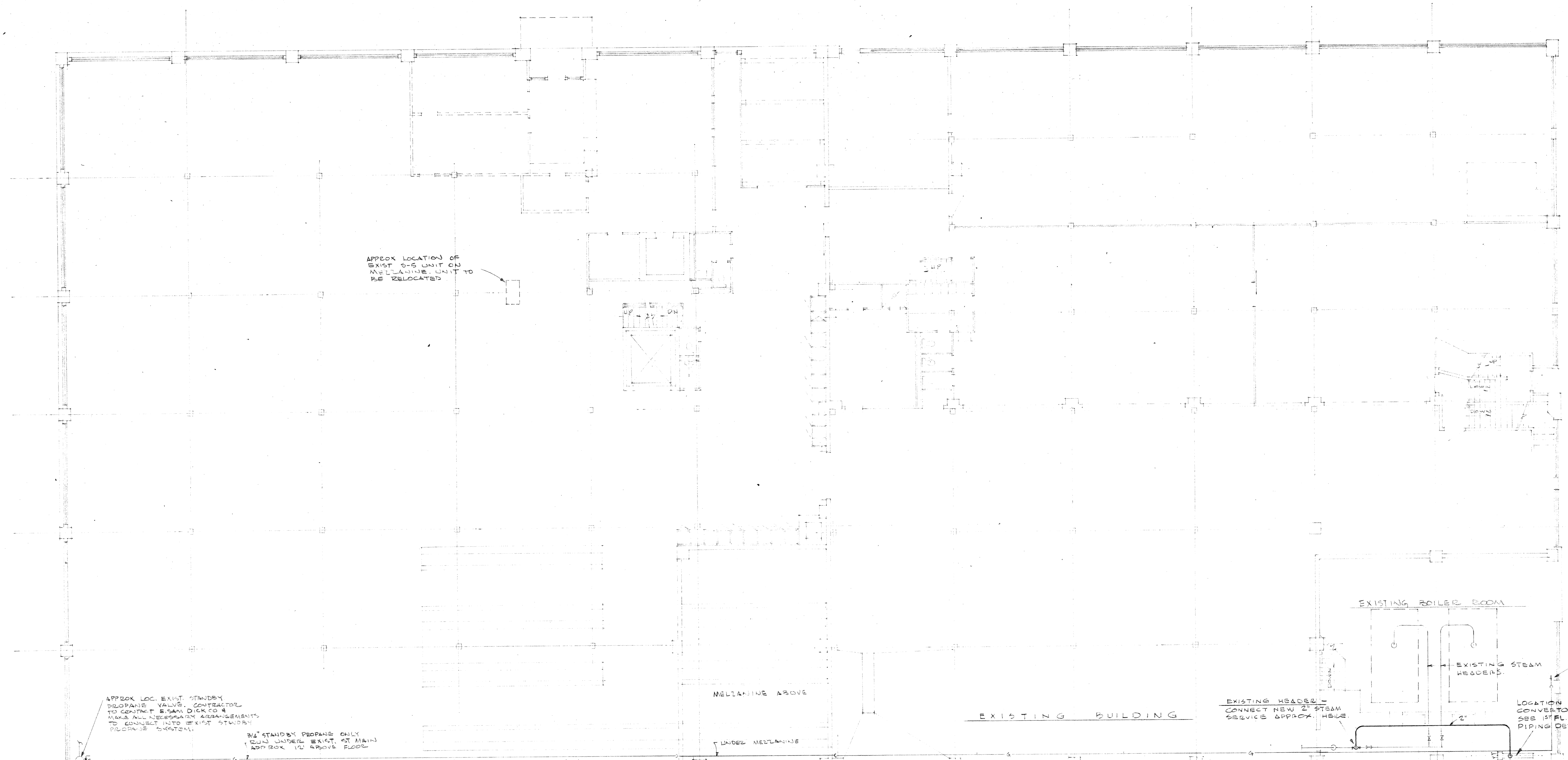
DATE: DEC. 1956

BY: J.G.A.

PROJECT: **ADDITIONS & ALTERATIONS TO THE AMERICAN LINEN SUPPLY CO.**

LOCATION: **DIXIE NORTH & SOY ST., SEATTLE, WASHINGTON**

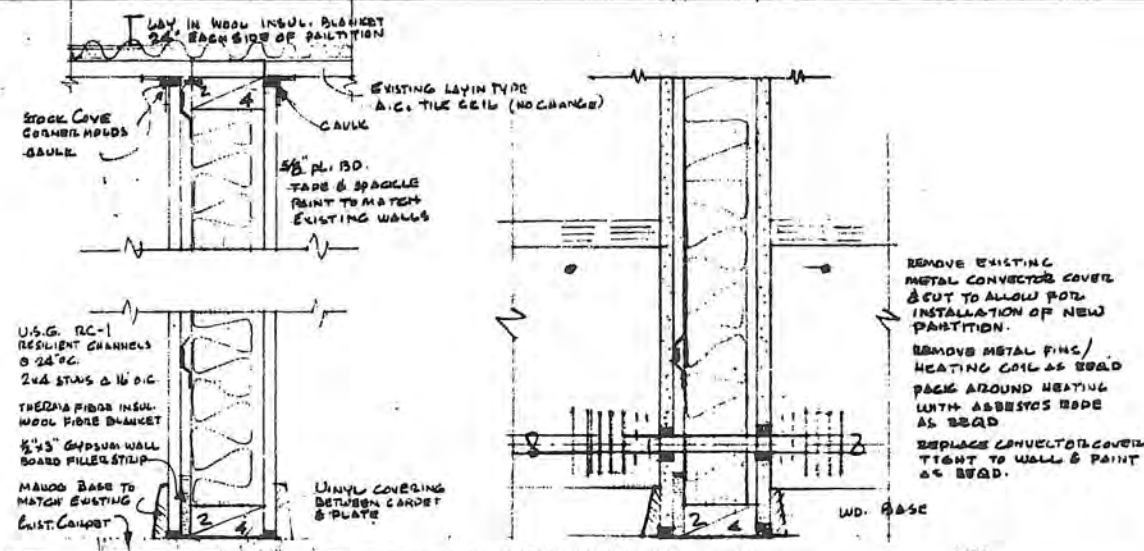
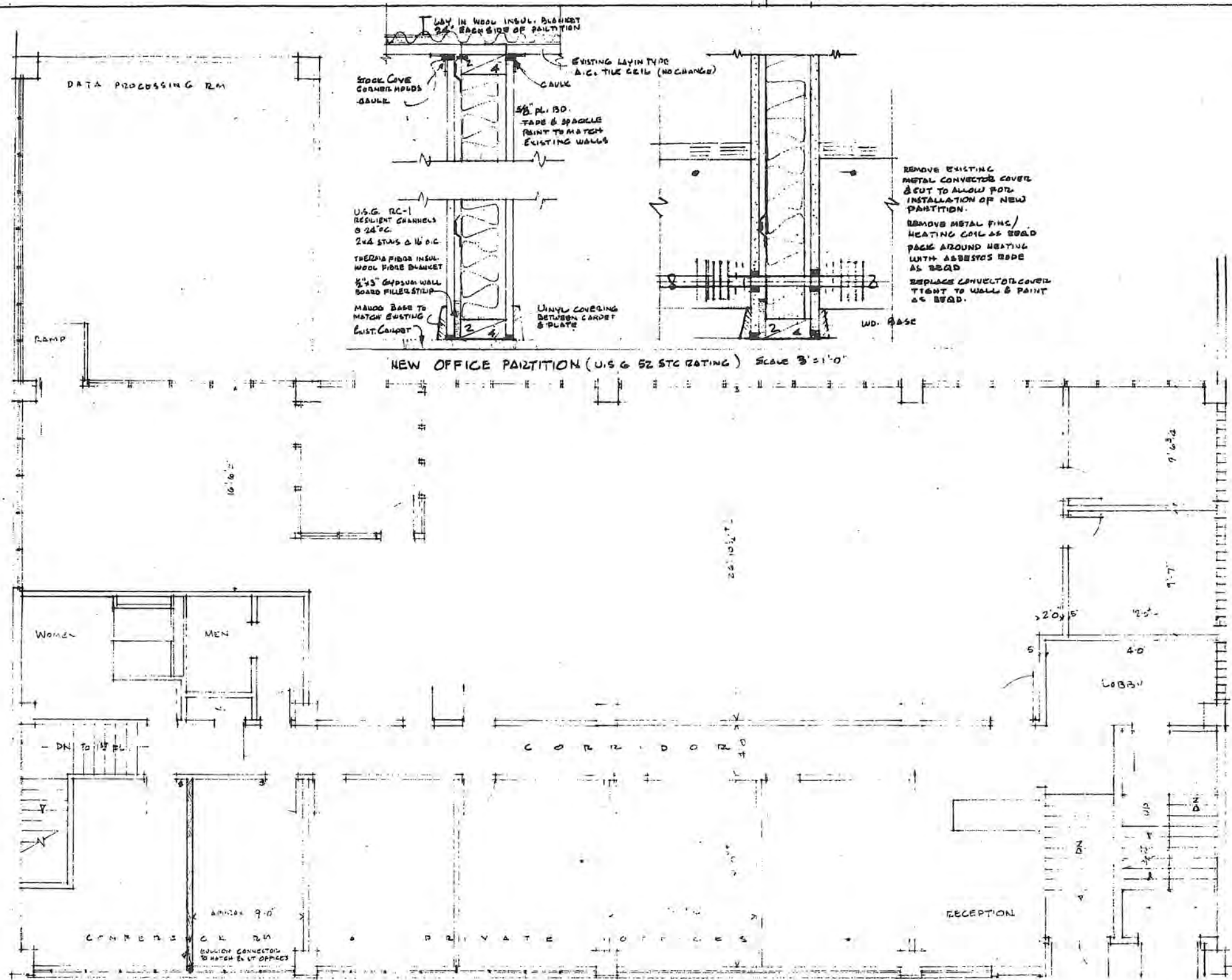
JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS
SEATTLE • NEW YORK



FIRST FLOOR PLAN SCALE 1/8" = 1'-0"

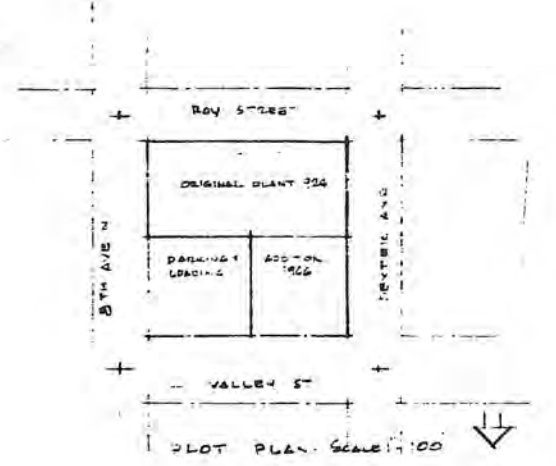
REVISION	DATE	DESCRIPTION	PREPARED BY	DATE	ISSUED TO
1		FIRST & MEZZANINE FLOOR PLANS	J.G.	10/15/64	
2		ADDITIONS & ALTERATIONS TO THE AMERICAN LINEN SUPPLY CO. DEPT. NORTH & ROY ST. SEATTLE, WASHINGTON	J.G.	10/15/64	

JOHN GRAHAM AND COMPANY ARCHITECTS AND ENGINEERS SEATTLE • NEW YORK

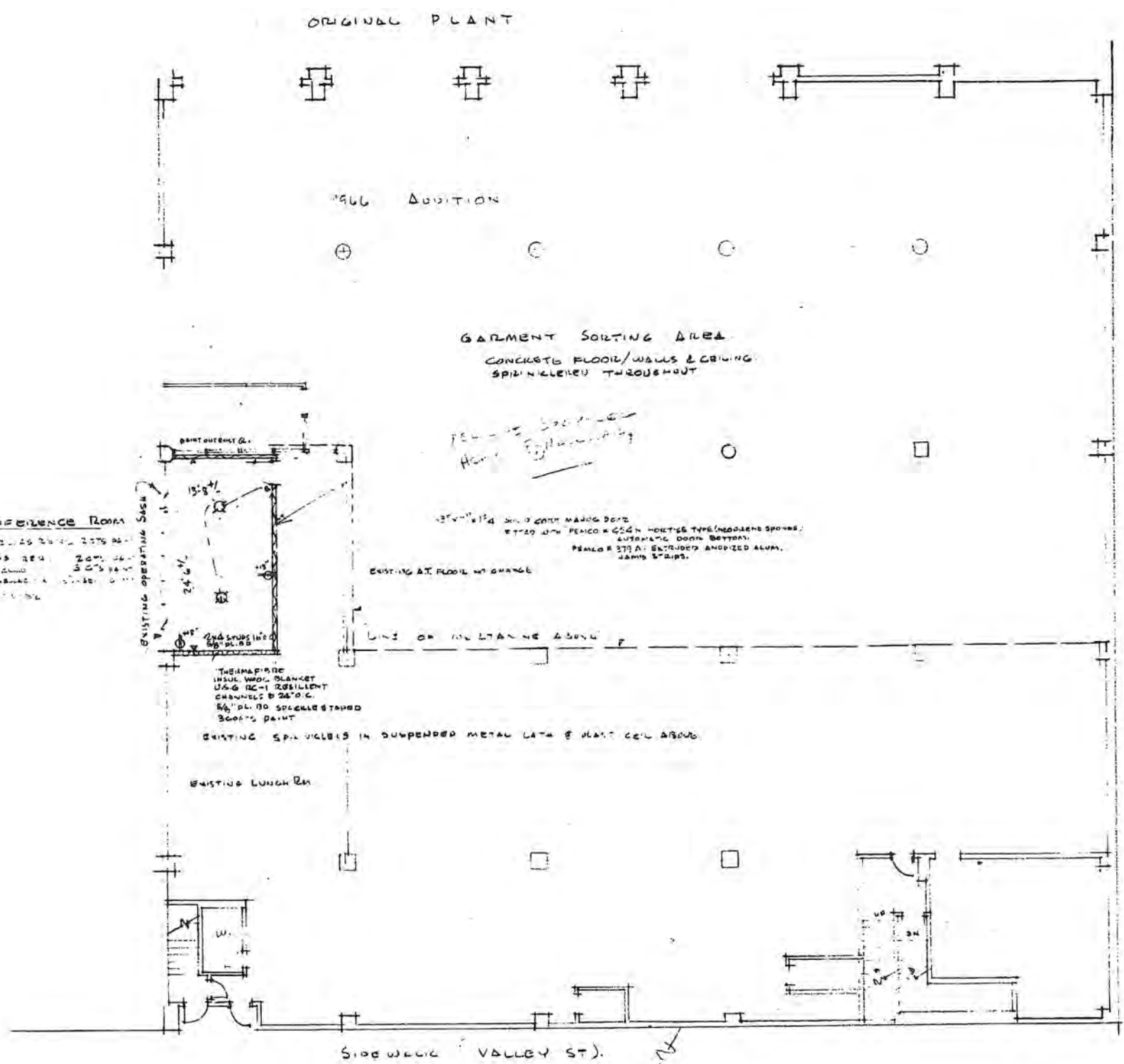


NEW OFFICE PARTITION (U.S.G. 52 STC RATING) SCALE 3"=1'-0"

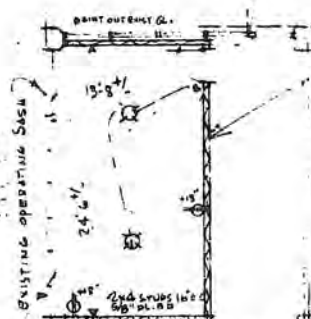
MEZZANINE FLOOR PLAN SCALE 1/4"=1'-0"



NO STRUCTURAL CHANGES NOR ANY ADDITIONAL AREA TO EXISTING MEZZANINE OFFICE SPACE	
EXISTING CLASSIFICATION - TYPE III CONSTRUCTION SPENCERISED THROUGHOUT	
536092	
LEGAL DESCRIPTION LOTS 1, 2, 3, 4, 5, 6, 7 & 8 OF BLOCK 7 - EDENS ADDITION TO CITY OF SEATTLE AS RECORDED IN VOLUME 1 OF PLATS AT PAGE 61-A RECORDS OF KING COUNTY WASHINGTON	
PREPARED BY ARCHITECTS DATE 1-15-70	REGISTERED ARCHITECT STATE OF WASHINGTON P. 6344 AC ALTERATIONS & ADDITIONS TO THE EXISTING FIRST FLOOR & MEZZANINE OFFICES OF THE AMERICAN LINEN SUPPLY CO DEXTER NORTH & ROY ST 771 VALLEY STREET - SEATTLE WASH JOHN GRANAN AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS SEATTLE - NEW YORK



NEW CONFERENCE ROOM
 12' x 12' ROOM WITH 2 DOORS
 NEW WALLS, TRUSS & CEILING
 20' x 20' PANELS
 LIGHTING & VENTILES BY OTHER

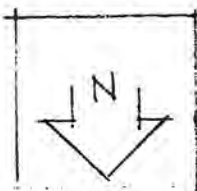
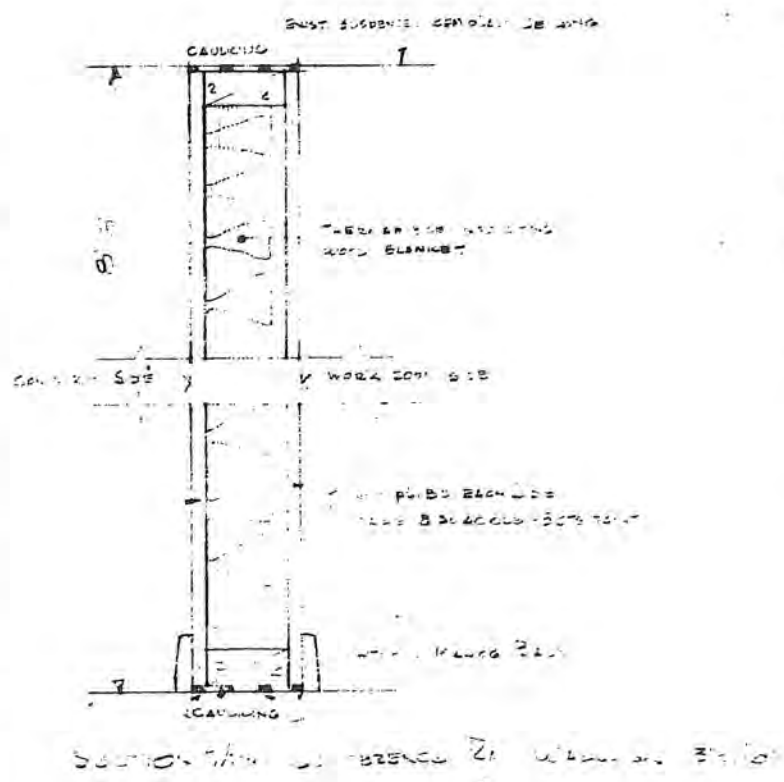


EXISTING AT FLOOR NO CHANGE
 2 1/2" x 1 1/2" x 1/2" CORNER MAKING DOOR
 SETTED WITH PEXICO & GLEN HORTON TYPE (NEEDS SPONGE)
 AUTOMATIC DOOR BOTTOM
 PEXICO & GLEN AT EXTERIOR AND VEEDED ALUM.
 JAMB STRIPS.

EXISTING SP. VIBLES IN SUSPENDED METAL LATH & PLAST CELL ABOVE
 THERMAPROTE
 1 1/2" x 1 1/2" x 1/2" BLANKET
 USING RC-1 RESILIENT
 CHANNELS @ 24" O.C.
 1/2" PL. 90 SPEARLE STAPED
 SCOTTS PAINT

EXISTING LUNCH RM

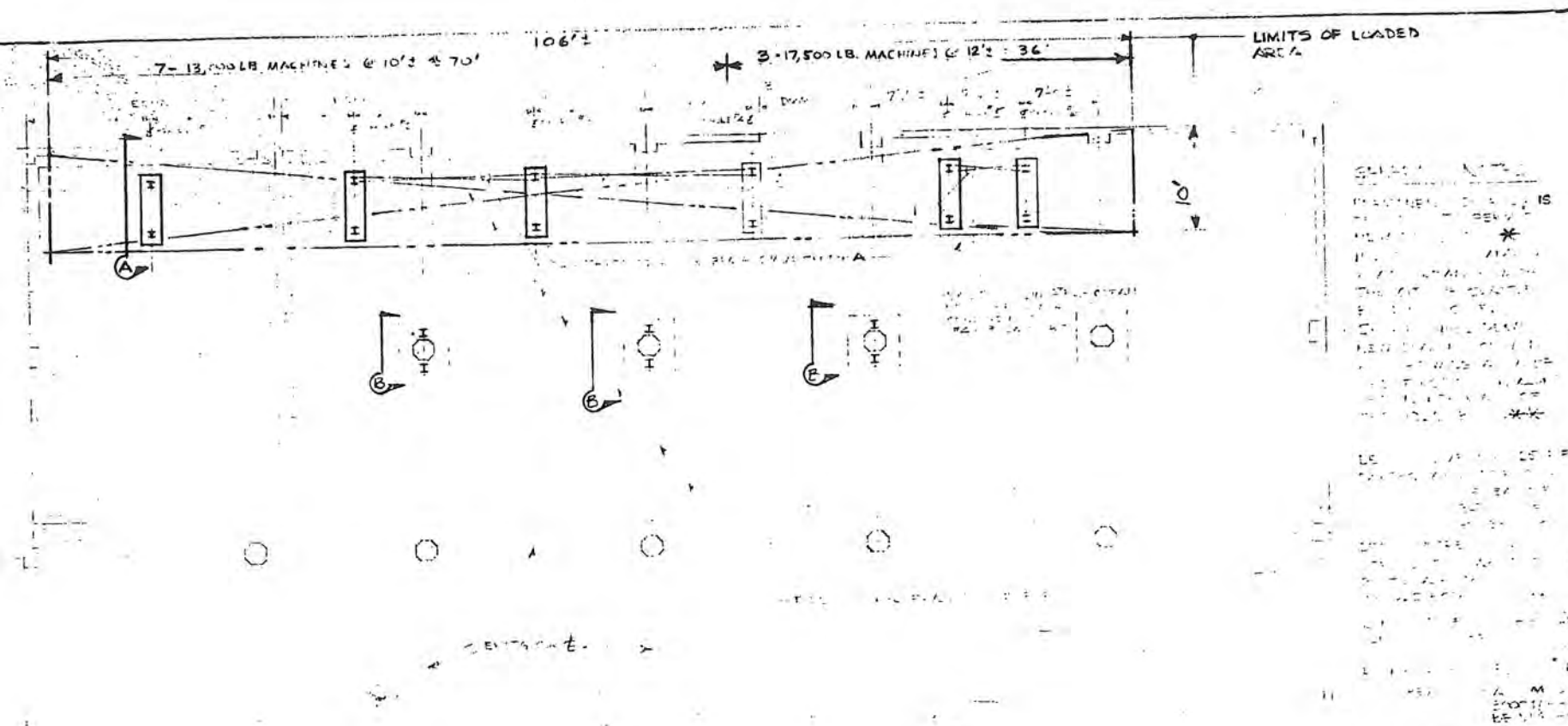
FIRST FLOOR AREA SCALE 1/8" = 1'-0"



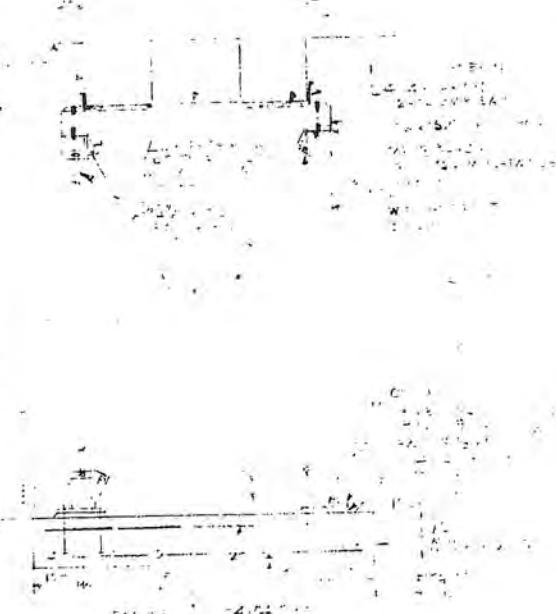
535092

DESIGN BY	J. G. GRANAN	DATE	1-15-70
APPROVED BY	J. G. GRANAN	PROJECT	ALTERATIONS & ADDITIONS TO THE EXISTING FIRST FLOOR & MEZZANINE OFFICES OF THE AMERICAN LINEN SUPPLY CO
DATE	1-15-70	ADDRESS	DEXTER NORTH 8 BAY ST 771 VALLEY ST. SEATTLE WASH

JOHN GRANAN AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS
 SEATTLE - NEW YORK

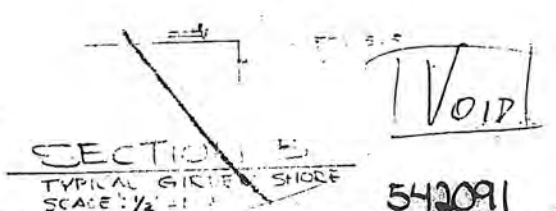


PARTIAL PLAN BASEMENT
SCALE: 1/8" = 1'-0"



SECTION A
TYPICAL BEAM SHORE
SCALE: 1/2" = 1'-0"

Legal Desc.
Lots 1 to 8 Incl
Bl. 7
Edens Addition



SECTION E
TYPICAL GIRDER SHORE
SCALE: 1/2" = 1'-0"

VOID

542091

JOHN GRAHAM AND COMPANY ARCHITECTS - PLANNERS - ENGINEERS
SEATTLE - NEW YORK

PERMANENT SHORING
AMERICAN LINEN & SUPPLY CO., 771 VALLEY ST., SEATTLE WASH.
DRAWN F.W.B. MAY 11, 1971 (PH)
JOB NO. 10766

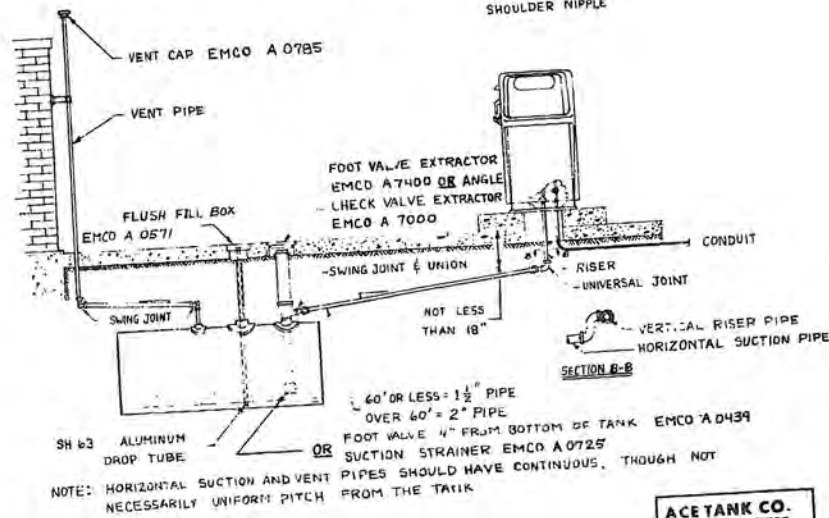
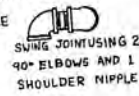
DRAWING NO. S1



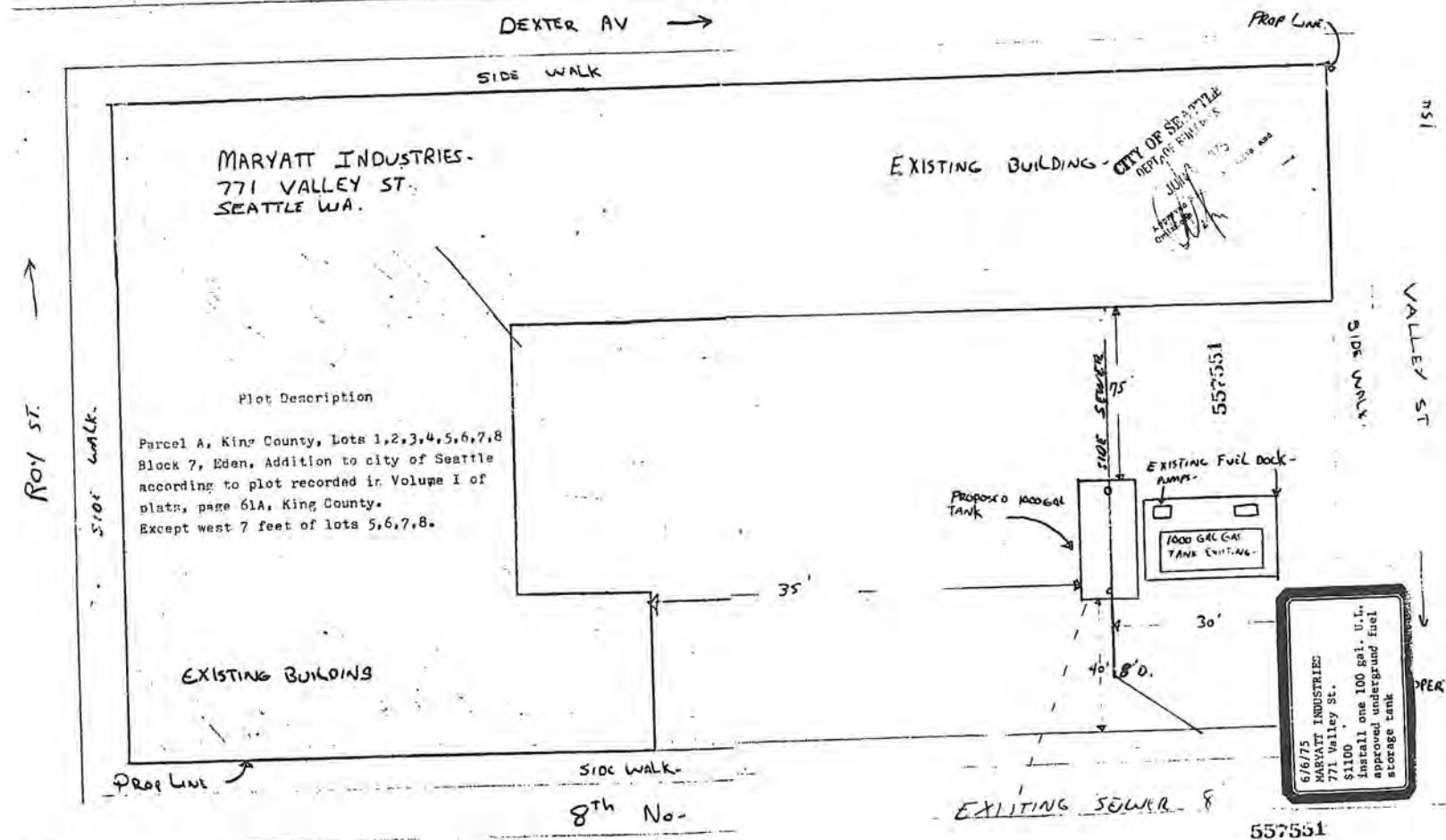
TYPICAL SUCTION PUMP INSTALLATION
 USING EMCO WHEATON (BUCKEYE) VALVES AND FITTINGS

METHOD OF BUILDING UP SWING JOINTS

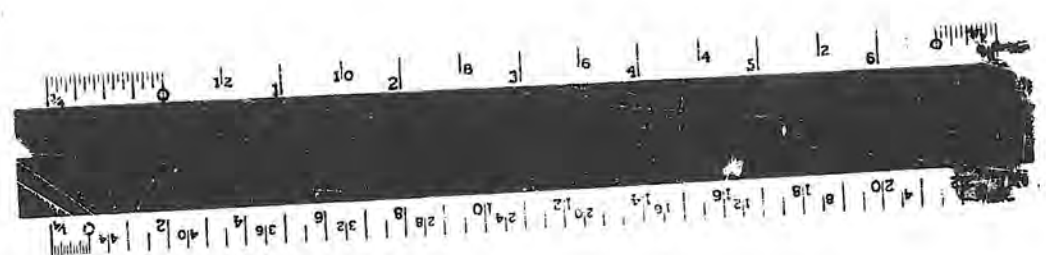
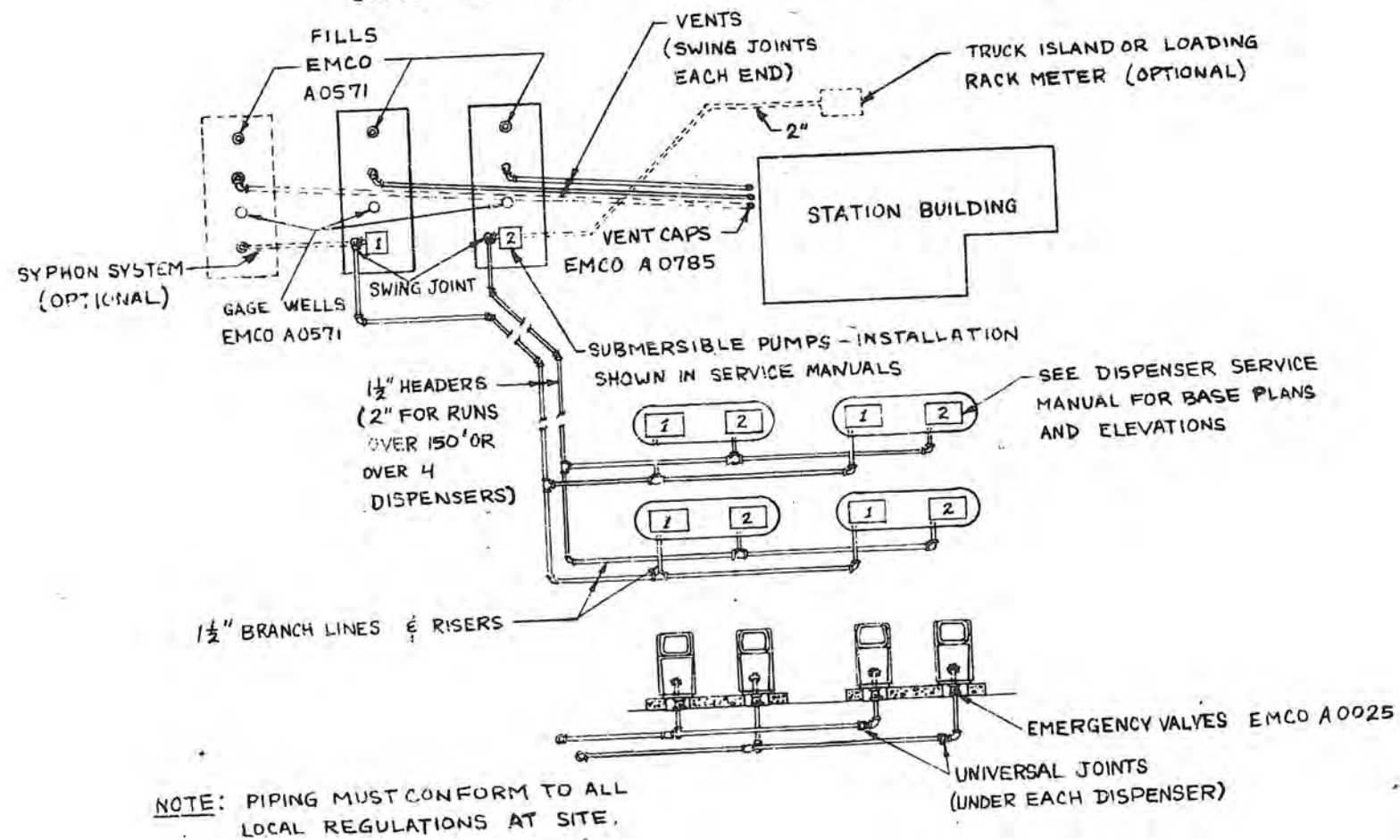
CAUTION: NEVER USE
 A CLOSE NIPPLE

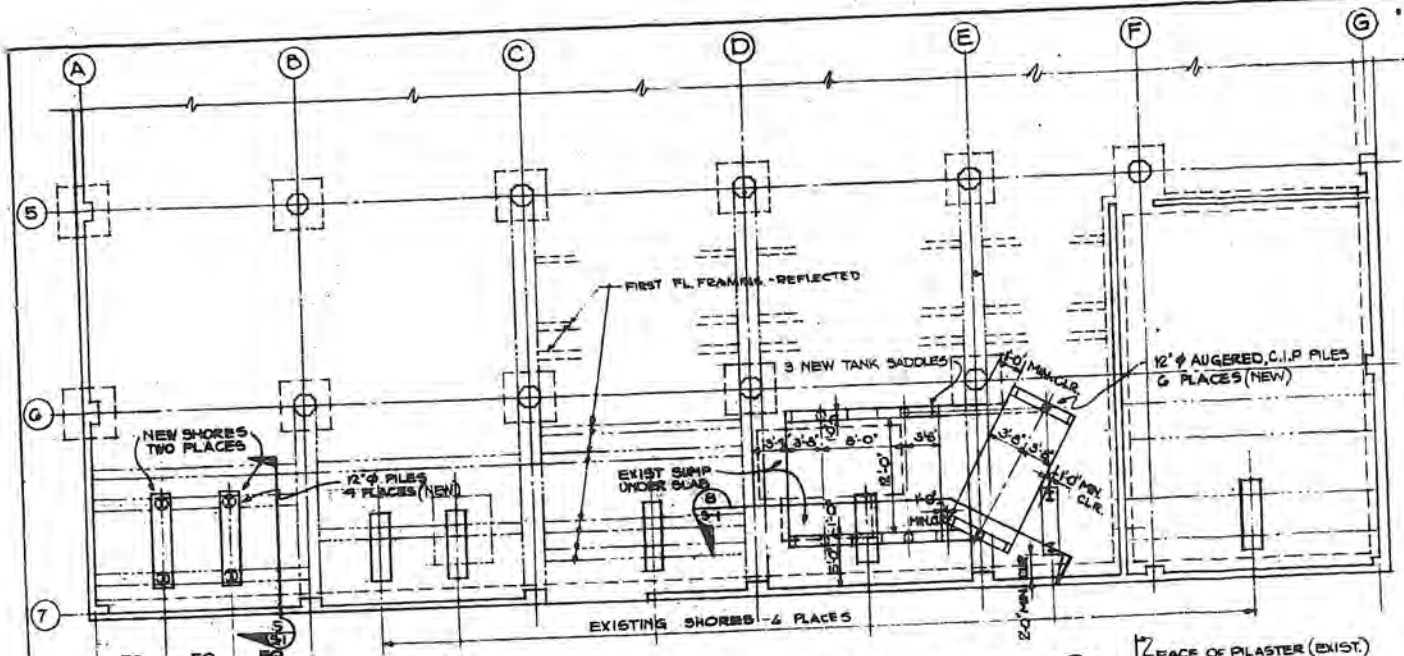


ACE TANK CO.
 1124 ELLIOTT WEST

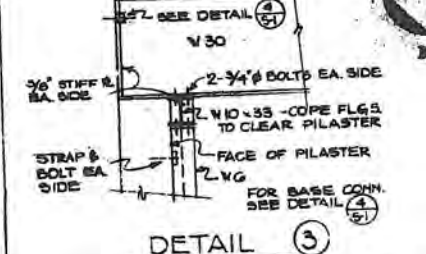


TWO PRODUCT TYPICAL REMOTE SYSTEM PIPING DIAGRAM USING EMCO WHEATON (BUCKEYE) VALVES AND FITTINGS

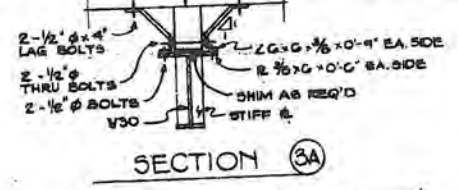




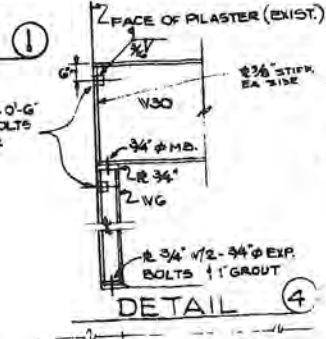
PARTIAL PLAN BASEMENT (1)
SCALE: 1/8" = 1'-0"



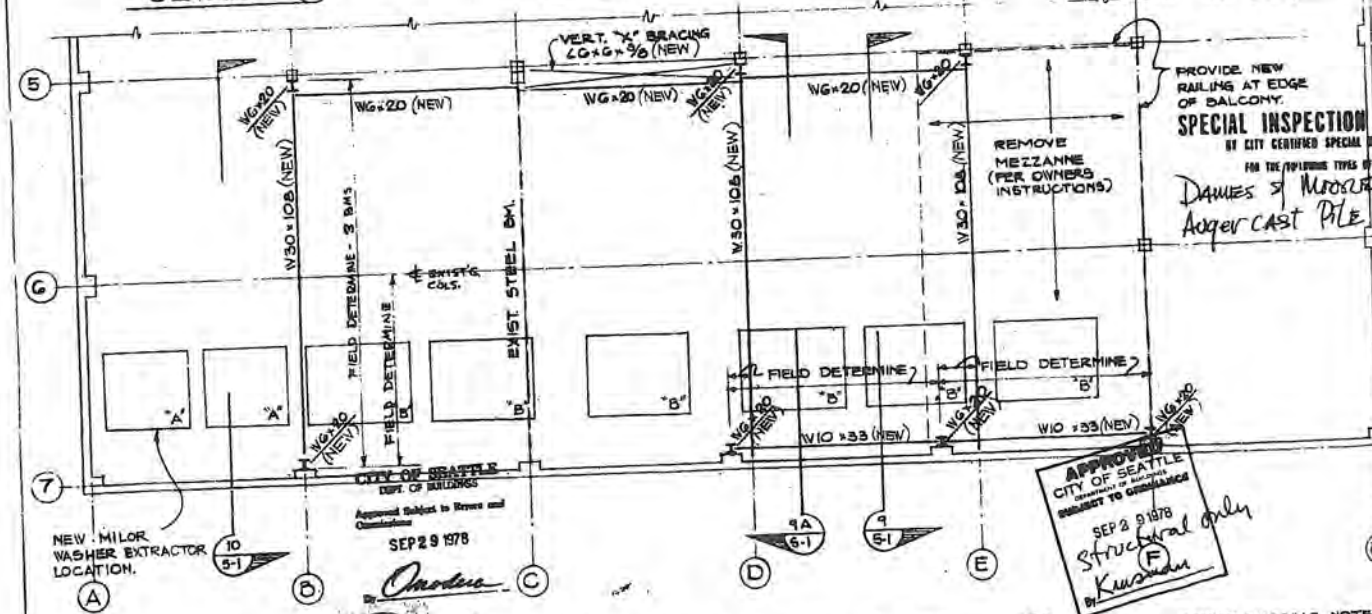
DETAIL (3)



SECTION (3A)



DETAIL (4)



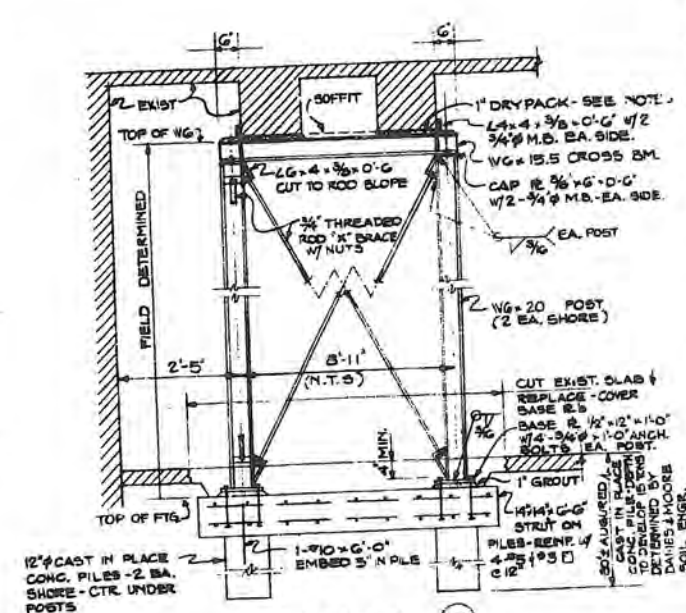
PARTIAL PLAN 1ST FLOOR (2)
SCALE: 1/8" = 1'-0"

PLANS CHECK OFF

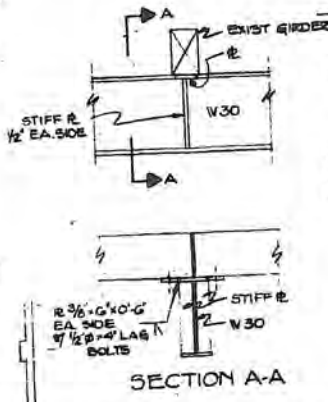
NO.	DATE	BY	CHKD BY
1	9/1/78	RA	RA
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3	9/1/78	RA	RA
4	9/1/78	RA	RA
5	9/1/78	RA	RA
6	9/1/78	RA	RA
7	9/1/78	RA	RA
8	9/1/78	RA	RA
9	9/1/78	RA	RA
10	9/1/78	RA	RA

NEW EQUIPMENT SHOWN TO SCALE. FOR EXACT LOCATION SEE MILNOR DNGS. 78253-2 & 78255-3.
EQUIPMENT LETTER 'A' WT. = 10.81 KIPS
EQUIPMENT LETTER 'B' WT. = 24.57 KIPS

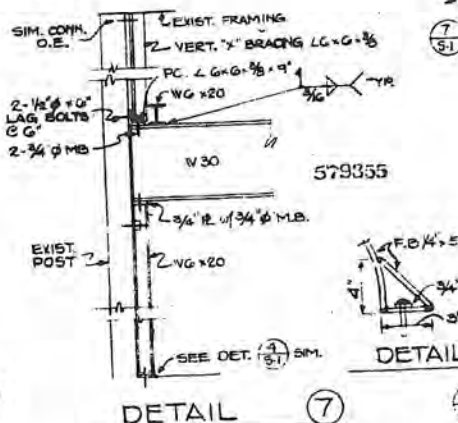
- # ROOF SHORING NOTES (CONT.)
- 5 REMOVE SHORES
 - 6 GROUT NEW BASE PLATES AND PLACE STRAP & ANGLE SUPPORTS.
 - 7 AFTER GROUT HAS ATTAINED $f_c = 2000$ PSI, OR 3 DAYS, REMOVE JACKS.



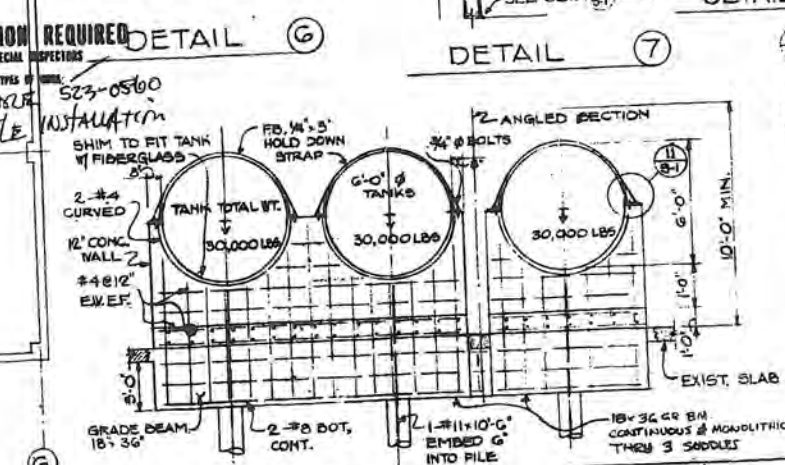
SECTION (5) BEAM SHORE



SECTION A-A



DETAIL (7)



SECTION (6)
OTHER END SIMILAR

GENERAL NOTES

ADDITIONAL SHORING IS REQUIRED TO SUPPORT NEW EQUIPMENT AND IS TO BE INSTALLED PER THE CITY OF SEATTLE BUILDING CODE. SHORING SHALL BE INSTALLED WITH ONE BAY OF THE FIRST FLOOR ALONG THE EXIST. WALL OF THE 1888 BUILDING.

DESIGN LIVE LOAD - EQUIPMENT WEIGHT

EARTHQUAKE - PER CITY OF SEATTLE BUILDING CODE, I - 1.8, C - 0.10.

DESIGN SPECIFICATIONS

STRUCTURAL STEEL A36 - $F_y = 36,000$ PSI
WELDS AS SHOWN
WELDS, REINFORCING BARS
CONCRETE & GROUT - $F_c = 3,000$ PSI (UNREINFORCED - ASSUMED 100% SACS PER CONCEPT FILES AS BELIEVED)
REINFORCING GR. #3 - $F_y = 60$ KSI
FILES - 18" DIA., DEPTH TO BE DETERMINED BY DAMES & MOORE. SOIL ENGINEER. GROUT 3/4" DIA. TO BE 9" SACS CEMENT PER CUBIC YD.

INSTALLATION NOTES: JACK UP EXISTING BEAMS TO 16,000 LBS EACH BEFORE DRYPACKING. GIRDERS DO NOT REQUIRE JACKING.

EQUIPMENT COMPOSED OF 6 MILLOR 1844 WTBS AT 34,500 LBS (LOADED) AND 3 MILLOR 1848 WTBS AT 16,000 LBS (LOADED.)

SUPERVISED CONSTRUCTION BY SPECIAL INSPECTORS (DAMES & MOORE) FOR AUGERED CAST IN PLACE CONCRETE PILES.

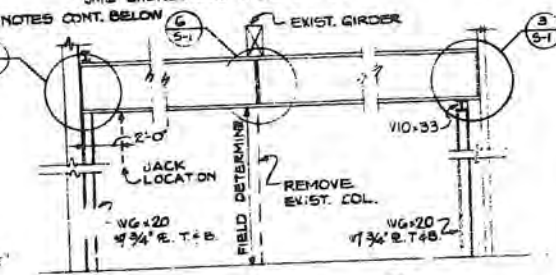
ALL STRUCTURAL WELDING BY SEATTLE CERTIFIED WELDER.

PROTECT ALL STEEL WITH ONE-HOUR CONSTRUCTION.

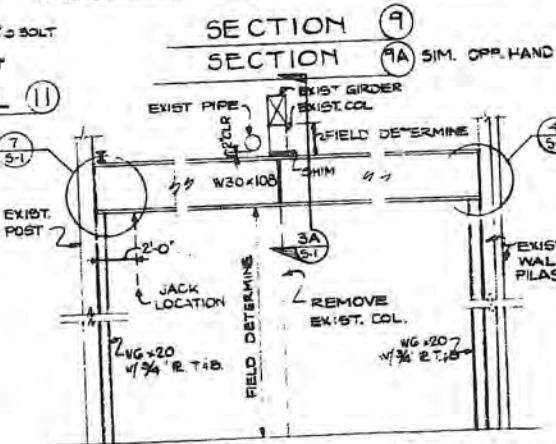
ALL EXISTING DIMENSIONS SHOWN TO BE FIELD VERIFIED.

ROOF SHORING NOTES:

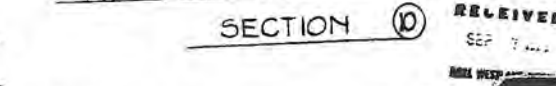
- 1 SHORE EXIST. ROOF AS CLOSE AS PRACTICABLE ON EACH SIDE OF EXISTING COLUMN.
- 2 REMOVE EXISTING COLUMN.
- 3 PLACE NEW STEEL BEAMS & POSTS.
- 4 JACK NEW ROOF BEAMS AS SHOWN IN SECTIONS (5) & (6) UNTIL SHORES ARE UNLOADED.



SECTION (9)



SECTION (9A) SIM. OPP. HAND



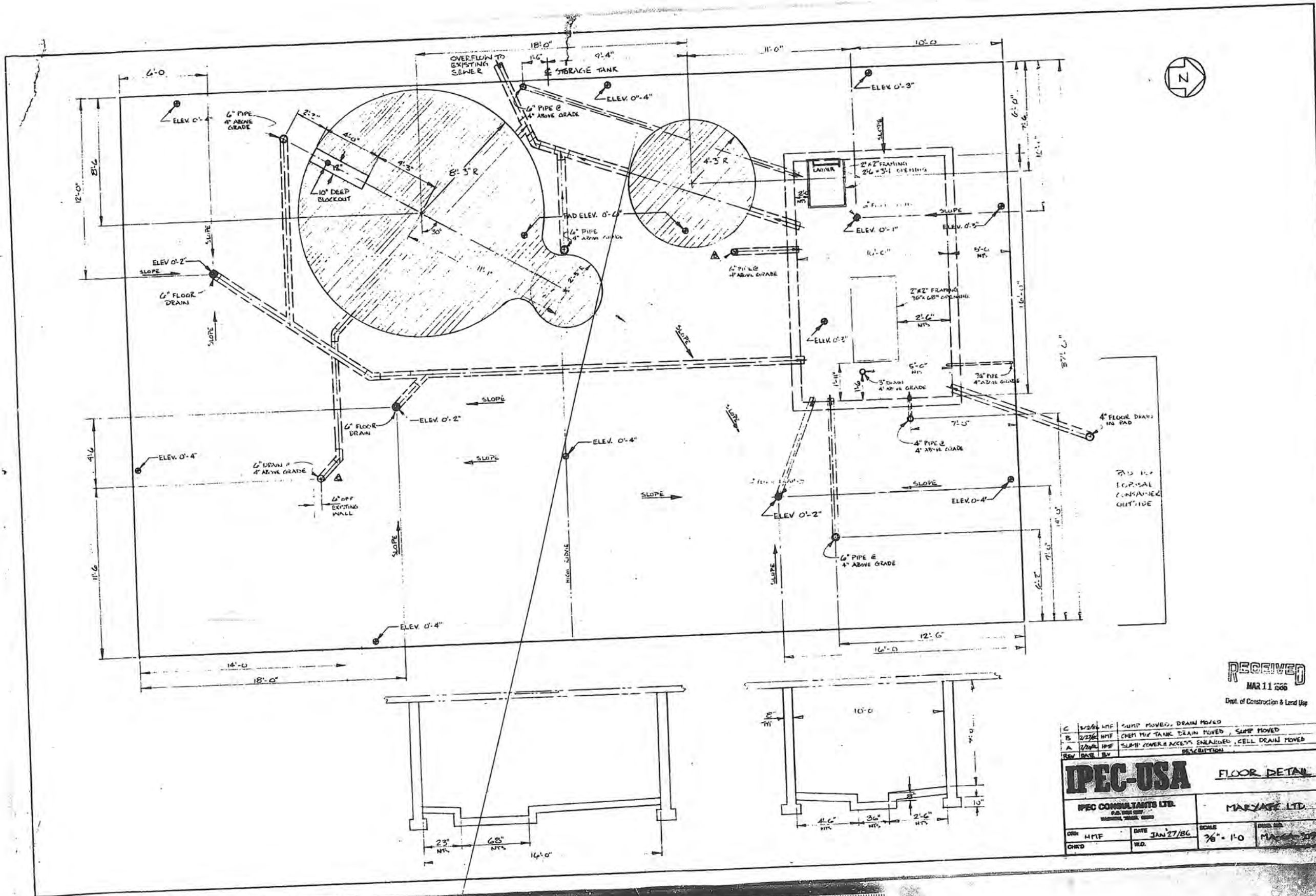
SECTION (10)

NO.	DATE	DESCRIPTION
1	9/1/78	PERMANENT SHORING & COL. RELOCATION
2	9/1/78	MARYATT INDUSTRIES
3	9/1/78	771 VALLEY ST.
4	9/1/78	SEATTLE, WASHINGTON

JOHN GRAHAM AND COMPANY ARCHITECTS-PLANNERS - SEATTLE - NEW YORK

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SEP 7 1978

Sheet

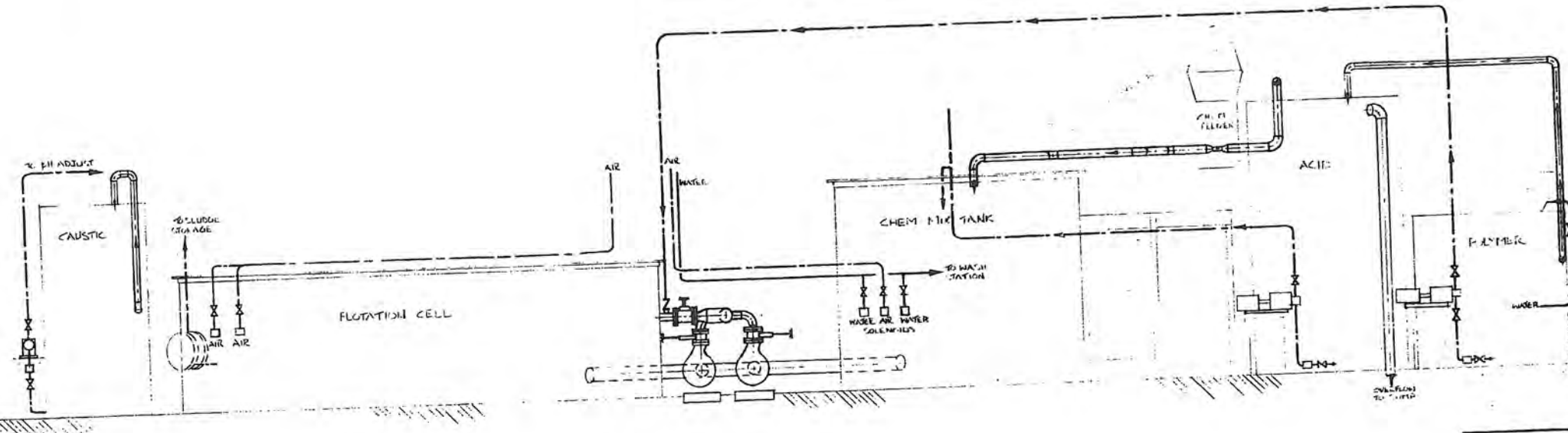
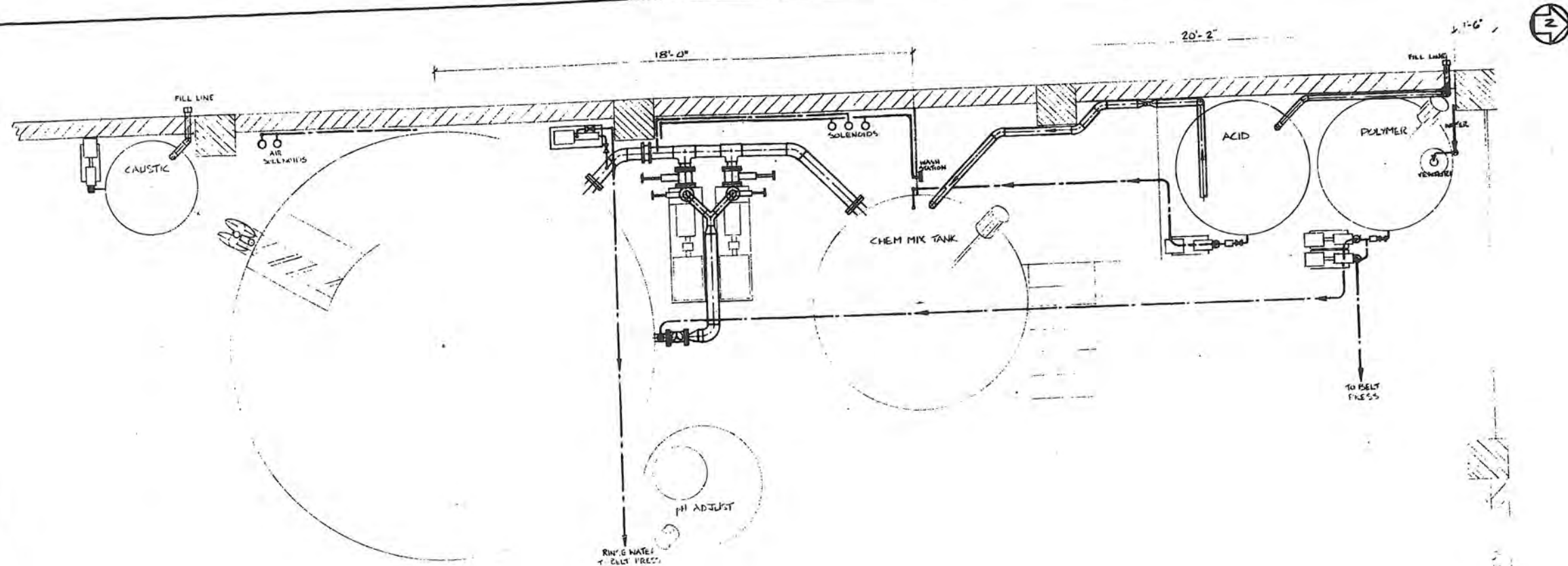


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MAR 11 1986
Dept. of Construction & Land Use

C	1/23/86	HIF	SUMP MOVED, DRAIN MOVED
B	2/23/86	HIF	CHEM TANK DRAIN MOVED, SUMP MOVED
A	2/20/86	HIF	SLAB COVER ACCESS ENLARGED, CELL DRAIN MOVED
REV	DATE	BY	DESCRIPTION
IPEC-USA FLOOR DETAIL			
IPEC CONSULTANTS LTD. P.O. BOX 100 MARIETTA, GA 30067		MARYKATE LTD.	
DRN	HIF	DATE	JAN 27/86
CHD	WD.	SCALE	3/8" = 1'-0"
		DRN. NO.	MAR 11 1986

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





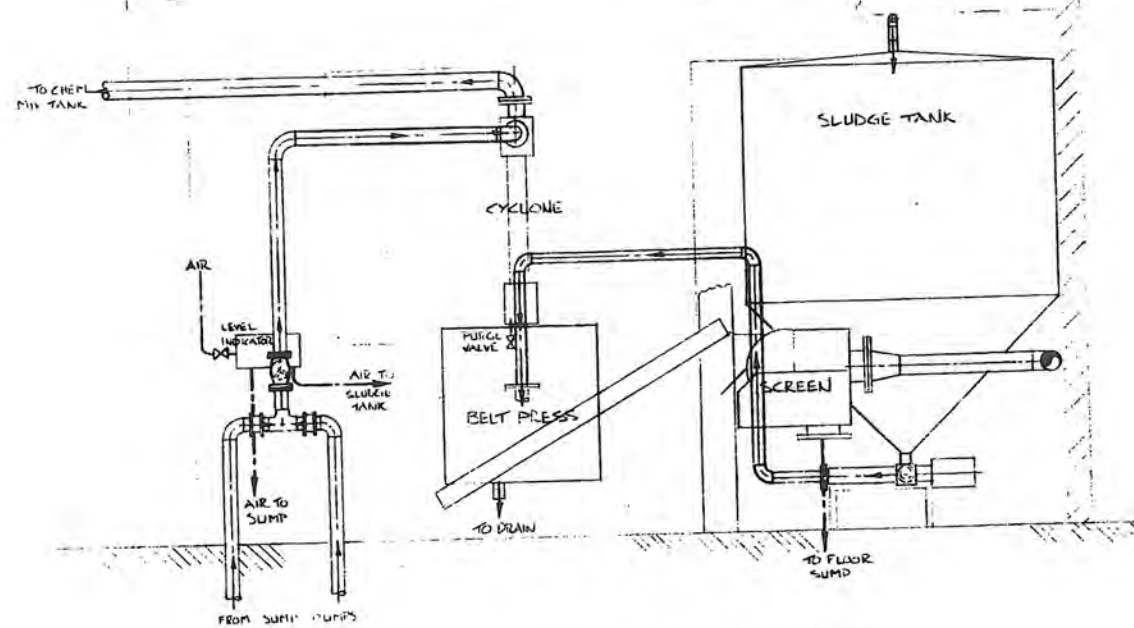
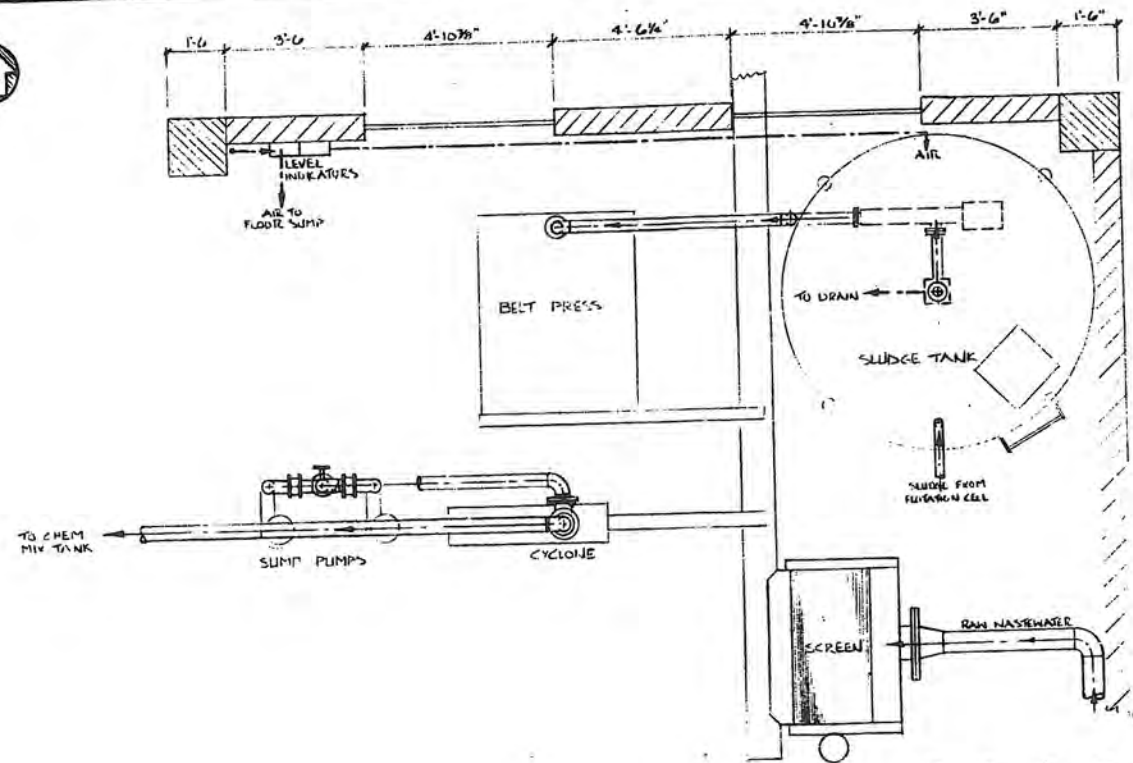
WEST WALL ELEVATION
SCALE 1/8" = 1'-0"

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Dept. of Construction & Land Use

IPEC-USA		PIPING ELEVATION WEST WALL	
IPEC CONSULTANTS LTD. P.O. BOX 100 WARRINGTON, ENGLAND		MARYKAT	
DRN: H.M.P.	DATE: FEB 1966	SCALE: 1/8" = 1'-0"	GRID NO.: MA-GA-310
CHKD: W.D.			

NOTE: If the microfilm drawing is less clear than this notice, it is due to the quality of the original drawing.





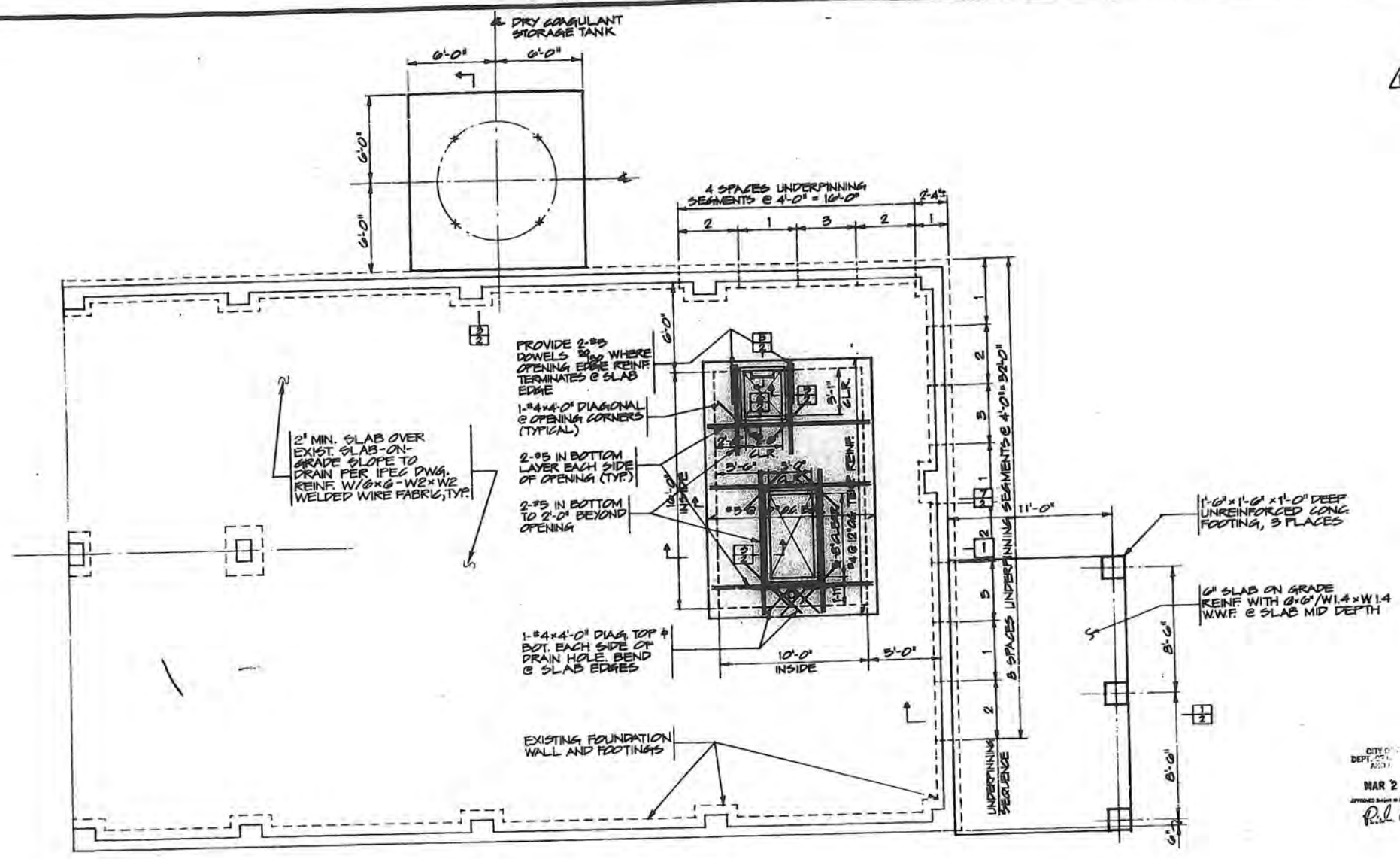
NORTH WALL ELEVATION
SCALE 1/2" = 1'-0"

RECEIVED
MAR 11 1986
Dept. of Construction & Land Use

IPEC-USA		PIPING ELEVATION NORTH WALL	
IPEC CONSULTANTS LTD. P.O. BOX 107 VANCOUVER, BRITISH COLUMBIA, CANADA		MARYATT	
DRN: HMF	DATE: FEB 19/86	SCALE: 1/2" = 1'-0"	DRAW. NO.: MA-6A-311
CHFD	W.D.		REV.

NOTE: If the microfilm drawing is less clear than this notice, it is due to the quality of the original drawing.





STRUCTURAL NOTES

CASE: THE UNIFORM BUILDING CODE (UBC) 1983 EDITION, WITH SEATTLE AMENDMENTS.

LIVE LOADS: UBC 1601.2.1.1
 UBC 1601.2.1.2
 UBC 1601.2.1.3
 UBC 1601.2.1.4

FOUNDATION: EXTEND FOOTINGS TO FIRM UNDISTURBED SOIL OF 2,000 PSF BEARING CAPACITY, OR A MINIMUM OF 1'-0" BELOW ADJACENT EXISTING FINISH GRADE, WHICHEVER IS GREATER.

CONCRETE: CONCRETE $f'_c = 2000$ PSI 9 20 DAYS. $f_c = 400$ PSI. USE A MINIMUM OF 3 BAGS OF CEMENT PER CU. YD. CONCRETE PER A MAXIMUM OF 7-1/2 GAL. OF WATER PER BAG. SURFACE OF CONCRETE PROTECTION FOR REINFORCING SHALL BE AS FOLLOWS:

CAST AGAINST EARTH	3"
FORMED WALL EXPOSED TO EARTH	1-1/2"
FORMED WALL EXPOSED TO LIGHT	1-1/2"
SLAB SOFFIT EXPOSED TO LIQUID TANK CONTENTS	1-1/2"

ALL CONCRETE IN FOOTINGS, WALLS AND STRUCTURAL STEELS SHALL BE POURED IN A MONOLITHIC POUR UNLESS OTHERWISE APPROVED BY THE ENGINEER PRIOR TO POURING.

CALL BUILDING DEPARTMENT FOR INSPECTION OF REINFORCING BEEL PRIOR TO POURING CONCRETE.

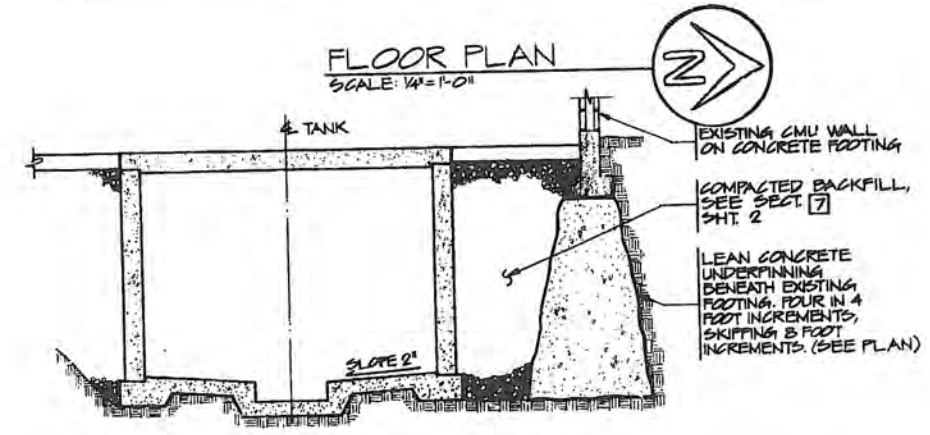
REINFORCING STEEL: REINFORCING STEEL SHALL BE A-515, GRADE 60, $F_y = 29,000$ PSI. LAP ALL SPLICES 25 ϕ REINFOR. PROVIDE ELBOW BARS AT WALL CORNERS AND INTERSECTIONS TO MATCH ADJACENT REINFORCING. REINFORCING BRANCHES SHALL BE PROVIDED BY A QUALIFIED WELDER IN ACCORDANCE WITH A.C.S. MANUAL, A.C.I. 318. SUBMIT PURCHASE PLANS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.

STRUCTURAL & MISCELLANEOUS STEEL: STRUCTURAL STEEL SHALL BE A-36, GRADE 50, $F_y = 24,000$ PSI MAXIMUM. THE COLOR SHALL BE A-500, GRADE "B" OR A-301. ALL WELDS SHALL BE 3/16" MINIMUM CONTINUOUS FILLET WELDS USING A502 CLASS E60 ELECTRODES UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY WELDER CERTIFIED BY AWS. ALL BOLTS SHALL BE A578 A-307. PROVIDE ONE COPY OF FINISH TO ALL STEEL.

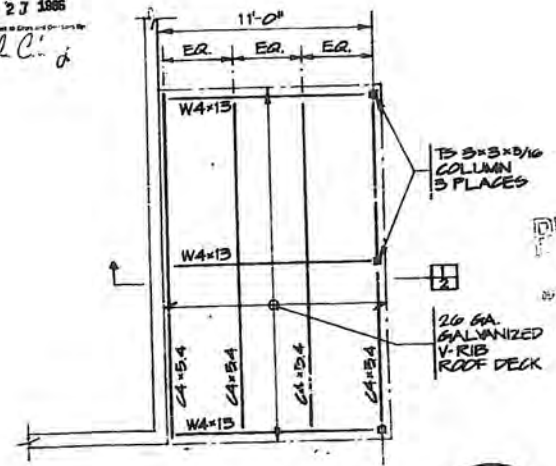
STEEL SIDE WALK: ROOF DECK SHALL BE 25 GA. 4" CRIMP BY ABC OR EQUAL, GALVANIZED COLOR COATED PANELS. APPLY TO STEEL FRAME WITH THREE #10 SELF-TAPPING SCREWS WITH NEOPRENE WASHERS AT EACH SUPPORT.

MISCELLANEOUS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENINGS HAVE BEEN INSTALLED.

CITY OF SEATTLE
 DEPT. OF PERMITS
 DIVISION 2
 MAR 27 1986
 R.L.C.



SECTION 1
 SCALE: 3/8" = 1'-0"



ROOF FRAMING PLAN
DISPOSAL BOX ROOF
 SCALE: 1/4" = 1'-0"

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NO.	REVISION	DATE	APPROVED	DATE	DESIGNED	DRAWN	CHECKED	DATE
1	REVISE STRUCTURAL NOTES	3/24/86			NELSON	MAUGHAN	HR DODD	3/17/86

HARVEY R. DODD & ASSOCIATES, INC.
 CONSULTING ENGINEERS

2000 FAIRVIEW AVENUE EAST
 P.O. BOX 20038

SEATTLE, WASHINGTON 98102
 (206) 328-1500

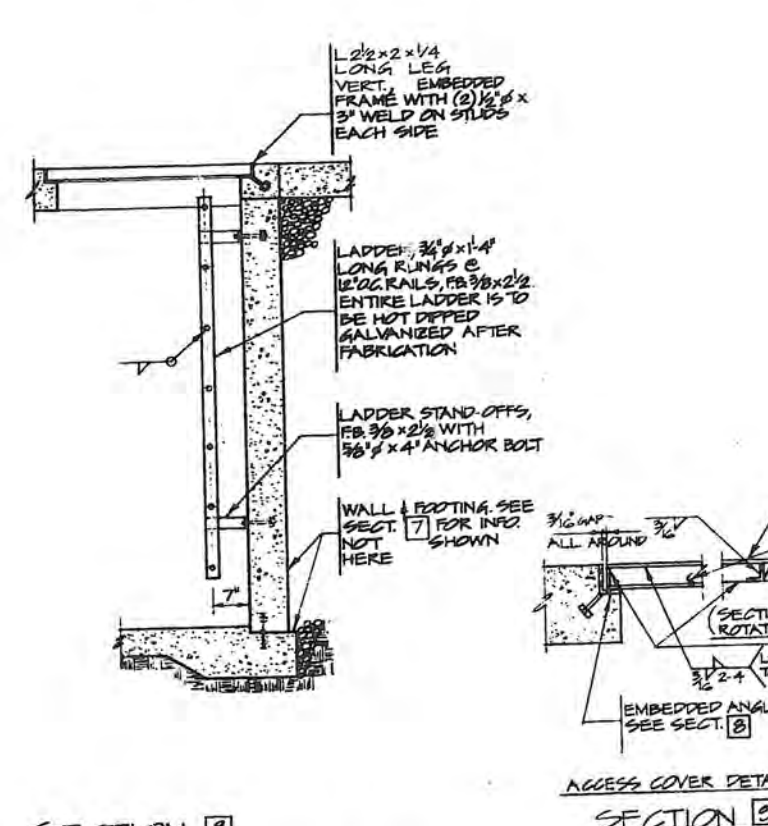
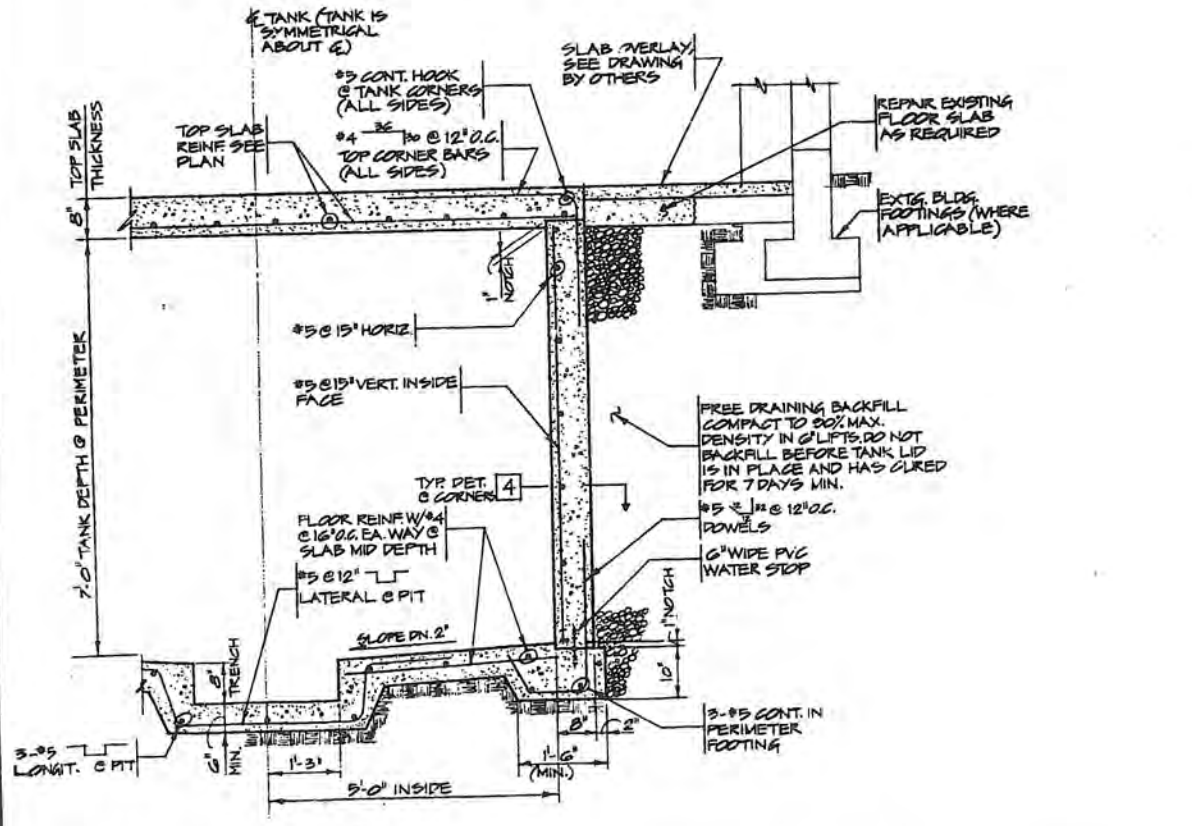
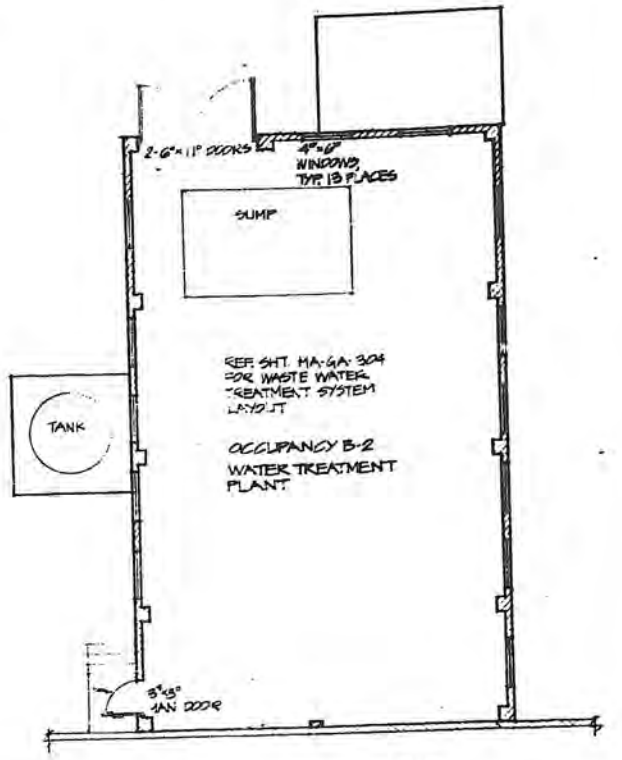
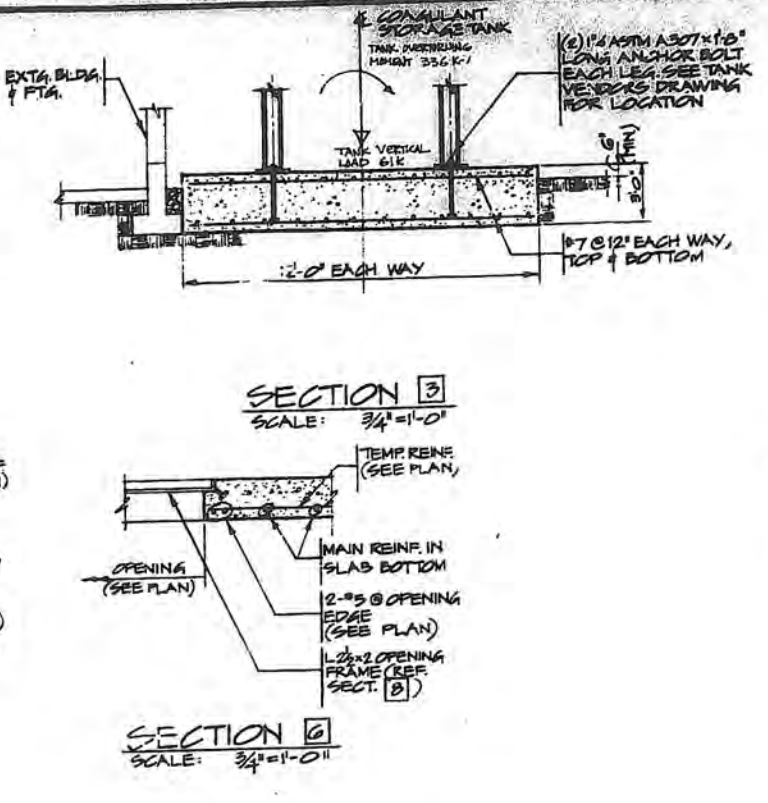
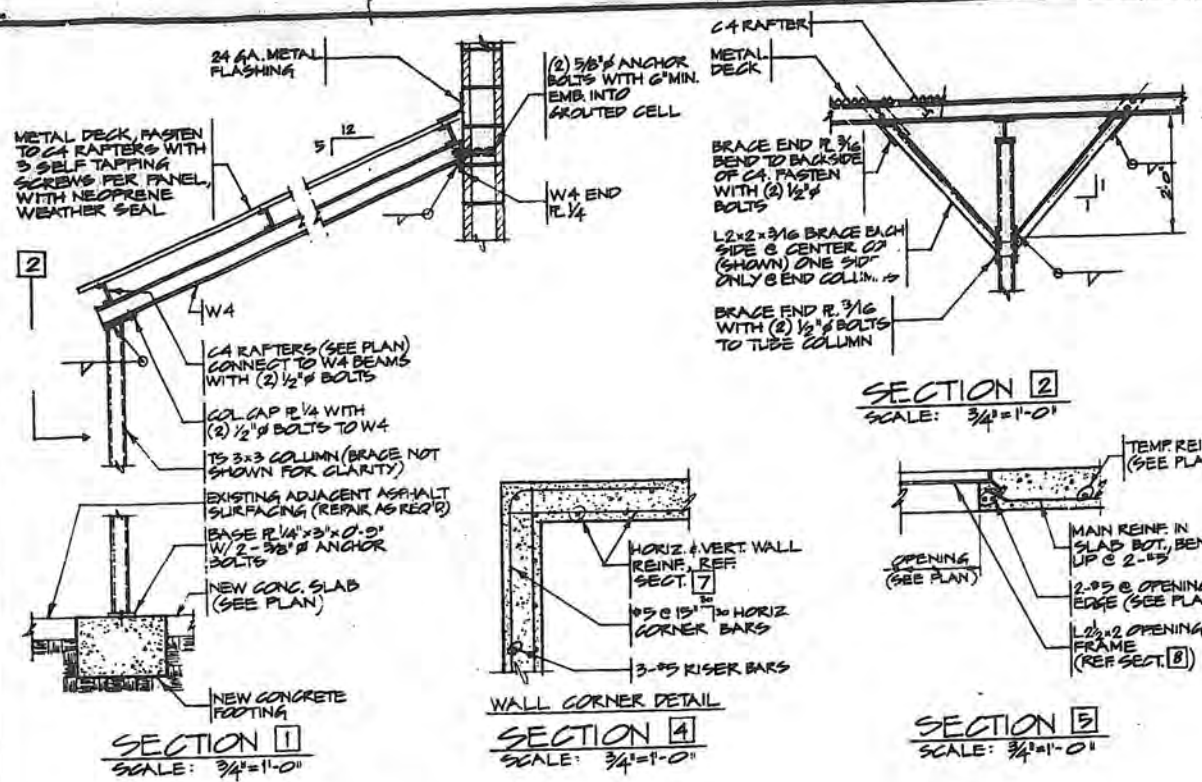


CONTENTS
 PLAN AND STRUCTURAL NOTES

PROJECT
 MARYATT INDUSTRIES
 WASTE WATER TREATMENT
 UPGRADE
 771 VALLEY ST.
 SEATTLE, WA

SHEET
 1 of 2





NO.	REVISION	DATE	APPROVED	DATE	DESIGNED BY	CHECKED BY	DATE
1	ADDED FLOOR PLAN	3/24/86			NELSON	BERNER	3/17/86

HARVEY R. DODD & ASSOCIATES, INC.
CONSULTING ENGINEERS

2000 FAIRVIEW AVENUE EAST
P.O. BOX 20038
SEATTLE, WASHINGTON 98102
(206) 328-1500

NO.	REVISION	DATE	APPROVED	DATE	DESIGNED BY	CHECKED BY	DATE
1	ADDED FLOOR PLAN	3/24/86			NELSON	BERNER	3/17/86

PROJECT
MARYATT INDUSTRIES
WASTE WATER TREATMENT
UPGRADE.

771 VALLEY ST.
SEATTLE, WA.

SHEET
2 of 2

CITY OF SEATTLE
DEPT. OF PUBLIC WORKS
MAR 27 1986
Paul C. J.

MAR 27 1986

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**Your
Seattle
Fire Department**

Claude Harris, Chief
Charles Royer, Mayor

PLAN REVIEW SHEET NO. 5035L



March 17, 1986

IPEC USA
P.O. Box 1607
Vashon, Washington 98070

RE: 771 Valley St. - Maryatt Industries
Waste Water Treatment

PLAN APPROVED

This plan is approved, subject to Ordinance, field inspection, and providing the following corrections are made:

1. Provide (accidental) spill containment for the acid storage tank.
2. The acid tank shall be identified in accordance with UFC 79-3.
3. A permit (Code 801) shall be required for the storage of the hazardous material (acid).

Very truly yours,

CLAUDE HARRIS, CHIEF
Seattle Fire Department

John Haigh
John Haigh, Senior Engineer

CH:JH:dlk
RvH

cc: Department of Construction and Land Use, #8601226



COMMERCIAL PLAN COVER SHEET

Department of Construction and Land Use City of Seattle 1100 3rd Avenue, P.O. Box 340900 Seattle, WA 98103-4090

4/1/84

PURPOSES & USE OF DCU PLAN COVER SHEET:

This cover sheet should be attached to the front of all plan sets submitted for zoning and building permit approvals. The plan cover sheet organizes the essential information needed to allow an expeditious plan review and permit issuance. Applicants and DCU staff can use the cover sheet to quickly screen applications for obvious errors or omissions.

Applicants should fill in each information category on the cover sheet. If more room is needed please indicate the location of support information and calculations. If the category of information does not apply to your proposal, mark NA (not applicable). Circle YES or NO when appropriate. Do not use pencil.

This plan cover sheet will be retained as part of DCU's permanent file on this project and will be used to verify code compliance. Therefore, if plans have been prepared by a licensed engineer or architect, his/her stamp, seal and signature must appear on this cover sheet. The applicant is responsible for assuring the accuracy and consistency of the information. Quantities should not be used for bidding purposes.

APPLICATIONS WITHOUT DCU COVER SHEETS WILL NOT BE ACCEPTED FOR PROCESSING EXCEPT FOR PERMITS ISSUED "SUBJECT TO FIELD INSPECTION" AND CERTAIN MECHANICAL PERMITS. IF YOU HAVE QUESTIONS ON WHETHER PLANS ARE REQUIRED FOR YOUR PROJECT VISIT THE PERMIT APPLICATION CENTER EXPRESS INFORMATION STATION, 5TH FLOOR, MUNICIPAL BUILDING.

A. PROPERTY ADDRESS (if assigned): MADYATT INDUSTRIES
771 VALLEY ST SEATTLE WA 98108

B. DESCRIBE WORK TO BE DONE: INSTALLATION OF WASTE WATER TREATMENT EQUIPMENT, WASTE WATER STORAGE TANK AND CORROSION STORAGE TANK IN EXISTING ATTACHED GARAGE.

C. LAND USE AND ZONING INFORMATION: (Refer to Kroll Map for C1-5)

- (1) SPECIFY ZONING CLASSIFICATION: MANUFACTURING
- (2) SPECIFY SHORELINE CLASSIFICATION: N/A
- (3) IS PROJECT IN A DESIGNATED GREENBELT? YES/NO
- (4) IS THE PROJECT IN AN ENVIRONMENTALLY SENSITIVE AREA? YES/NO
- (5) IS PROJECT AN HISTORICAL LANDMARK OR LOCATED IN A PROTECTED DISTRICT? YES/NO NAME: _____

(6) IS PROJECT A MAJOR INSTITUTION? YES/NO

- (7) (a) EXISTING USE(S)/GROSS SQ. FT. OF EACH USE:
- USE: Level 1 B-2 Laundry SQ. FT. 29910 BSMT
 - USE: Level 2 B-2 SQ. FT. 29910 1st Floor
 - USE: Level 3 B-2 SQ. FT. 29910 2nd Floor
 - USE: B-1 GARAGE SQ. FT. 2280

- (b) PROPOSED USE/GROSS SQ. FT. OF EACH USE:
- USE: B-2 Laundry SQ. FT. 29910
 - USE: B-2 SQ. FT. 29910
 - USE: B-2 SQ. FT. 29910
 - USE: B-2 WATER TREATMENT SQ. FT. 2290

(c) CHANGE OF USE PROPOSED: YES / NO
IF "YES", FROM B-1 TO B-2

- (8) PARKING - (NUMBER OF SPACES)
- (a) NO. OF EXISTING SPACES: N/A
 - (b) TOTAL NUMBER REQUIRED: N/A
 - (c) TOTAL NUMBER PROPOSED: N/A
 - (d) LOCATION: NO. ON-SITE N/A NO. OFF-SITE N/A

(9) LANDSCAPING -

- (a) REQUIRED PLANTING AREA: NA SQ. FT.
- (b) PROPOSED: N/A SQ. FT.
- (c) REQUIRED NUMBER OF TREES: NA
- (d) PROPOSED NUMBER OF TREES: _____

PLAN SHEET NUMBER _____ SHOWS LANDSCAPING PLAN.

- (10) LOT AREA - 59830 SQ. FT.
- (a) LOT COVERAGE PROPOSED: 72278 SQ. FT. 54 PERCENT
 - (b) MAXIMUM ALLOWED: 109550 SQ. FT. 85% PERCENT

- (12) (a) BUILDING HEIGHT PROPOSED PER ZONING/LAND USE CODE: By Building FT. IN.
- (b) MAXIMUM ALLOWED: _____ FT. IN.

- (13) (a) FLOOR AREA RATIO BONUS: YES/NO
- (b) MAXIMUM ALLOWED: _____

(c) BONUS AREA: _____

- (14) SETBACKS/YARD REQUIRED FOR PROJECT: YES / NO

IF REQUIRED, COMPLETE THE FOLLOWING:

- (a) FRONT (b) REAR N/A
- PROPOSED: _____ FT. IN. PROPOSED: _____ FT. IN.
 - MINIMUM ALLOWED: _____ FT. IN. MINIMUM ALLOWED: _____ FT. IN.

- (c) SIDE(1) (d) SIDE(2)
- PROPOSED: _____ FT. IN. PROPOSED: _____ FT. IN.
 - MINIMUM ALLOWED: _____ FT. IN. MINIMUM ALLOWED: _____ FT. IN.

- (e) SHORELINE SETBACK
- PROPOSED: _____ FT. IN.
 - MINIMUM ALLOWED: _____ FT. IN.

(15) SETBACKS/YARD EXCEPTIONS, SPECIAL CONDITIONS:

(16) OTHER BULK REQUIREMENTS, SPECIAL CONDITIONS:

D. BUILDING CODE INFORMATION:

- (1) FIRE PROTECTION
- (a) Sprinkler system required? YES / NO
 - Existing system? YES / NO New system? YES / NO
 - (b) Other fire protection systems
 - Halon _____
 - Rangehood _____
 - Other _____
 - (c) Fire alarm systems YES/NO
 - (d) Standpipe (include class) _____
 - Location _____

- (2) NO. OF STORIES _____ BASEMENT(S) 1 HEIGHT NO CHANGE FT. (calculated per Building Code)

(3) FIRE DISTRICT: N/A

- (4) OCCUPANCY GROUP, TYPE OF CONSTRUCTION, LOCATION AND GROSS FLOOR AREA (GFA) FOR EACH OCCUPANCY (measured to the exterior face of exterior walls including balconies):

NOTE: Provide GFA for heated and unheated spaces on each floor plan.

LEVEL	USE/OCCUPANCY	TYPE	AREA (sq ft)	VALUATION
1	B-2	II		NO CHANGE
2	B-2	II		NO CHANGE
3	B-2	II		NO CHANGE
GARAGE	B-2	B-N	2267	250,000
TOTAL				250,000

E. ENERGY CODE INFORMATION N/A

- (1) BUILDING ENVELOPE

Indicate Approach Used: Chap. 6 _____ Chap. 4 _____ Chap. 5 _____

- (a) CHAPTER 6: Prescriptive

INSULATION MINIMUMS	Required	Proposed
- Roof/Ceiling	R-30	
- Opaque Wall	R-11	
- Floor Over Unheated Space	R-11	
- Slab Perimeter On Grade	R-4.25	

GLAZING PERCENTAGE MAXIMUM

Show calculations in sq. ft. and %:

(Glass & Sash Area) + (Sight Area x 2) = 21% maximum Gross Wall Area

NA () + () = %

- (b) CHAPTER 4: Component Performance / CHAPTER 5: Systems Analysis

U VALUE MAXIMUM (including glass with sash multiplier and stud, joist and rafter corrections)

N/A Required Proposed

- Roof/Ceiling
- Gross Wall
- Floor Over Unheated Space
- Overall (Only if averaged for trade off)

SLAB PERIMETER ON GRADE R-4.25

OTTY MAXIMUM (as applicable)

- (2) LIGHTING SYSTEM

MAXIMUM INSTALLED WATTS

(3) MECHANICAL SYSTEM N/A

- (a) SPACE HEATING SYSTEM TYPE:

Elec. furnace _____ Elec. baseboard _____ Elec. heatpump _____

Gas furnace _____ Oil furnace _____ Other _____

Existing _____ watt/sq. ft. or _____ BTU/sq. ft.

New _____ watt/sq. ft. or _____ BTU/sq. ft.

TOTAL CAPACITY _____

- (b) SPACE COOLING SYSTEM TYPE (if installed):

_____ watt/sq. ft. or _____ BTU/sq. ft.

TOTAL CAPACITY _____

- (3) HEAT LOSS CALCULATIONS ATTACHED? YES/NO

- (4) OTHER ENERGY INFORMATION/SPECIAL NOTES:

F. FOUNDATION AND GRADING

- (a) SHOW FILL _____ CU. YDS. & CUT _____ CU. YDS. IN EXCESS OF ALLOWABLE INCIDENTAL GRADING OR IF ON SUBMERGED LAND.

- (b) HAS A SOILS REPORT BEEN PREPARED? YES/NO

G. APPLICANT INFORMATION:

- (a) OWNER'S NAME: _____

ADDRESS: _____ ZIP: _____

PHONE: _____

- (b) ARCHITECT/AGENT'S NAME: _____

ADDRESS: _____ ZIP: _____

PHONE: _____

PREVIOUS/PENDING LAND USE APPROVALS RELATING TO THIS PROJECT:

TO BE COMPLETED BY DCU:

CONDITIONS OF APPROVAL

SHOP DRAWINGS REQUIRED

APPROVAL STAMPS

DEPARTMENT OF CONSTRUCTION
RECEIVED
MAR 27 1986
APPROVED SUBJECT TO CITY PERMITS BY
Paul Chong

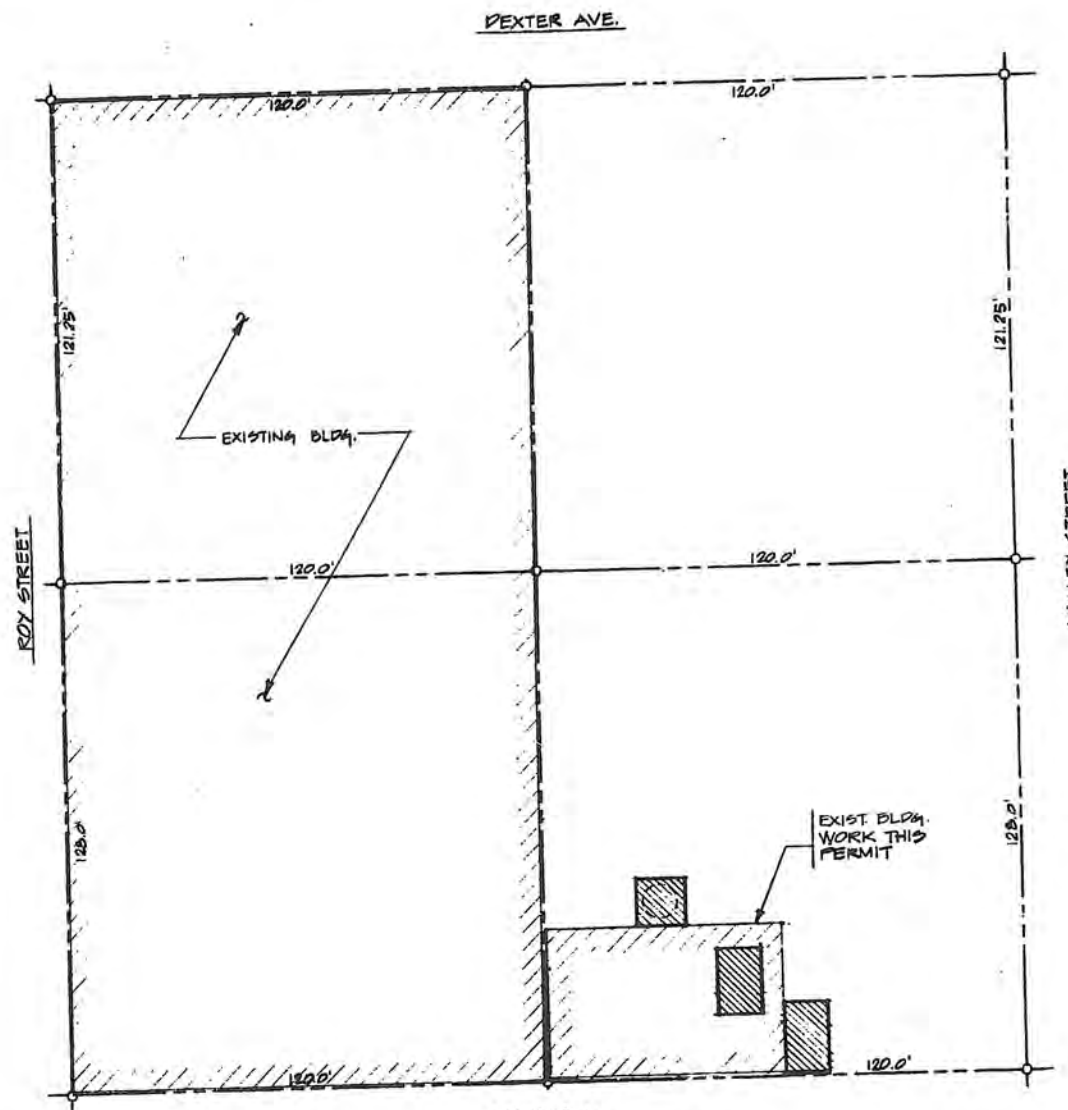
SPECIAL INSPECTION REQUIRED
BY CITY CERTIFIED SPECIAL INSPECTORS
FOR THE FOLLOWING TYPES OF WORK
(By CASCADE TESTING)
UNDERPINNING OF EXISTING FOUNDATION

PERMIT ISSUANCE AUTHORIZATION			
REVIEWER	Initials	Concurrence Date	Revised Concurrence Date
Zoning	<u>NA</u>	<u>3-10-84</u>	
Shorelines	<u>NA</u>		
Protect Dist.	<u>NA</u>		
Elevator	<u>NA</u>		
Water	<u>NA</u>		
Fire	<u>NA</u>	<u>3-17-84</u>	
Health	<u>NA</u>		
Traffic	<u>NA</u>		
Drainage	<u>NA</u>		
Street Use	<u>NA</u>		
Energy	<u>NA</u>		
Mechanical	<u>NA</u>		
Environmental	<u>NA</u>		
Issued by:	<u>O. Engstrom</u>	<u>7-2-84</u>	
Site Inspection by:	<u>NA R/B</u>		

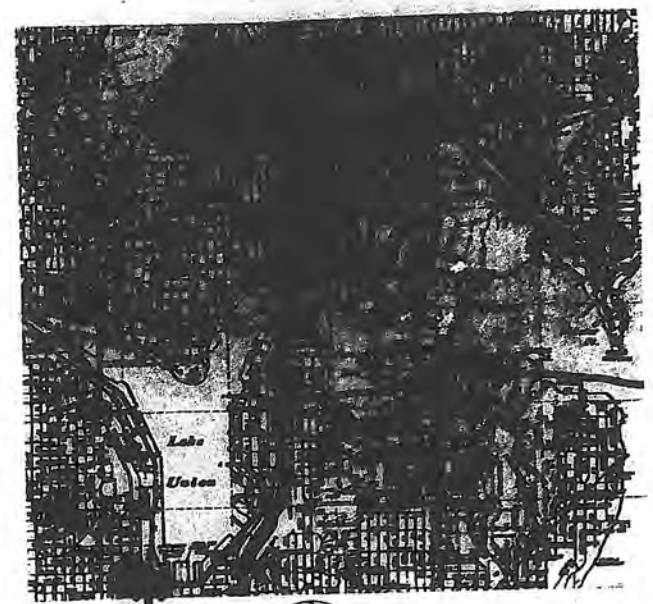
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12 sets


520123
MADYATT INDUSTRIES
771 VALLEY ST SEATTLE WA 98108
PROJECT NO. 244124
DATE 03/11/86



5TH AVE. N.
PLOT PLAN
 SCALE: 1" = 200'



VICINITY MAP
 SCALE: 1" = 2040'



LEGAL DESCRIPTION
 LOTS 1 to 8 BLOCK 7
 EDEN ADDITION TO THE CITY OF SEATTLE.

CITY OF SEATTLE
 DEPT. OF CONSTRUCTION AND LAND USE
 MAR 27 1986
 APPROVED SUBJECT TO EDEN AND PROJECT BY
Paul Chong

RECEIVED
 MAR 11 1986
 Dept. of Construction & Land Use

NO.	REVISION	DATE	APPROVED	DATE



HARVEY R. DODD & ASSOCIATES, INC.
CONSULTING ENGINEERS
 2000 FAIRVIEW AVENUE EAST
 P.O. BOX 20038
 SEATTLE, WASHINGTON 98102
 (206) 326-1500



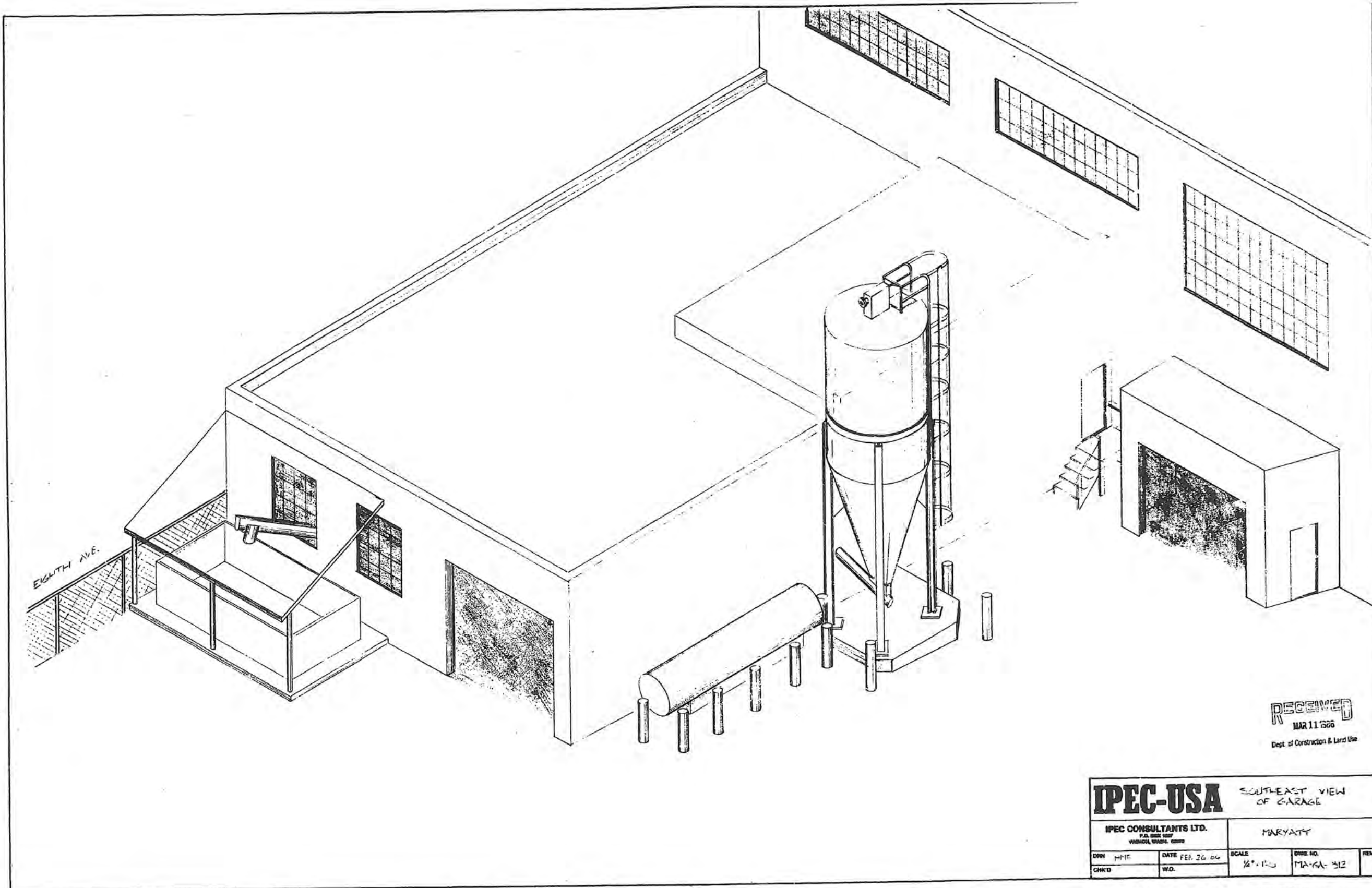
CONTENTS
 PLOT PLAN, VICINITY MAP
 LEGAL DESCRIPTION

PROJECT
 MARYATT INDUSTRIES
 WASTE WATER TREATMENT
 UPGRADE
 771 VALLEY ST.
 SEATTLE, WA.

SHEET
 P-1
 JOB NO. 86-056

NOTE: If the microfilm data is LESS clear than this notice, it is due to the quality of the original



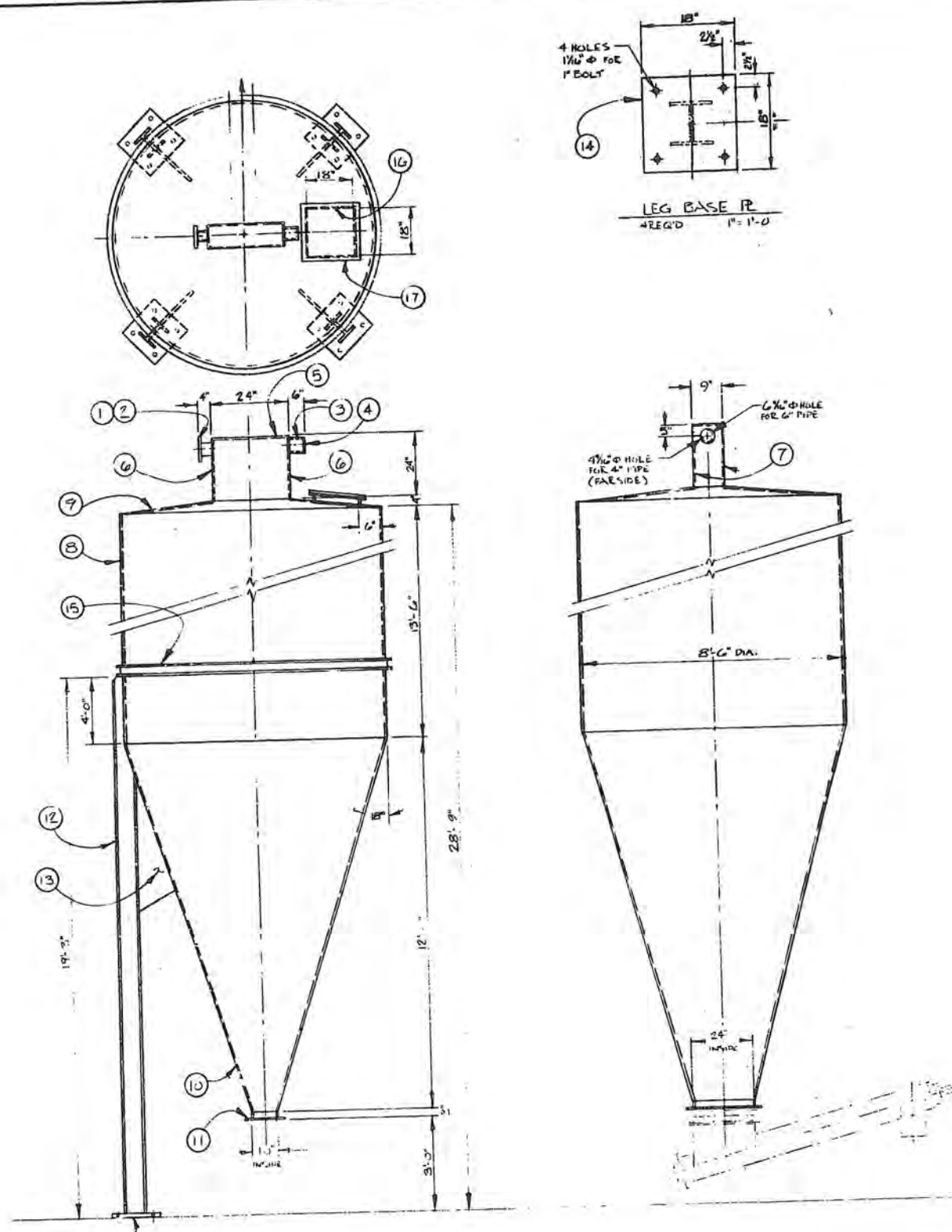


RECEIVED
 MAR 11 1966
 Dept. of Construction & Land Use

IPEC-USA		SOUTHEAST VIEW OF GARAGE	
IPEC CONSULTANTS LTD. P.O. BOX 1007 VIRGINIA, MICHIGAN 49880		MARYATT	
DRN HME	DATE FEB. 26 66	SCALE 1/4" = 1'-0"	DWG. NO. MA-GA-312
CHK'D	W.O.		REV.

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





TITLE		ENG. NO.	REV
STORAGE TANK		MA-FD-505	
ITEM	SIZE/AMOUNT	QTY	DESCRIPTION
1	BLK W/PIPE	1	4" Ø MS STD PIPE x 6" LG.
2	FLANGE	1	1/2" MS 9" DIA.
3	TARGET PIPE	1	6" Ø MS PIPE x 6" LG.
4	FILLER PL	1	1/2" MS 6 1/2" DIA.
5	BOX TOP	1	1/2" MS 9" x 24" LG.
6	BOX ENDS	2	1/2" MS 9" x 24" LG.
7	BOX SIDES	2	1/2" MS 24" x 24" LG.
8	TANK WALL	1	1/2" MS 13'-6" x 26'-7 1/2" LG.
9	TANK TOP	1	1/2" MS 8'-6" x 4" DEEP CONE
10	TANK BOTTOM	1	1/2" MS SQUARE TO ROUND CONE
11	BOTTOM FLANGE	1	1/2" MS 2' x 5' x 92" LG.
12	LEG	4	1/2" MS 3/4" x 19'-2" LG.
13	CLIP SET	4	1/2" MS 1'-2" x 4" OLG.
14	LEG BASE PL	4	1/2" MS 18" x 18" LG (DRILL HOLES)
15	TANK RING	1	C 4 @ 6.25 MS x 26'-8 1/2" LG.
16	C OVER FLANGE	1	1/2" MS 1 1/2" x 1 1/2" x 84" LG.
17	C WEL	1	1/2" MS 21" x 21" LG.

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IPEC-USA STORAGE TANK

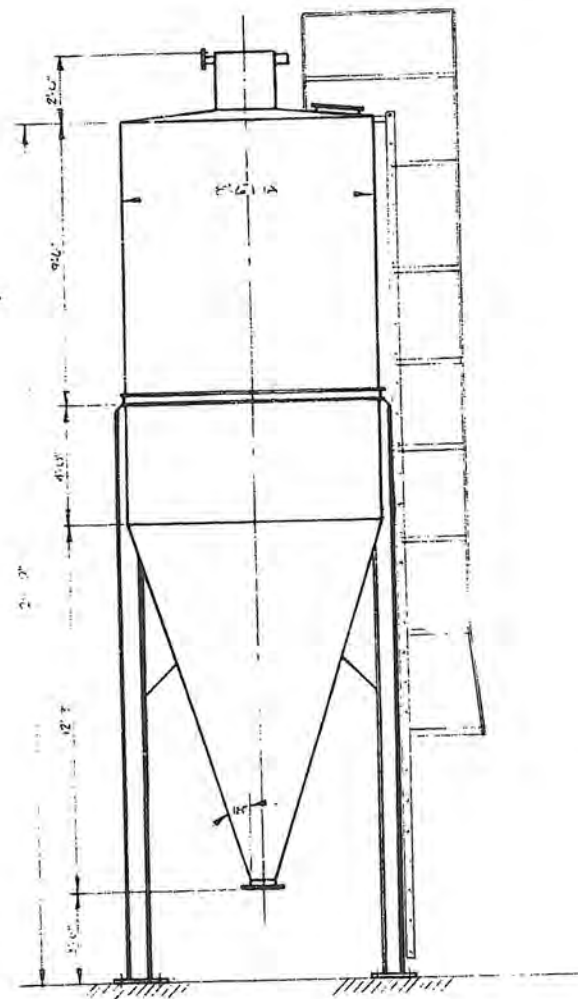
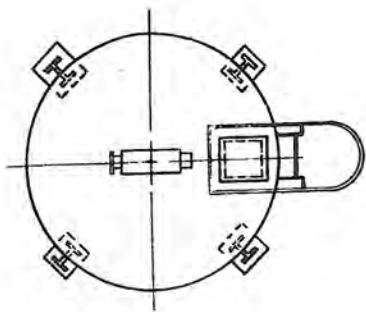
IPEC CONSULTANTS LTD.
 P.O. BOX 1017
 WASHINGTON, D.C. 20004

MAR/ATT

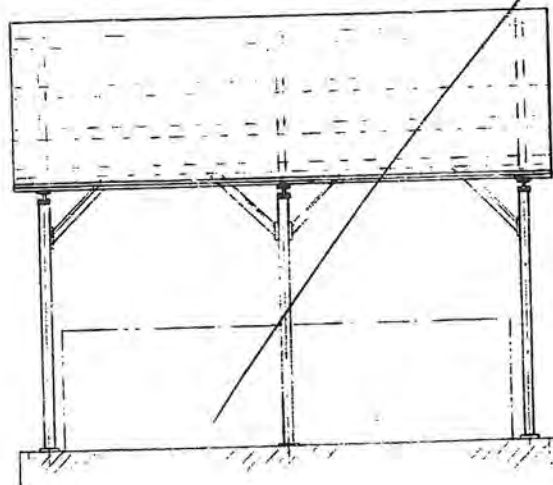
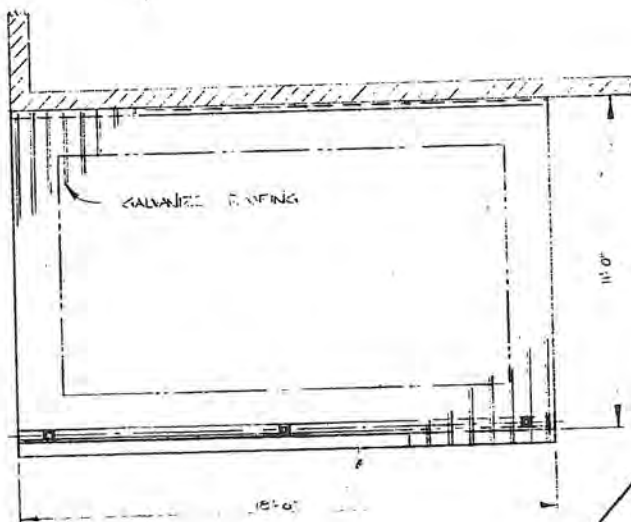
DRN	HMC	DATE	FEB 17 66	SCALE	1/2" = 1'-0"	DRAW. NO.	MA-FD-505	REV.
CHKD	W.O.							

NOTE: If the microfilm drawing is LESS clear than this notice, it is due to the quality of the original drawing.

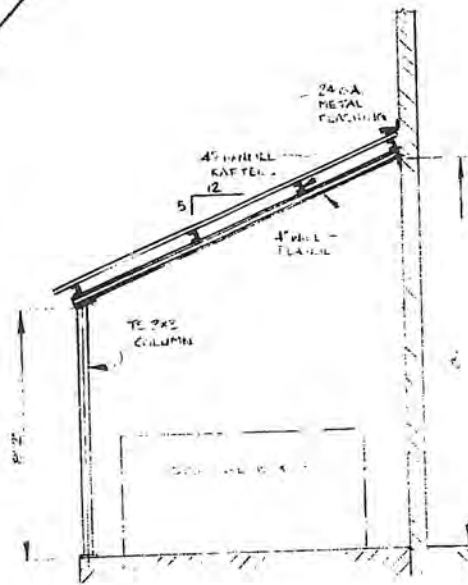




STORAGE TANK



DISPOSAL BOX ROOF

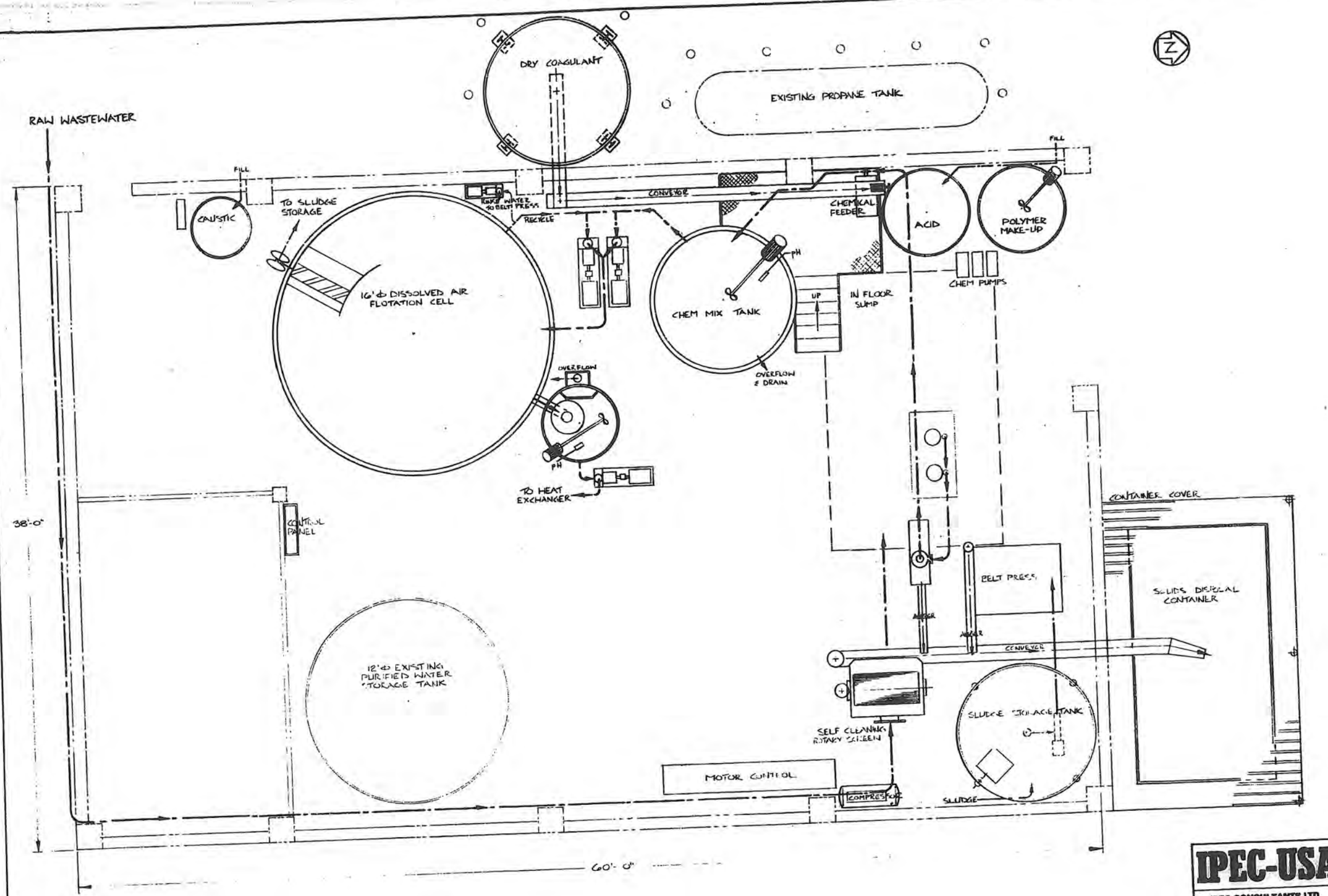


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Dept. of Construction & Land Use

IPEC-USA		STORAGE TANK & DISPOSAL BOX ROOF PLAN & ELEVATIONS	
IPEC CONSULTANTS LTD. P.O. BOX 1007 WASHOUGA, WASH. 99149			
DRN L.M.F.	DATE FEB 10/66	SCALE 3/8" = 1'-0"	DWG. NO. MA-GA-300
CHKD	W.D.		REV.

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.



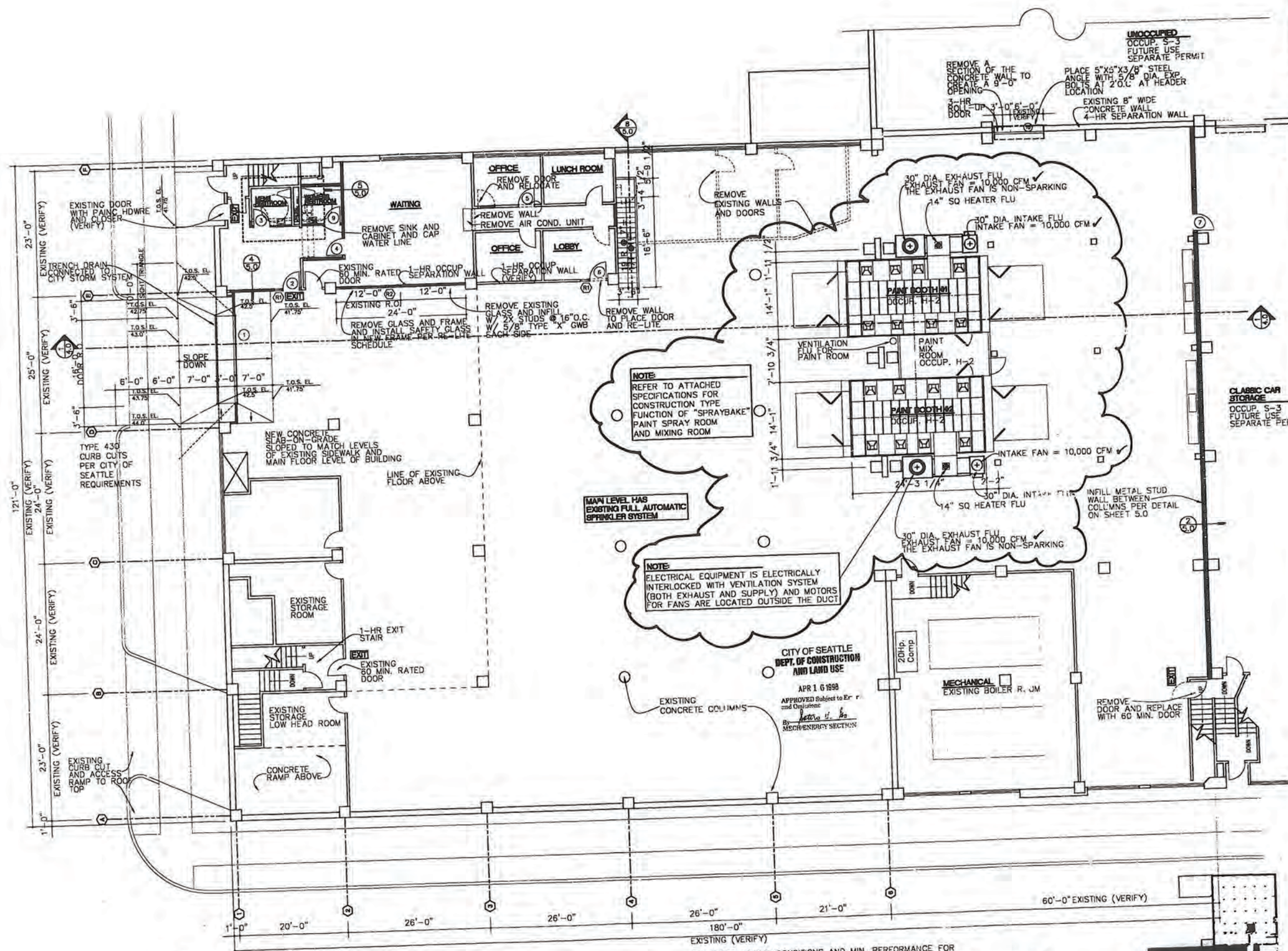


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MAR 11 1986
Dept. of Construction & Land Use

IPEC-USA		WASTEWATER TREATMENT GENERAL ARRANGEMENT	
IPEC CONSULTANTS LTD. P.O. BOX 1007 WILMINGTON, MASS. 01890		MARVACT	
DATE	FEB 17/86	SCALE	1/8" = 1'-0"
CHKD	MEG.	DRAW. NO.	MA-6A-308

NOTE: If the microfilmed drawing is LESS clear than this notice, it is due to the quality of the original drawing.





PERMIT SET

CLASSIC CAR STORAGE
 OCCUP. S-3
 FUTURE USE
 SEPARATE PERMIT

NOTE:
 REFER TO ATTACHED SPECIFICATIONS FOR CONSTRUCTION TYPE FUNCTION OF "SPRAYBAKE" PAINT SPRAY ROOM AND MIXING ROOM

MAIN LEVEL HAS EXISTING FULL AUTOMATIC SPRINKLER SYSTEM

NOTE:
 ELECTRICAL EQUIPMENT IS ELECTRICALLY INTERLOCKED WITH VENTILATION SYSTEM (BOTH EXHAUST AND SUPPLY) AND MOTORS FOR FANS ARE LOCATED OUTSIDE THE DUCT

CITY OF SEATTLE
 DEPT. OF CONSTRUCTION AND LAND USE
 APR 16 1998
 APPROVED Subject to E.P. and Ordinance
 By: *[Signature]*
 MECHANICAL SECTION

TENANT IMPROVEMENT WORK
 FOR AUTOHOUND, DKB ENTERPRISES
 771 VALLEY STREET
 SEATTLE, WA 98109

MAIN FLOOR PLAN TOTAL SQ. FT. 21,870
 SCALE: 1/8" = 1'-0"



WALL LEGEND

	EXISTING
	NEW
	TO BE REMOVED

FLOOR AREA TO HAVE AUTOMATIC SPRINKLER SYSTEM THROUGHOUT



STANDARD RATING CONDITIONS AND MIN. PERFORMANCE FOR UNIT HEATERS PER WSEC CHAPTER 14

EQUIPMENT TYPE AND RATING	CATAGORY	SUB-CATEGORY & RATING CONDITIONS	MINIMUM RATING		STANDARD
			STEADY STATE	SEASONAL OR PART LOAD	
ALL SIZE GAS UNIT HEATERS	CATAGORY	MAX. RATED CAPACITY; MIN. RATED CAPACITY	78% E2	NA	ANSI Z83.8-1985
			74% E2	NA	

1. MINIMUM AND MAXIMUM RATINGS AS PROVIDED FOR AND ALLOWED BY THE UNIT'S CONTROLS.
2. FOR MULTI-CAPACITY EQUIPMENT THE MINIMUM PERFORMANCE SHALL APPLY TO EACH STEP PROVIDED MULTI-CAPACITY REFERS TO MANUF. PUBLISHED RATING FOR MORE THAN ONE CAPACITY MODE ALLOWED BY THE PRODUCT'S CONTROLS.

KEY PLAN
 No Scale

MAIN FLOOR PLAN

Sheet No. 20
 Project No. 9720
 Date: 10-22-97